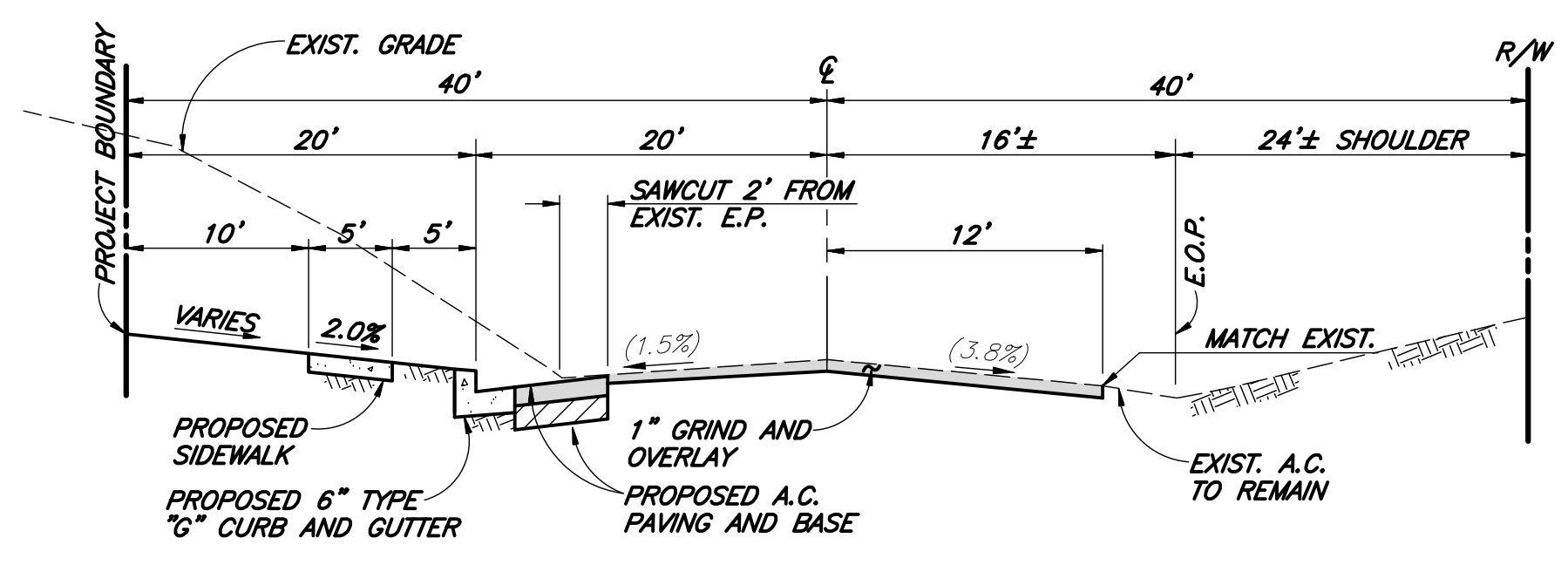
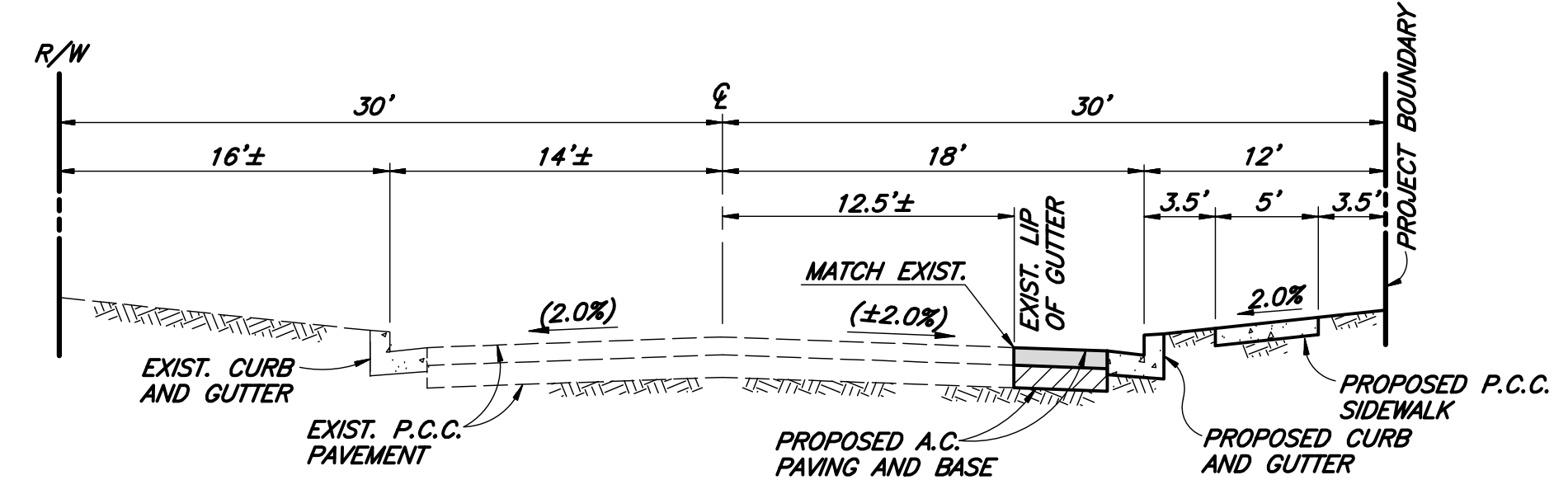


TENTATIVE MAP AND SITE DEVELOPMENT PLAN FOR: 1909 S. MYERS STREET CONDOS

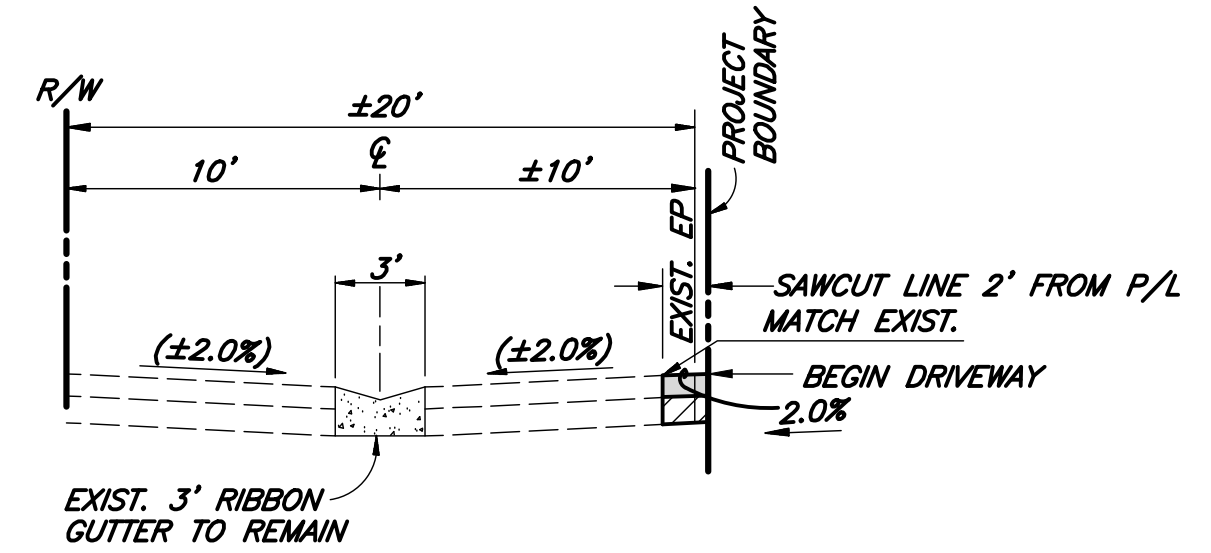
PLANNING CASE NO. - / - / - / -



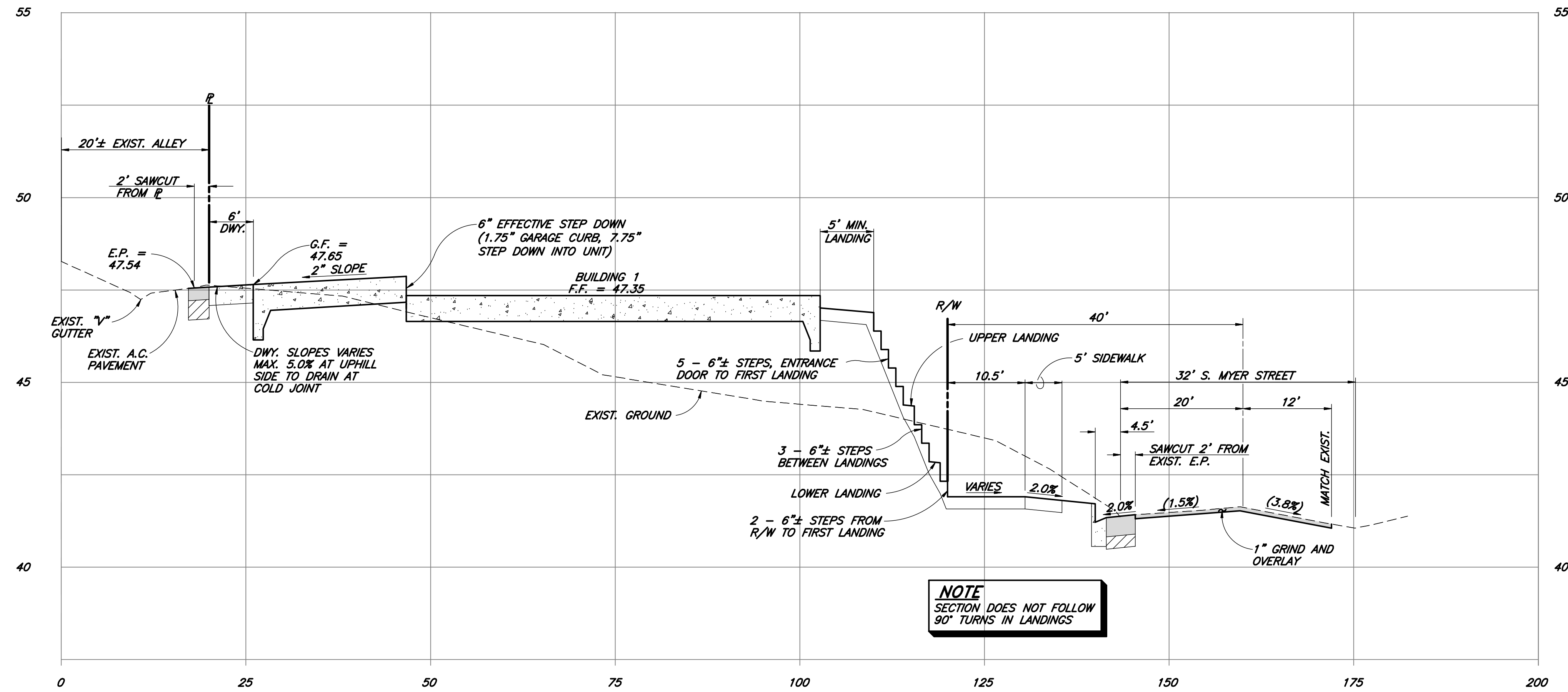
TYPICAL SECTION ~ S. MYERS STREET
NOT TO SCALE



TYPICAL SECTION ~ KELLY STREET
NOT TO SCALE



TYPICAL SECTION ~ ALLEY
NOT TO SCALE



SITE SECTION ~ UNIT-1
SCALE: 1" = 10'(H), 1" = 2'(V)

NOTE
SECTION DOES NOT FOLLOW
90° TURNS IN LANDINGS

GENERAL NOTES

- PER THE SUBDIVISION MAP ACT, SECTION 66428(b), BOTH THE TENTATIVE SUBDIVISION MAP AND FINAL SUBDIVISION MAP SHALL BE WAIVED.
- THE SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS IS 16 RESIDENTIAL CONDOMINIUMS.
- EXISTING LOTS: 3. (2 VACANT)
- PROPOSED LOTS: 1.
- TOTAL AREA: 0.41 ACRES.
- A.P.N.: 153-251-40, 41, 42.
- PROPOSED UNITS: 6
- UNIT SQUARE FOOTAGE:
- SETBACKS: FRONT 15', REAR 15', SIDE 15', CORNER SIDE 10'
- EARTHWORK: CUT 170 C.Y. (2.5' MAX.), FILL 415 C.Y. (3.2' MAX.), IMPORT 245 C.Y.
- COVERAGE PAVING/HARDSCAPE: 8% BUILDING 56% LANDSCAPE 36%
- BUILDING HEIGHT = 35' AVERAGE ABOVE FINISHED GRADE =
- ZONING: R3 (1986 COASTAL ZONE) GENERAL PLAN USE: MEDIUM DENSITY RESIDENTIAL (29 DWELLING UNITS/ACRE - 43 DWELLING UNITS PER ACRE).
- SLOPE ANALYSIS: ALL SLOPES RANGE FROM 0% TO 25% MAX. ELEVATION DIFFERENTIAL IS 10'.
- ALL DWELLINGS SHALL HAVE AUTOMATIC FIRE SPRINKLERS PER NFPA 13-D.
- REFUSE AND RECYCLING RECEPTALS ARE PROVIDED FOR WITHIN THE GARAGE OF EACH UNIT (SEE ARCHITECT'S PLANS FOR LOCATION).

GEOTECHNICAL STUDY

UTILITIES

- FIRE: OCEANSIDE FIRE DEPARTMENT
- WATER: CITY OF OCEANSIDE
- SCHOOL: OCEANSIDE UNIFIED SCHOOL DISTRICT
- SEWER: CITY OF OCEANSIDE
- GAS AND ELECTRIC: SDG&E.
- COMMUNICATIONS: AT&T, COX.

STORMWATER PRIORITY

LIST OF ABBREVIATIONS

EXIST.	EXISTING
R/W	RIGHT-OF-WAY
(TYP.)	TYPICAL
FG	FINISHED GRADE
TC	TOP OF CURB
F.F.	FINISHED FLOOR
AC.	ACRE
ℓ	PROPERTY LINE
ℓ	CENTERLINE
MIN.	MINIMUM
P.P.	POWER POLE
F.H.	FIRE HYDRANT
S.B.	SETBACK
FS	FINISHED SURFACE
BW	EDGE OF PAVEMENT
TW	TOP OF WALL
TF	TOP OF FOOTING

BENCHMARK

FOUND USGS BRASS CAP STAMPED "H-181" +/-30' NORTHERLY OF CENTERLINE OF CASSIDY STREET AND 100' +/- EASTERLY OF CENTERLINE OF RAILROAD TRACKS (PER CITY DATUM BK 162-40 EL. = 38.69'). 1970 DATUM USED = 38.424 FEET

TOPOGRAPHY SOURCE

TOPOGRAPHY BASED UPON FIELD SURVEY PERFORMED BY SB&O, INC. ON APRIL 17, 2013.

LEGAL DESCRIPTION

LOTS "A", "B" AND "C" IN BLOCK 6 OF SOUTH OCEANSIDE PER MAP NO. 622.

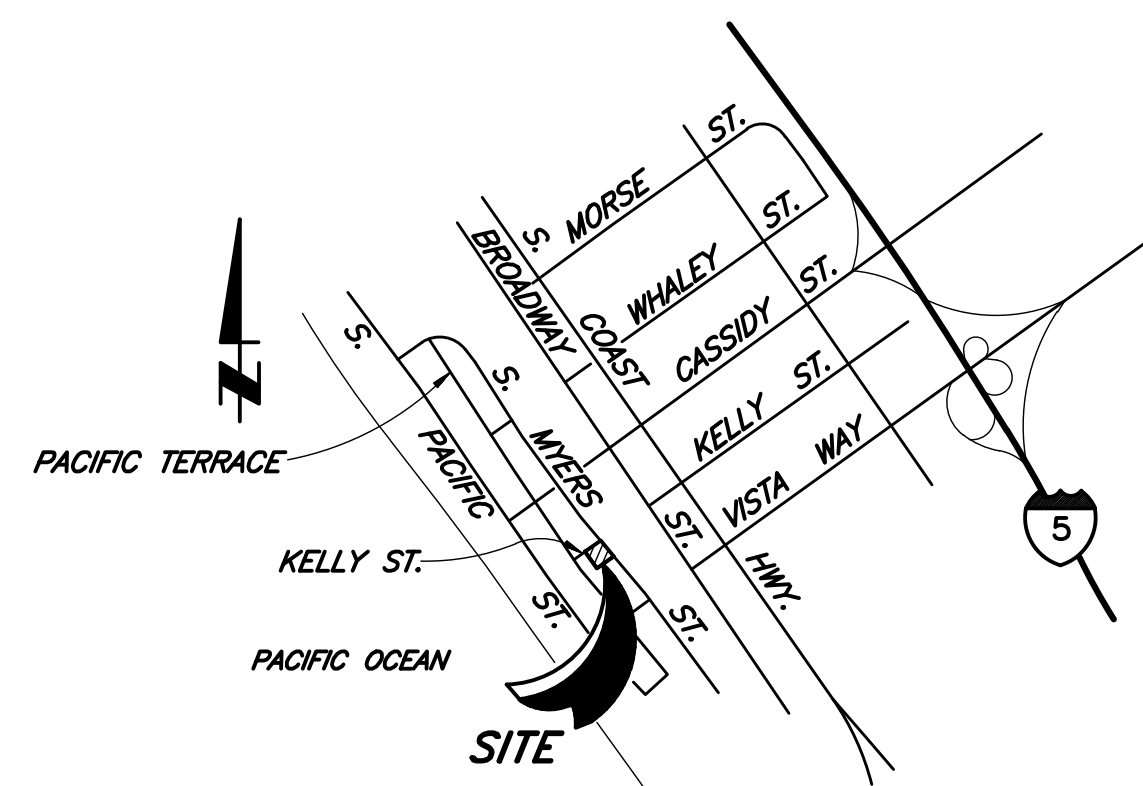
OWNER/APPLICANT

NEXT GENERATION INVESTMENTS
4365 EXECUTIVE DRIVE, SUITE 600
SAN DIEGO, CA 92121
(858) 922-0330

RAVEAN KRETOWICZ, CEO DATE

LEGEND

SUBDIVISION BOUNDARY	---
CENTERLINE	---
PROPERTY LINE	---
CURB AND GUTTER	---
EASEMENT	---
P.C.C. CONCRETE	---
AC. PAVEMENT	---
PROPOSED BUILDING FOOTPRINT	---
SAWCUT LINE	---
SPOT ELEVATION	290.0 FS
SWALE/DIRECTION OF DRAINAGE	---
PROPOSED SEWER LATERAL	---
PROPOSED WATER LATERAL WITH 3/4" METER	---
FIRE HYDRANT	---
PRIVATE STORM DRAIN	---
LANDSCAPE AREA DRAIN	---
DRIVEWAY TRENCH DRAIN	---
MASONRY RETAINING WALL	---
TOP OF SLOPE	---
SLOPE SYMBOL	---
PEDESTRIAN CURB RAMP TYPE-A	---
PEDESTRIAN CURB RAMP TYPE-D	---
EXISTING SEWER	---
EXISTING WATER	---
EXISTING STREET LIGHT	---
EXISTING OVERHEAD ELECTRIC LINES	---
EXISTING POWER POLE	---
EXISTING FIRE HYDRANT	---
EXISTING EDGE OF PAVEMENT	---
EXISTING STRUCTURE	---



VICINITY MAP
NOT TO SCALE

Original Date: 10-22-14
Sheet 1 of 2

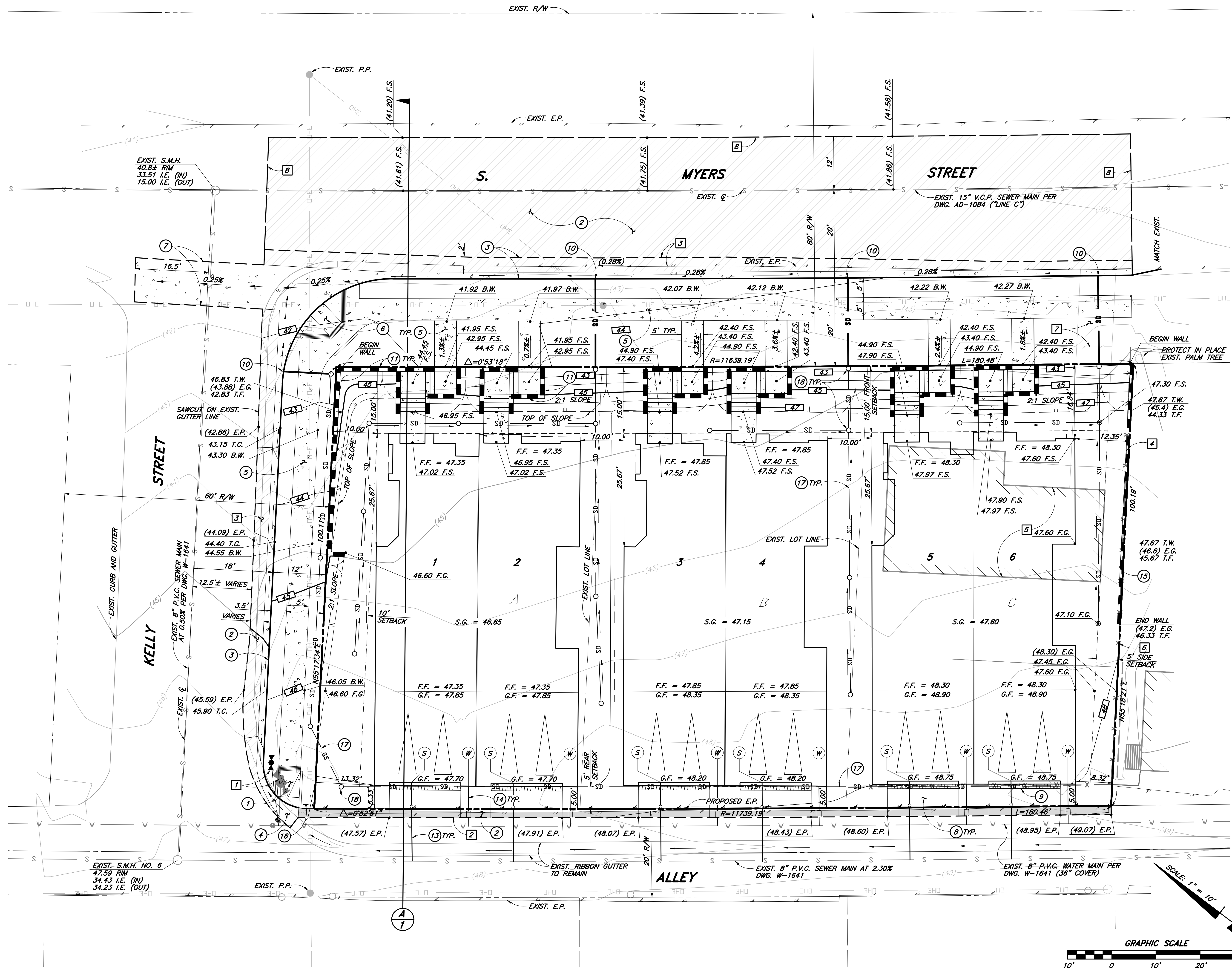


SB&O INC.
PLANNING ENGINEERING SURVEYING
3980 Ruffin Road, Suite 120
San Diego, Ca. 92123
858-560-1141
858-560-8157 Fax

PRELIMINARY
NOT FOR CONSTRUCTION

STEPHEN C. OIT DATE

TENTATIVE MAP AND SITE DEVELOPMENT PLAN FOR:
'1909 S. MYERS STREET CONDOS'



PLAN NOTES

- 1 EXIST. 8" COMMERCIAL FIRE HYDRANT AND 8" GATE VALVE TO BE RE-LOCATED PER CITY STD. DWG. W-1, 3-WAY.
- 2 SAWCUT AND REMOVE EXIST. AC. ALLEY PAVEMENT.
- 3 SAWCUT 2' FROM EXIST. EDGE OF PAVEMENT AND REMOVE EXIST. AC. PAVEMENT. SEE TYPICAL SECTIONS SHEET 1.
- 4 EXIST. FENCE TO BE REMOVED.
- 5 EXIST. BUILDING TO BE DEMOLISHED AND REMOVED.
- 6 EXIST. PRIVACY FENCE TO BE REMOVED AND REPLACED.
- 7 REMOVE EXIST. DRIVEWAY AND GATE.
- 8 LIMITS OF 1" AC. GRIND AND OVERLAY.

CONSTRUCTION NOTES

- 1 PEDESTRIAN CURB RAMP TYPE-D PER SDRSD G-31.
- 2 1" AC. GRIND AND OVERLAY.
- 3 CURB, GUTTER, AND FULL DEPTH AC. PAVEMENT.
- 4 MODIFIED RIBBON GUTTER MATCH EXIST. AND FORM TO PROP. G-2 CURB AND GUTTER.
- 5 4" NON CONTIGUOUS P.C.C. SIDEWALK PER SDRSD G-7.
- 6 PEDESTRIAN CURB RAMP TYPE-A PER SDRSD G-27.
- 7 CROSS GUTTER PER SDRSD G-12.
- 8 MODIFIED RESIDENTIAL CONCRETE DRIVEWAY PER SDRSD G-14C DRIVEWAY SLOPE PER PLAN.
- 9 TRENCH DRAIN 1" FROM GARAGE FACE.
- 10 SIDEWALK UNDER DRAIN PER SDRSD D-27, MANFOLD TO 3"-3" PIPES AT CURB FACE OUTLET.
- 11 MASONRY RETAINING WALL TYPE-2 PER SDRSD C-2.
- 12 PRIVATE CONCRETE STAIRS AND LANDINGS PER ARCHITECT PLANS.
- 13 SEWER LATERAL HOUSE CONNECTION PER CITY STD. DWG. S-3.
- 14 WATER LATERAL SERVICE WITH METER PER CITY STD. DWG. W-4.
- 15 MASONRY RETAINING WALL TYPE-1 PER SDRSD C-1 WITH PRIVACY FENCE MOUNTED ON TOP.
- 16 NO PARKING IN ALLEY SIGN.
- 17 PRIVATE STORM DRAIN.
- 18 PRIVATE AREA DRAIN.

Revision 1: _____
 Original Date: 10-22-14
 Sheet 2 of 2

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STEPHEN C. OTT DATE