

Scott Harry

From: Barry, Anthony <Anthony.Barry@sdcounty.ca.gov>
Sent: Wednesday, January 23, 2019 9:48 AM
To: Scott Harry
Cc: Carlton, Gregory A.
Subject: RE: Fallbrook Property - FEMA versus County Flood Plain Mapping

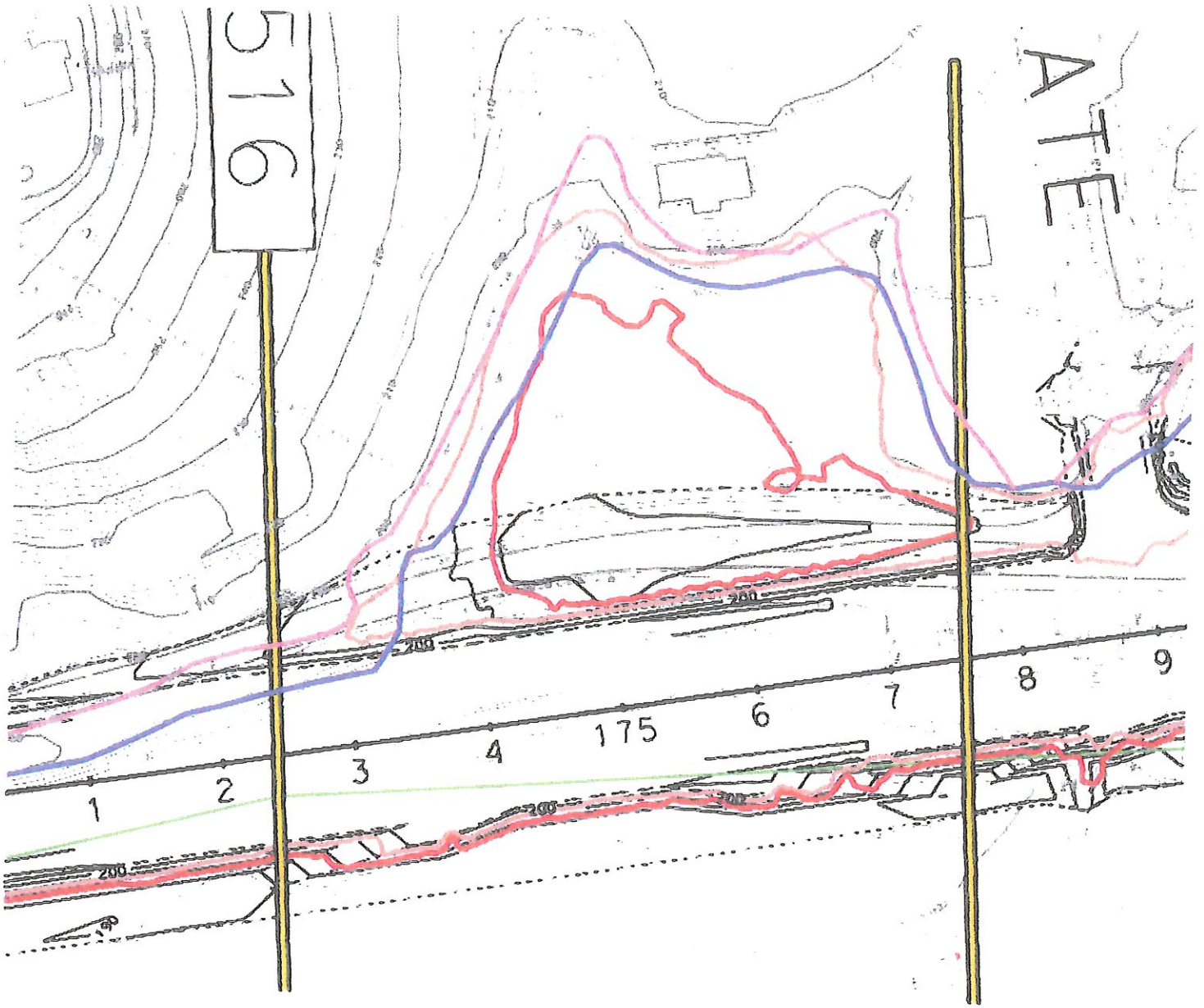
Scott,

The site is not in the floodway, so none of the floodway related requirements (no-rise) would apply. Caltrans has obtained an approved CLOMR for this area due to their widening of the SR 76, and there results and floodplain differ slightly from the current mapping, showing the onsite area as disconnected ponding. They should submit for a LOMR (the work is now done) in the next year. There are also several developments across the river and downstream that are in various stages of development and analyses, but it is likely that the situation outlined in the Caltrans CLOMR for the site would change very little (although coordination during the overlapping submittals may become an issue). If someone wanted to develop that site, they could either stay out of the floodplain portion, or they could fill it in being sure to account for drainage issues across the site. Depending on what is done, a map revision through FEMA (CLOMR and LOMR) may be required (if there's any change to the floodplain delineation or BFEs).

The image below shows the Caltrans CLOMR floodplain in red, it's an improvement for the site.

LETTER OF MAP REVISION (LOMR)

CONDITIONAL LETTER OF MAP REVISION (CLOMR)



Thanks

ANTHONY D. BARRY, PE, CFM, QSD
Civil Engineer

County of San Diego
Flood Control Engineering
858-694-2707

From: Scott Harry [mailto:Scott.harry@karnengineering.com]
Sent: Wednesday, January 23, 2019 7:26 AM
To: Barry, Anthony <Anthony.Barry@sdcounty.ca.gov>
Subject: Fallbrook Property - FEMA versus County Flood Plain Mapping

Anthony,

We have a Client who's looking to purchase a property at 3080 Pala Road, Fallbrook, 92028 (APN 124-140-25). It appears that the County Floodway/Floodplain mapping may differ at this location than the FEMA mapping. The County

mapping shows that the property is in the Floodplain (Floodway is south of SR-76), the FEMA mapping shows that the property is within Zone A. What would be the process for our client to develop this property? Would they still need a No-Rise certification from FEMA even though the County does not map the property as Floodway? Would they only need to construct the FF of the buildings to be above the Floodplain as shown on the County mapping?

Attached are the FEMA Firmette and the County property report.

Thanks for your time!

Scott Harry, PE, PLS

KARN Engineering and Surveying, Inc.
129 W. Fig Street, Fallbrook, CA 92028
760-728-1134

KARN