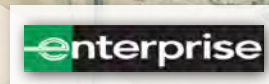
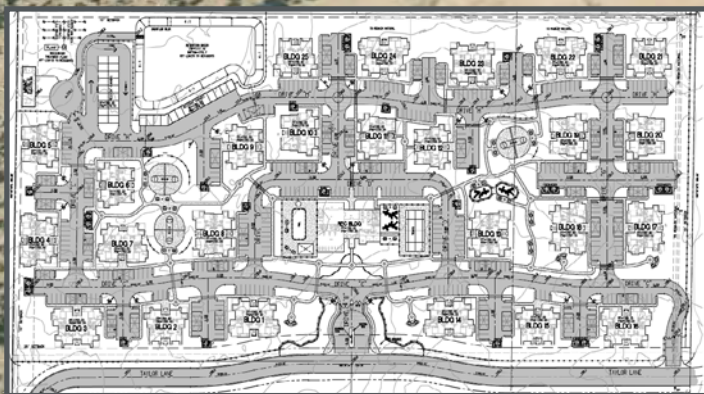


# THE RIDGE

200 UNIT MULTI-FAMILY DEVELOPMENT  
ASKING PRICE: \$2,400,000



- Flat Site
- Approved Tentative Map
- 25 Buildings on 19.96 Acres
- Close Proximity to Joshua Tree
- Located at Entrance of Marine Corps Air Ground Combat Center
- Amenities include Recreational Buildings, Basketball Courts, Pool

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- 9 elevations











Robert E Bush  
Naval Hospital

LINCOLN MILITARY HOUSING  
*Every Mission Begins at Home®*

← 11 Miles to  
Joshua Tree





location map

# property information

## location & property profile

This subject property is located on two parcels totaling 39.96 acres in Twenty-Nine Palms, CA. Each parcel is roughly 20 acres in size. One of the parcels has an active tentative map for a community with 200 apartments with numerous amenities including recreational centers, basketball courts, and open spaces. The additional 20 acre parcel has blended zoning of rural residential and general commercial. The property is located at the entrance of the Marine Corps Air Ground Combat Center. This project will add to the high demand in military housing for the Marine Corps Military Base.

## jurisdiction

County of San Bernardino

## apn

0622-291-14

0622-291-15

## project summary

25 Buildings:

- o Building A - 7 Buildings
  - 56 units - 2 bd/rm (4) & 1 bd/rm (4)
- o Building B - 1 Building
  - 8 units - 2 bd/rm (8)
- o Building C - 7 Buildings
  - 56 units - 3 bd/rm (4) & 2 bd/rm (4)
- o Building D - 5 Buildings
  - 40 units - 2 bd/rm (4) & 1 bd/rm (4)
- o Building E - 2 Buildings
  - 16 units - 2 bd/rm (8)
- o Building F - 3 Buildings
  - 24 units - 3 bd/rm (4) & 2 bd/rm (4)

## acreage

39.96 acres

## zoning

Multi-Family Residential (RM)

General Commercial (GC)

Rural Living (R-L 2.5)

## general plan

Multi-Family Residential

## services

Water/Sewer Twenty Nine Palms Water District

Fire San Bernardino County Fire Station 44

Police San Bernardino County Sheriff Dept

Gas/Electric Southern California Gas Company

## topography

Flat

## links

Land Use Map [Click here to view](#)

Conditions of Approval [Click here to view](#)

## density

RM - 8 du/ac

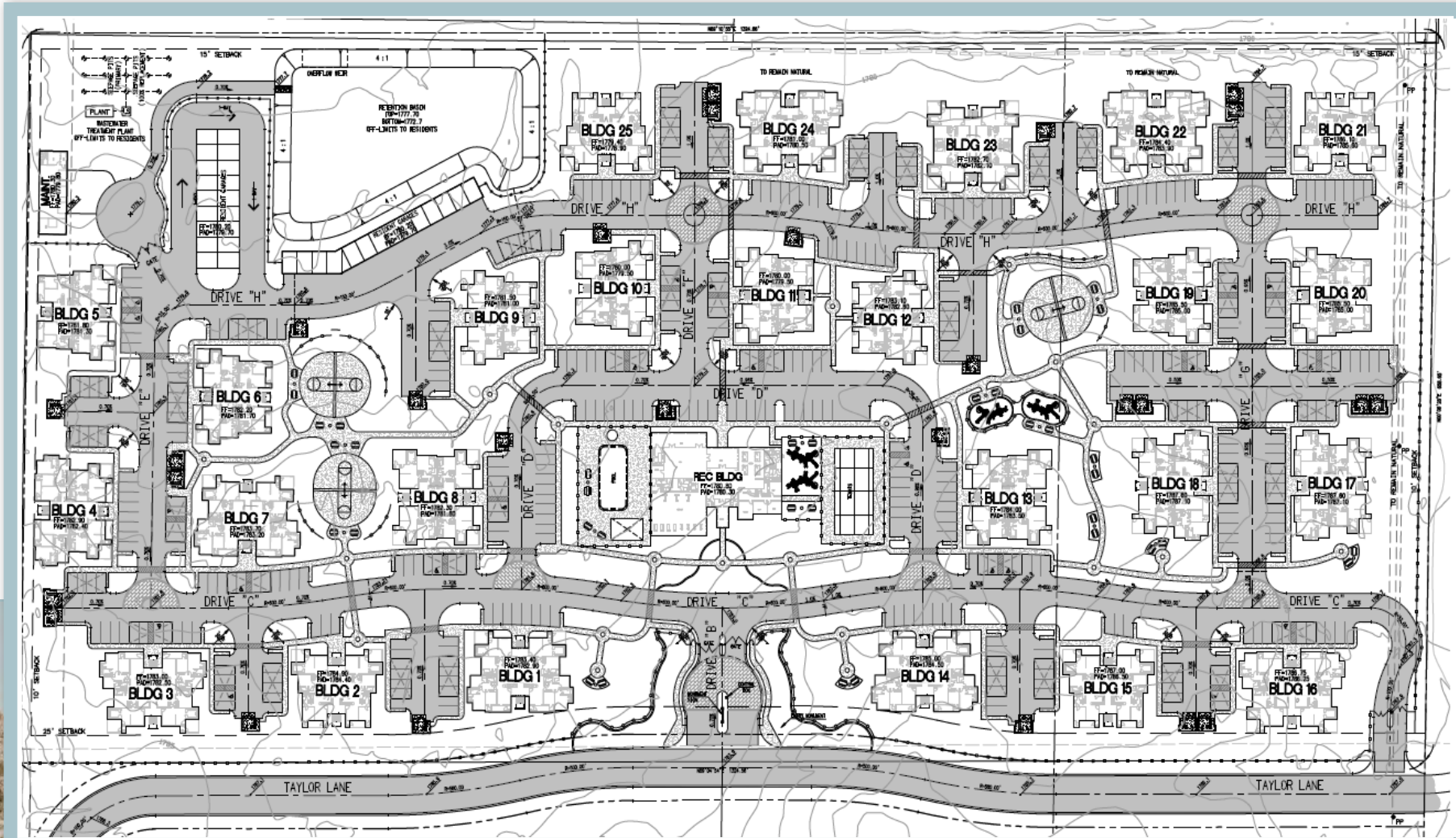
RL-2.5 - 2.5 acre lot minimums

## ASKING PRICE

**\$2,400,000**



# site plan

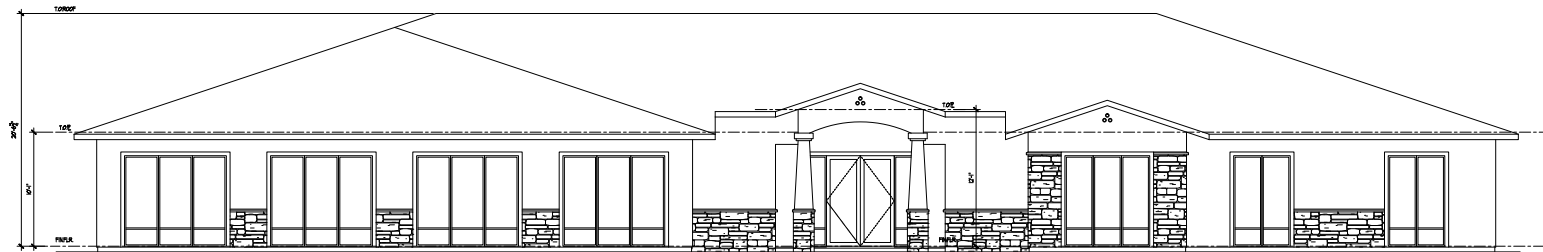


SHEET  
**1**  
OF  
**3**

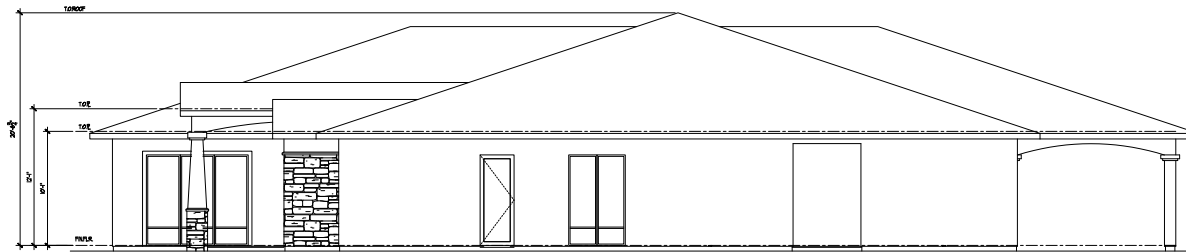


# elevations

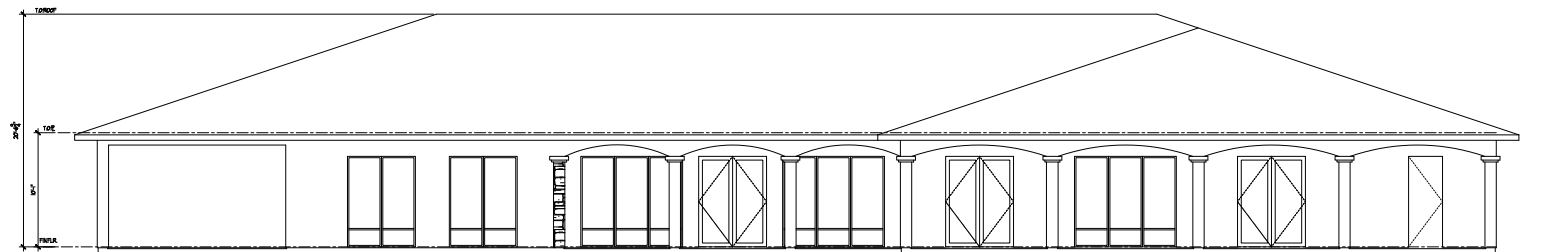
## club level



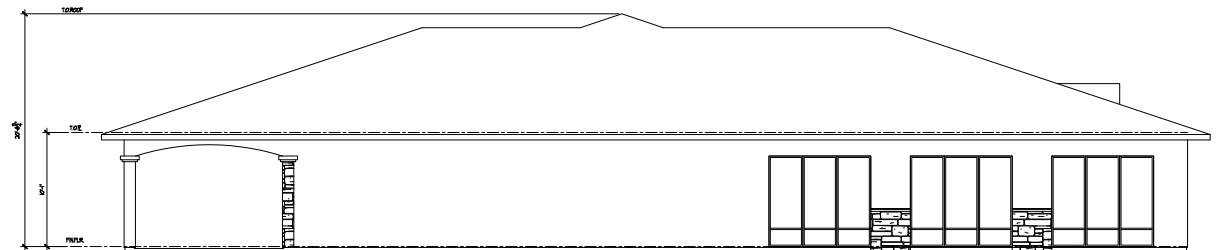
FRONT ELEVATION



RIGHT ELEVATION



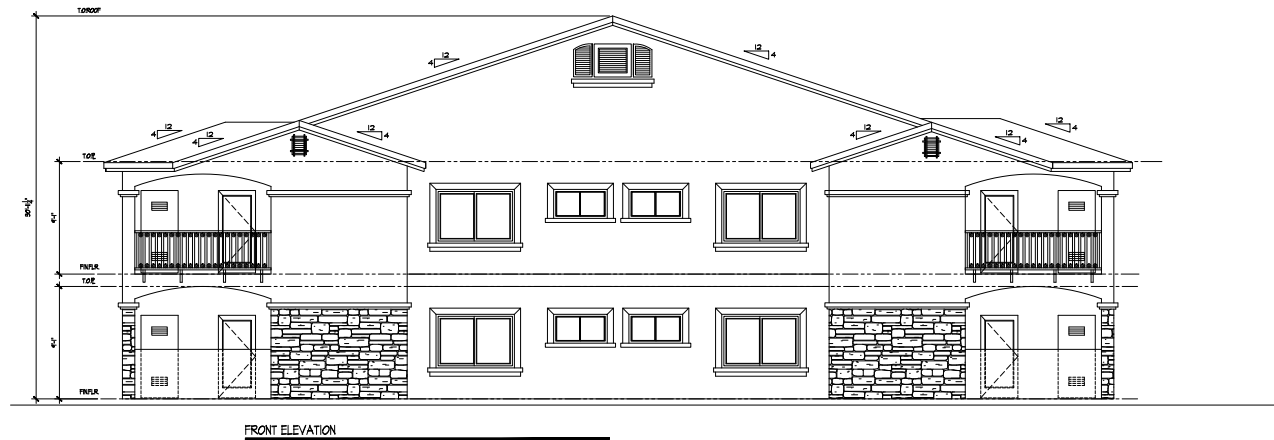
REAR ELEVATION



LEFT ELEVATION

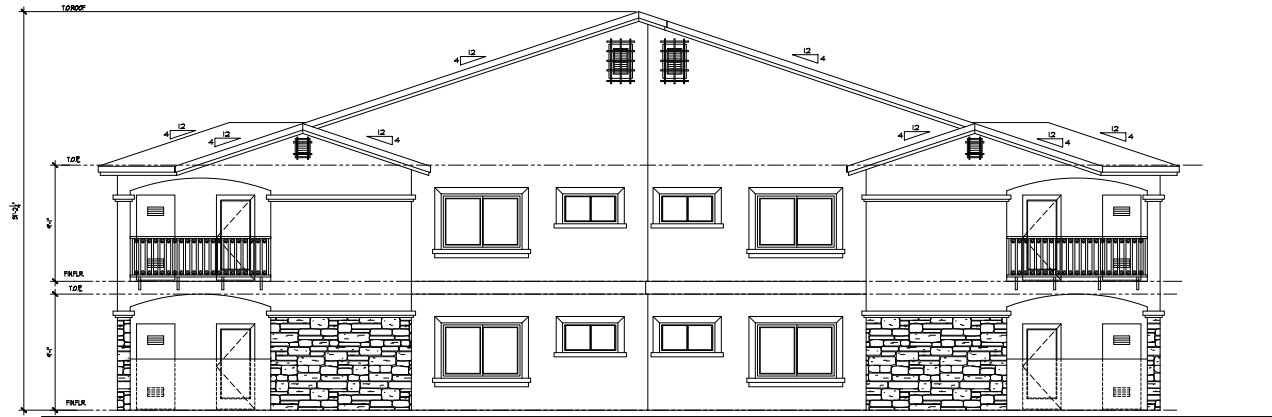


## building 2

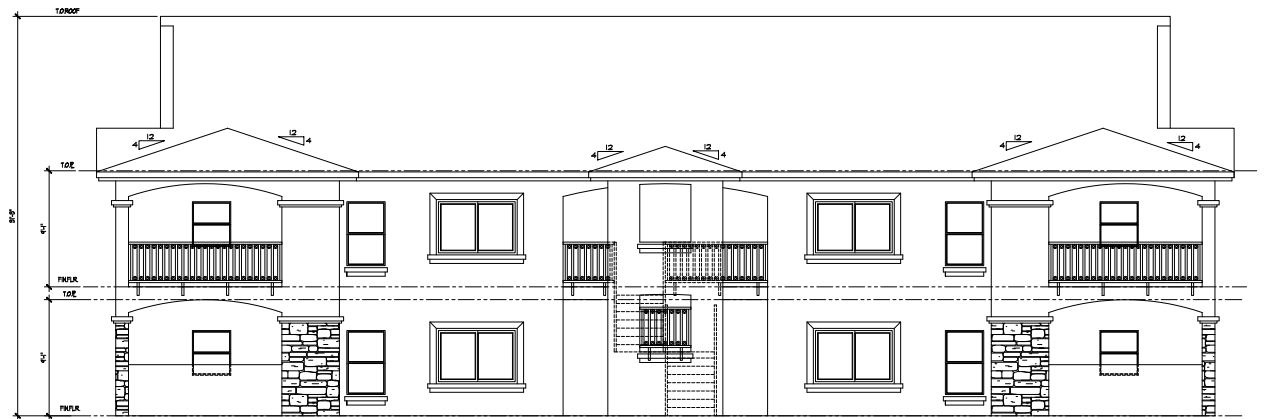




## building 5



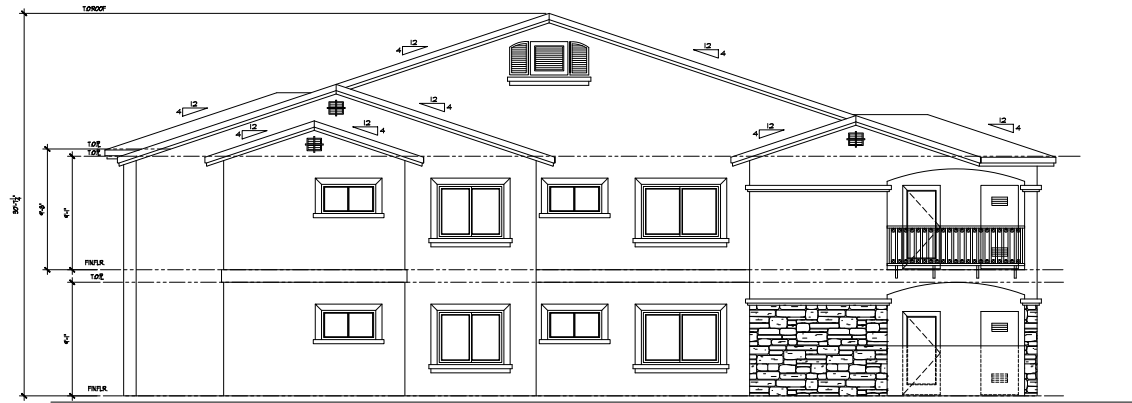
REAR ELEVATION



LEFT ELEVATION



## building 6



FRONT ELEVATION



RIGHT ELEVATION

## LEE & ASSOCIATES HEREBY ADVISES ALL PROSPECTIVE PURCHASERS AS FOLLOWS:

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Like all real estate, this property carries significant risks. Buyer and Buyer's consultants, legal and financial advisors must request and carefully review all legal and documents related to the property. Any info provided including fees and costs are not guaranteed and should be verified by Buyer. These figures are subject to change at any time based on market, economic, environmental or other conditions. Buyer is responsible for conducting his/her own investigation of all matters affecting the intrinsic value of the property and the value of any potential development or use of the property.

By accepting this Marketing Brochure you agree to release Lee & Associates and hold it harmless from any kind of claim, cost, expense, or liability arising out of your investigation and/or purchase of this property.





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