

3.13 Acres- Potential Senior Care, Recreation, or Winery/Tasting Room With Existing Income

1690 Via Cancion | San Marcos, CA 92078

- A-1 Zoning allows for agriculture, residential, senior care, private stables, outdoor recreation and much more. Some uses may require a permit
- Existing leases on the property produce approximately \$6,148/month
- Excellent location along Rancho Santa Fe Road within close proximity to Lake San Marcos, St. Marks Golf Course, and the 78 Freeway

ASKING PRICE: CALL AGENT FOR DETAILS

5



melrose dr

s.rancho santa fe rd



ALEX BENTLEY

760.448.2492

abentley@lee-associates.com

CalDRE Lic #02062959

AL APUZZO

760.448.2442

aapuzzo@lee-associates.com

DRE Lic# 01323215

MATT WEAVER

760.448.2458

mweaver@lee-associates.com

DRE Lic# 01367183



contents

3 aeries

7 location map

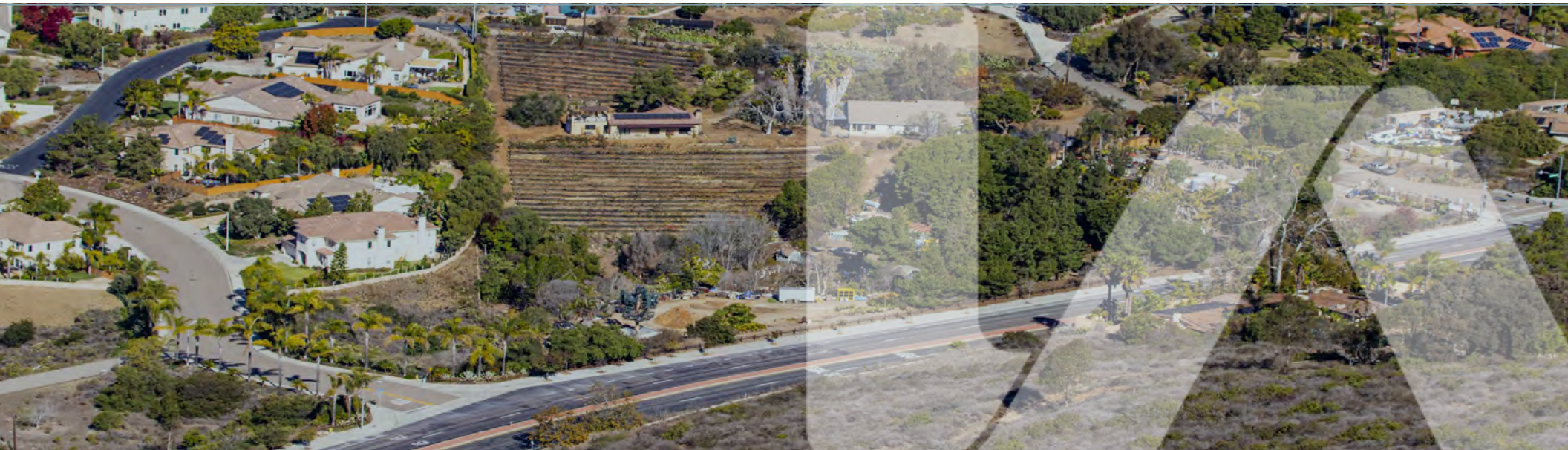
8 property information

9 lease information

10 plat map

11 education

12 demographics

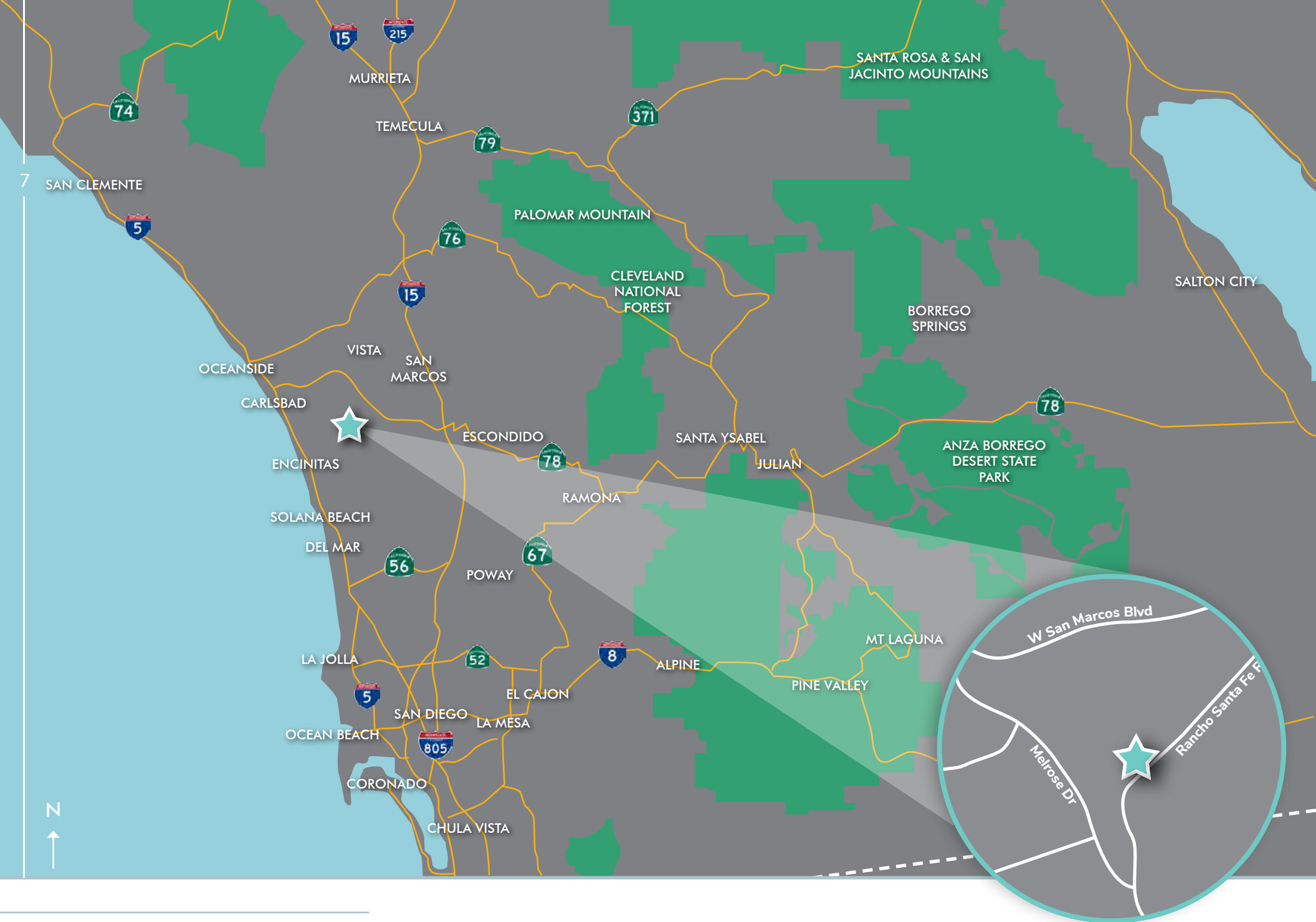












location map

property information

8

location:

The subject property is located at 1690 Via Cancion in San Marcos, CA 92078. It is located along the west side of S Rancho Santa Fe Rd and is west of Lake San Marcos. It is approximately 2.6 miles south of the 78 Freeway, approximately 7.7 miles west of I-15, approximately 7 miles east of I-5, and approximately 7.5 miles to the Pacific Ocean.

property profile:

The subject property is approximately 3.13 acres of agriculture land. The property currently has two leases generating approximately \$6,148/month with 3% annual increases. One lease is with Star Pine Nursery and a second with Sprint. The subject property is zoned agriculture and allows for up to one home per parcel depending on slope. Assisted care or memory care is permitted with a Director's Permit. Other uses include a winery/tasting room, outdoor recreation, private or public stables and more

permitted uses:

- Permitted By-Right: Child Care Facility, Small Residential Care Facility, Single-Family, Private Stable, Agriculture
- Director's Permit: Large Residential Care Facility, Winery/Tasting Room
- Conditional Use Permit: Places of Assembly, Public Stable, Outdoor Recreation

[Click here to view all permitted uses](#)

jurisdiction:

City of San Marcos

APN:

222-041-11-00

acreage:

3.13 acres

zoning:

Agriculture (A-1)

general plan:

Agriculture (AG)

density:

0.125-1 du/parcel based on location and slope

Density for an Assisted Care or Memory Care facility is determined through the Director's Permit application process

maximum height:

35'

school district:

San Marcos Unified School District

services:

Water/Sewer: Vallecitos Water District

Gas/Electric: SDG&E

Fire: San Marcos Fire Department

Police: San Marcos Police Department

lease information

9

Sprint Lease Information

Size	Approximately 610 SF of Land
Lease Type	NNN
Lease Commencement	May 2, 2002
Lease Expiration	May 1, 2007
Lease Expiration with Extensions	May 1, 2057
Remaining Extensions	7 @ 5 Years
Remaining Term	35 Years
Current Rent	\$2,546/month
Rent Increases	3% Annually

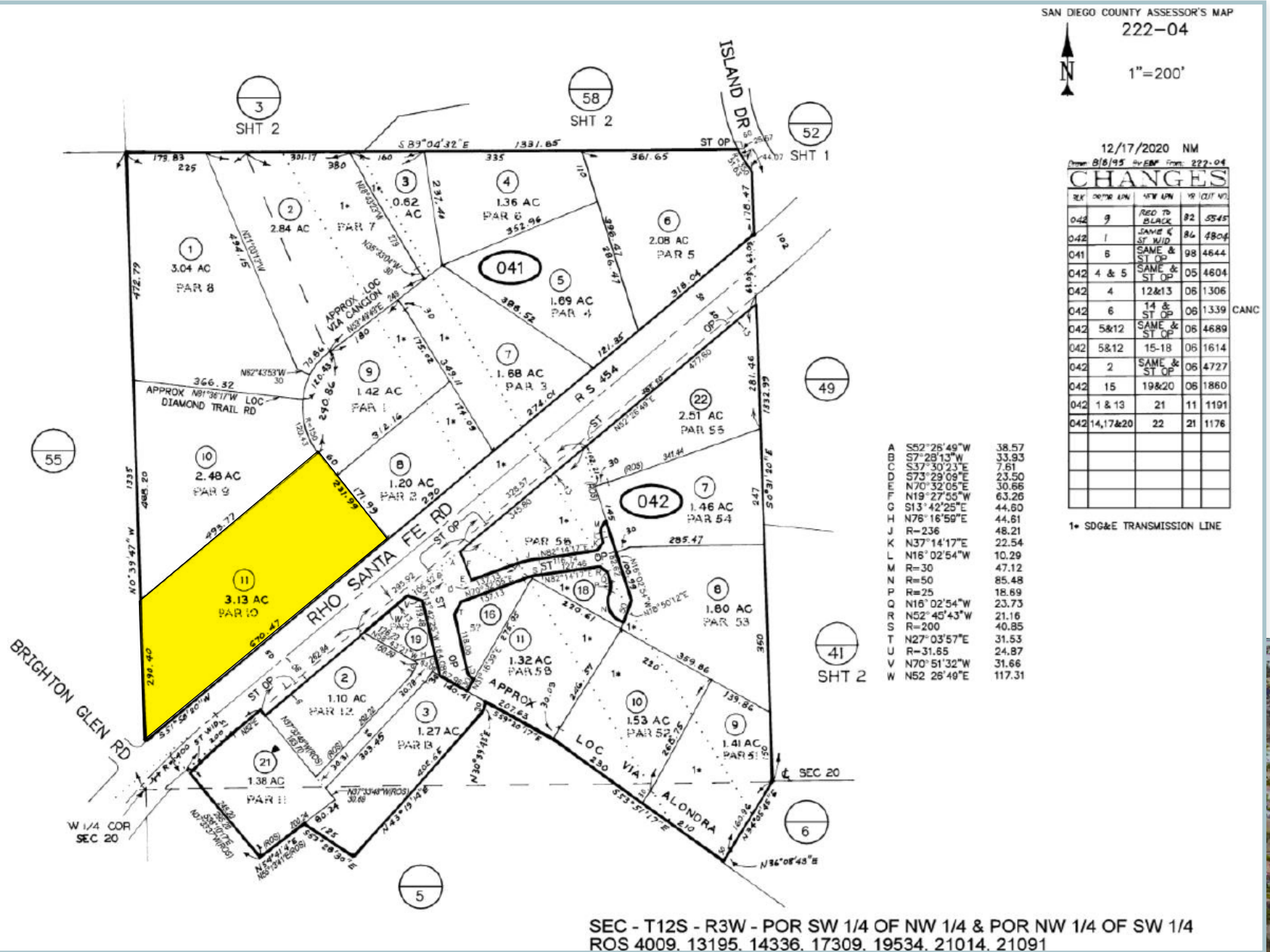
Star Pine Nursery Lease Information

Size	Approximately 2.50 Acres of Land
Lease Type	NNN
Lease Commencement	October 1, 2019
Lease Expiration	September 30, 2029
Lease Expiration with Extensions	NA
Remaining Extensions	NA
Remaining Term	7 Years
Current Rent	\$3,602/month
Rent Increases	3%Annually



plat map

10



San Marcos Unified School District

The San Marcos Unified School District is an innovative and collaborative community providing an unparalleled educational experience. Through an engaging and supportive environment, all our students are challenged, inspired, and poised to excel. The district covers 210 miles and serves more than 7,500 students who attend six elementary schools, two middle schools, and one high school. San Marcos High School (SMHS) students, the fighting Rattlers, hit the college track on the first day of their freshman year.

<https://www.smusd.org/>

1 Carrillo Elementary School (K-8)

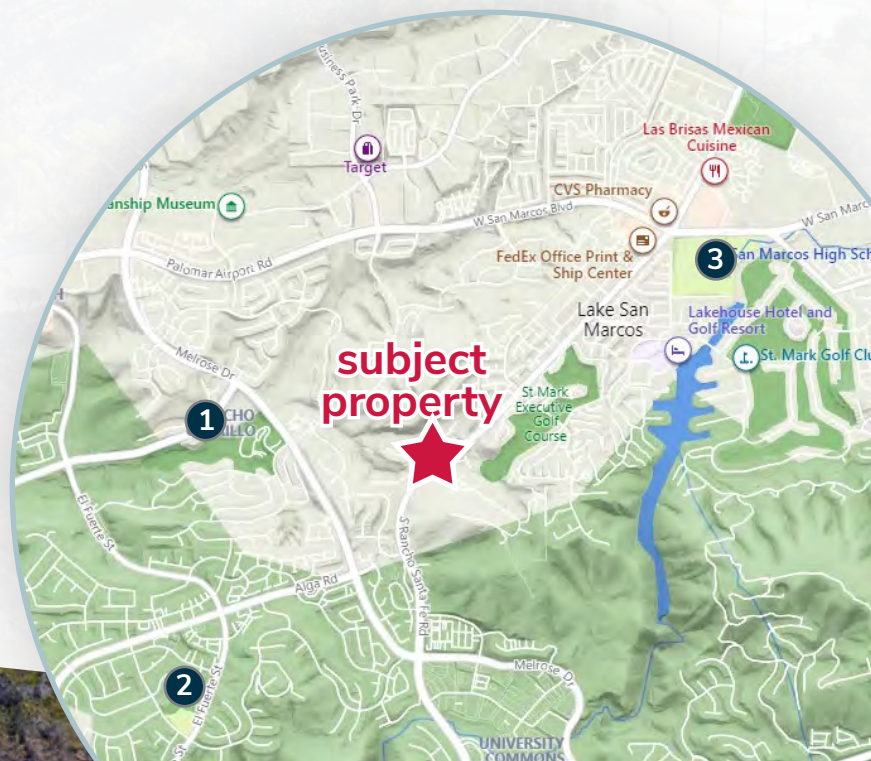
2875 Poinsettia Lane
Carlsbad, CA 92009

2 La Costa Meadows Elementary School (K-8)

6889 El Fuerte St
Carlsbad, CA 92009

3 San Marcos High School (9-12)

1615 San Marcos Blvd
San Marcos, CA 92078



2021 demographics

1 mile



population

11,305



estimated households

4,308



average household income

\$146,841



median household income

\$116,298



total employees

2,679

3 miles



population

82,715



estimated households

30,130



average household income

\$148,276



median household income

\$111,970



total employees

76,689

5 miles



population

209,658



estimated households

73,965



average household income

\$145,275



median household income

\$114,723



total employees

134,452

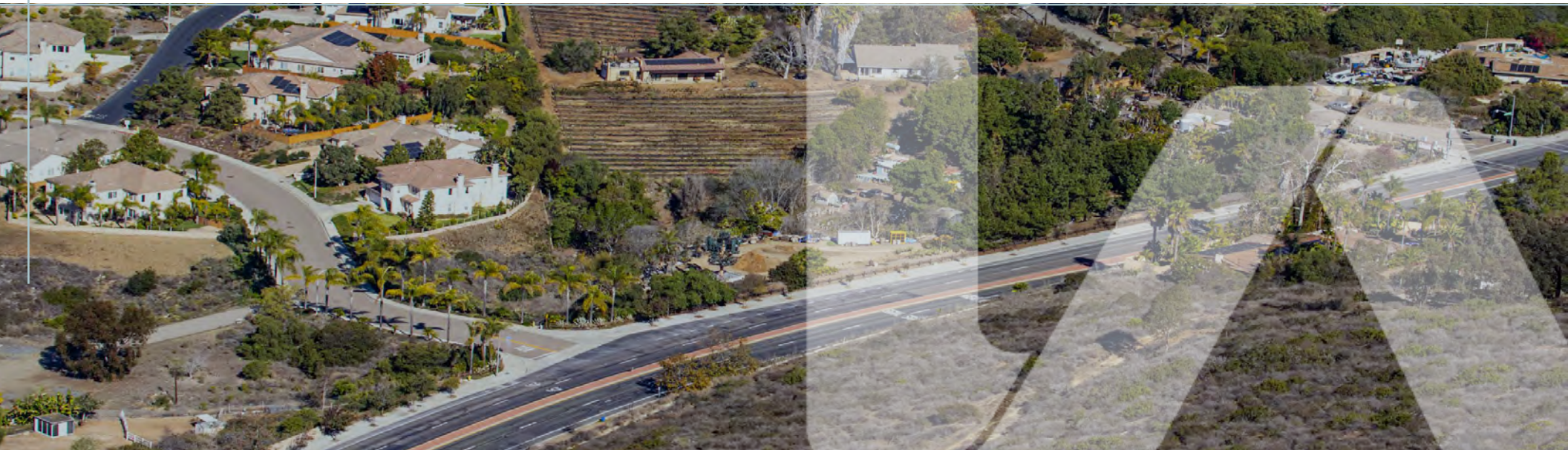
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By accepting this Marketing Brochure you agree to release Lee & Associates and hold it harmless from any kind of claim, cost, expense, or liability arising out of your investigation and/or purchase of this property.





for more information, please contact

ALEX BENTLEY

760.448.2492
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AL APUZZO

760.448.2442
aapuzzo@lee-associates.com
DRE Lic# 01323215

MATT WEAVER

760.448.2458
mweaver@lee-associates.com
DRE Lic# 01367183

Lee & Associates, Inc - North San Diego County 1902 Wright Place, Suite 180, Carlsbad, CA 92008 | T: 760.929.9700 F: 760.929.9977 | www.lee-associates.com/sandiegonth

