

Print

Murrieta, CA Municipal Code

16.08 Residential Districts

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16.08.010 Purpose.

This chapter provides regulations applicable to development and new land uses in the residential zoning districts established by 16.06.010 (Zoning Districts Established). The purposes of the individual residential zoning districts and the manner in which they are applied are as follows:

A. RR (Rural Residential) District. The RR zoning district identifies areas intended for low density, large lot single-family uses within a rural atmosphere, and may include the keeping of horses and other livestock, including kennels, as a permitted use in conjunction with the main residential use. Agricultural uses are allowable especially for buffering smaller lot single-family designations. The allowable density range is from 0.1 to 0.4 dwelling units per acre, with a minimum parcel size of 2.5 acres, unless designated within a master plan overlay. The RR zoning district is consistent with the large lot residential designation of the general plan;

B. ER-1 (Estate Residential 1) District. The ER-1 zoning district identifies areas appropriate for large lot single-family uses, and allows for the keeping of horses and other livestock in conjunction with the main residential use, including small scale agricultural uses appropriate for buffering smaller lot single-family designations. The allowable density range is from 0.4 to 1.0 dwelling units per acre, with a minimum parcel size of one acre, unless designated within a master plan overlay. The ER-1 zoning district is consistent with the large lot residential land use designations of the general plan;

C. ER-2 (Estate Residential 2) District. The ER-2 zoning district identifies areas appropriate for large lot single-family uses, and allows for the keeping of horses and other livestock in conjunction with the main residential use, including small scale agricultural uses appropriate for buffering smaller lot single-family designations. The allowable density range is from 1.0 to 2.0 dwelling units per acre, with a minimum parcel size of one-half acre, unless designated within a master plan overlay. The ER-2 zoning district is consistent with the single-family residential land use designations of the general plan;

D. ER-3 (Estate Residential 3) District. The ER-3 zoning district identifies areas appropriate for large lot single-family uses. This district is an appropriate transition zone

between rural and the single family zones. The allowable density range is from 2.0 to 3.0 dwelling units per acre, with a minimum parcel size of ten thousand (10,000) square feet. The ER-3 zoning district is consistent with the single-family residential designations of the general plan;

E. SF-1 (Single-Family Residential 1) District. The SF-1 zoning district is applied to parcels appropriate for single-family subdivisions with a uniform lot pattern possessing a minimum parcel size of seven thousand two hundred (7,200) square feet. The allowable density range is from 2.1 to 5.0 units per acre. The SF-1 zoning district is consistent with the single-family residential land use designation of the general plan;

F. SF-2 (Single-Family Residential 2) District. The SF-2 zoning district is applied to parcels appropriate for single-family subdivisions which may include detached and attached single-family dwelling units with common walls. The allowable density range is from 5.1 to 10.0 units per acre. The minimum parcel size for detached single-family units is five thousand (5,000) square feet. Clustering of units to provide aggregate open space is encouraged, with units on individual parcels with commonly maintained open space, and on-site recreational facilities required. The SF-2 zoning district is consistent with the single-family residential land use designation of the general plan;

G. MF-1 (Multi-Family Residential 1) District. The MF-1 zoning district is applied to parcels appropriate for low density multi-family subdivisions which may include stacked flats or townhouse development, with ample amounts of open space, including required commonly maintained recreational and open space facilities. Air space, or postage stamp subdivisions providing individual ownership are allowed. The allowable density range is from 10.1 to fifteen (15) units per acre. The minimum parcel size for single-family detached units is five thousand (5,000) square feet. Clustering of units to provide aggregate open space is encouraged, with commonly maintained open space, and on-site recreation facilities. The MF-1 zoning district is consistent with the multi-family residential land use designation of the general plan;

H. MF-2 (Multi-Family Residential 2) District. The MF-2 zoning district is applied to parcels appropriate for high density multi-family development, in which attached or detached dwelling units may be air-space condominiums, or rented as apartments under single ownership. Senior housing, congregate care or group facilities are allowed, with commonly maintained recreational facilities and open space required. The allowable density range is from 15.1 to eighteen (18) units per acre. The MF-2 zoning district is consistent with the multi-family residential land use designation of the general plan; and

I. MF-3 (Multi-Family Residential 3) District. The MF-3 zoning district is applied to parcels appropriate for higher density multi-family development, in which attached dwelling units, senior housing and assisted living facilities are allowed with commonly maintained recreational facilities and open space required. The allowable density range is a minimum of 30 units per acre. The MF-3 zoning district is consistent with the multi-family residential land use designation of the general plan.

Note: Click to view a printer-friendly PDF of Table 16.08-1

<p>TABLE 16.08-1 USE TABLE FOR RESIDENTIAL (SINGLE-FAMILY) ZONING DISTRICTS Permit Requirement by District</p>

Symbol	Applicable Process						See Chapter
P	Permitted Land Use - Compliance with development standards and zoning clearance required						16.74
C	Conditional Use - Conditional use permit required						16.52
"Blank"	Land use not permitted						
Land Use (1) (2)	RR	ER-1	ER-2	ER-3	SF-1	SF-2	See Standards in Section
Agriculture, Open Space and Resources							
Animal Keeping	P	P	P	P	P	P	16.44.040
Crop Production, Commercial	P	P	P				
Equestrian Facilities, Commercial	P	P	P	P	P	P	
Kennels Residential/Commercial	p(3)						
Nature Preserves	P	P	P				
Plant Nurseries, Commercial	C	C	C				
Open Space	P	P	P	P	P	P	
Wind Conversion Energy Systems (non-commercial)	C						
Communication Facilities							
Satellite Dishes/Antennas	P	P	P	P	P	P	16.44.170A
Wireless Communication Facilities	C	C	C	C	C	C	16.44.170B
Education, Public Assembly and Recreation							
Bingo	C	C	C	C	C	C	
Churches, places of worship	C	C	C	C	C	C	
Cemeteries, Mortuaries, Crematoriums, Mausoleums	C	C	C				
Golf Courses, Country Clubs, Driving Ranges	C	C	C	C	C		
Residential Recreational Facilities, Private	P	P	P	P	P	P	
Schools	C	C	C	C	C	C	

Wedding/Event Facilities ⁽⁴⁾	C	C					16.44.230
Residential							
Assisted Living/Skilled Nursing	C	C	C	C	C	C	
Bed and Breakfast Inns	C	C	C				
Child Day Care - Up to 8 children ⁽⁵⁾	P	P	P	P	P	P	16.44.050
Child Day Care - 8 to 14	P	P	P	P	P	P	16.44.050
Child Day Care - More than 15 children	C	C	C	C	C	C	16.44.050
Home Occupations	P	P	P	P	P	P	16.60.030
Manufactured Housing (including mobile homes) ⁽⁶⁾	P	P	P	P	P		
Marijuana Cultivation, Processing, Delivery, and Dispensary	P	P	P	P	P	P	
Medical Marijuana Dispensary							
Medical Marijuana Dispensary, Mobile							
Mobile Home Parks	C	C	C	C	C	C	
Model Homes/Sales Office	P	P	P	P	P	P	
Multi-family Housing						P	
Residential Accessory Uses and Structures	P	P	P	P	P	P	16.44.150
Residential Care Homes - up to 6 Clients	P	P	P	P	P	P	
Residential Care Homes - 7+ Clients	C	C	C	C	C	C	
Residential Wedding/Event Facilities	C	C	C				16.44.230
Rooming/Boarding Houses	C	C	C	C	C	C	16.44.150I
Secondary Dwelling Units	C	C	C	C	C	C	16.44.160
Single-family Homes	P	P	P	P	P	P	
Supportive Housing	P	P	P	P	P	P	16.44.200
Transitional Housing (including SRO/Efficiency units)	P	P	P	P	P	P	16.44.200
Notes: (1) See Section 16.04.020 regarding uses not listed. (2) See Article VI for definitions of the land uses listed.							

- (3) Kennels existing as of January 1, 2014 within the RR zone are a legal-conforming land use and are permitted to continue in operation subject to no changes in the existing operation and/or compliance with the development standards contained in Section 16.44.040.E.2.
- (4) Minimum five (5) acre property.
- (5) Zoning clearance not required.
- (6) Any development standards imposed shall be limited to those specified in state law.

Note: Click to view a printer-friendly PDF of Table 16.08-2

TABLE 16.08-2 USE TABLE FOR RESIDENTIAL (MULTI-FAMILY) ZONING DISTRICTS Permit Requirement by District				
Symbol	Applicable Process			See Chapter
P	Permitted Land Use - Compliance with development standards and zoning compliance required			16.74
C	Conditional Use - Conditional use permit required			16.52
"Blank"	Land use not allowed			
Land Use ⁽¹⁾ ⁽²⁾	MF-1	MF-2	MF-3	See Standards in Section
Agriculture, Open Space and Resources				
Open Space	P	P		
Education, Public Assembly and Recreation				
Bingo	C	C		
Churches, Places of Worship	C	C		
Residential Recreational Facilities, Private	P	P		
Schools	C	C		
Communication Facilities				
Satellite Dishes/Antennas	P	P	P	16.44.170-A
Wireless Communication Facilities	C	C	C	16.44.170-B
Residential				
Assisted Living/Skilled Nursing	C	C	C	
Bed and Breakfast Inns				

Child Care - Up to 8 ⁽³⁾	P	P	P	16.44.050
Child Care - 9 to 14	P	P	P	16.44.050
Child Care - 15+	C	C	C	16.44.050
Home Occupations	P	P	P	16.60.030
Medical Marijuana Dispensary				
Medical Marijuana Dispensary, Mobile				
Mobile Home Parks	C	C	P	
Model Homes/Sales Office	P			
Multi-family Housing	P	P	P	
Residential Accessory Uses and Structures	P	P	P	16.44.150
Residential Care Homes - Up to 6 Clients	P	P		
Residential Care Homes - 7 or More Clients	C	C		
Rooming/Boarding Houses	C	C		16.44.150I
Secondary Dwelling Units				16.44.160
Notes: (1) See Section 16.04.020.D regarding uses not listed. (2) See Article VI for definitions of the land uses listed. (3) Zoning clearance not required.				

(Ord. 507-16 § 4 (part), 2016; Ord. 492 Exhibit 4, 2014; Ord. 486 § 2, 2014; Ord. 482 § 2, 2013; Ord. 480 § 4, 2013; Ord. 463 § 1, 2011; Ord. 427 § 1, 2009; Ord. 408 § 2, 2008; Ord. 382 § 5, 2007; Ord. 367 § 4 (part), 2006; Ord. 293 § 1 (part), 2004; Ord. 280 § 1, 2003; Ord. 269 § 2 (part), 2002; Ord. 253 § 2 (part), 2002; Ord. 202 § 2 (part), 1999; Ord. 182 § 2 (part), 1997)

16.08.020 Residential Districts General Development Standards.

New land uses and structures, and alterations to existing land uses and structures, shall be designated, constructed, and/or established in compliance with the requirements in Table 16.08-3, in addition to the applicable design standards in Sections 16.08.030 and 16.08.040 and the general development standards (e.g., landscaping, parking and loading, etc.) in Article III (Site Planning and General Development Standards).

Note: Click to view a printer-friendly PDF of Table 16.08-3

<p>TABLE 16.08-3 RESIDENTIAL (SINGLE-FAMILY) ZONES GENERAL DEVELOPMENT STANDARDS</p>

Development Feature	RR	ER-1	ER-2	ER-3	SF-1	SF-2
Minimum Parcel Size	2.5 acres (2)	1.0 acres	0.5 acres (1)	10,000 sq. ft.	7,200 sq. ft.	5,000 sq. ft.
Minimum Parcel Size w/Master Planned Overlay	20,000 sq. ft.	10,000 sq. ft.	7,200 sq. ft.	N/A	10% @ 5,000 sq. ft. or 20% @ 6,000 sq. ft.	N/A
Density Range	0.1 - 0.4 dus/acre	0.4 - 1.0 dus/acre	1.0 - 2.0 dus/acre	2.0 - 3.0 dus/acre	2.1 - 5.0 dus/acre	5.1 - 10.0 dus/acre
Minimum Parcel Width	100 feet	100 feet	100 feet	70 feet	70 feet	55 feet
Minimum Livable Area	1,000 sq. ft.	1,000 sq. ft.	1,000 sq. ft.	1,000 sq. ft.	1,000 sq. ft.	1,000 sq. ft.
Setbacks						
Front	20 feet	20 feet	20 feet	20 feet	20 feet	20 feet
Side (interior)	20 feet	20 feet	20 feet	10 feet	10 feet	7.5 feet per side
Street Side	20 feet	20 feet	20 feet	20 feet	20 feet	10 feet
Rear	20 feet	20 feet	20 feet	20 feet	20 feet	20 feet
Maximum Parcel Coverage	25%	25%	25%	35%	35% for two-story; 45% for single story	50%
Maximum Building Height	40 feet	40 feet	40 feet	35 feet	35 feet	35 feet
Maximum On-site Landscaping	25% of front yard area					
<p>Notes:</p> <p>(1) A forty (40) foot wide buffer shall be provided along Washington Avenue (from Guava to Elm Street) in the public right-of-way. Landscaping to include six-foot high block wall, pedestrian trails and/or sidewalk, and landscaping berms to act as natural buffers. New residential projects will be allowed to access from Washington Avenue with residential lots abutting Washington Avenue are prohibited from taking direct access from Washington Avenue.</p> <p>(2) The minimum parcel area for properties zoned RR can include adjacent area to the centerline of the public street right-of-way.</p>						

Note: Click to view a printer-friendly PDF of Table 16.08-4

**TABLE 16.08-4
RESIDENTIAL (MULTI-FAMILY) ZONES
GENERAL DEVELOPMENT STANDARDS**

Development Feature	MF-1	MF-2/MU-3 ⁽²⁾	MF-3
Minimum Parcel Size	5 acres	5 acres	5 acres
Minimum Parcel Width	100 feet	100 feet	100 feet
Density Range	10.1 - 15 du/acre	15.1 - 18.0 du/acre	Min. 30 du/acre
Minimum Livable Area	500 sq. ft.	500 sq. ft.	500 sq. ft.
Setbacks			
Street	10 feet	10 feet	Varying 10 - 20 feet
Interior	10 feet	10 feet	Minimum 10 feet ⁽¹⁾
Maximum Parcel Coverage	35%	35%	None
Maximum Height Limit	50 feet	50 feet	100 feet
Open Space (per dwelling unit)			
Private Open Space	60 sq. ft./upper floor 100 sq. ft./ground floor	60 sq. ft./upper floor 100 sq. ft./ground floor	All units 50 sq. ft. ⁽²⁾
Common Open Space	200 sq. ft.	200 sq. ft.	150 sq. ft. ⁽³⁾
Recreational Amenities			For projects containing 25 or more dwelling units, provide one recreational amenity for each 30 dwelling units or fraction thereof ⁽⁴⁾
Minimum On-site Landscaping	10% of the site area		
<p>Notes:</p> <p>(1) When adjacent to existing single-family residential use or zone, the building setback from the nearest property line shall be 10 feet for the first 25 feet in height, above 25 feet in height the setback shall be 20 feet, and above 50 feet, the setback shall be 30 feet.</p> <p>(2) For stand-alone multi-family residential projects or as part of a mixed-use development, each residential unit shall be provided with at least one area of private open space accessible directly from the living area of the unit, in the form of fenced yard or patio, a deck or balcony at a minimum area of 50 square feet. The minimum dimension, width or depth of a balcony shall be 5 feet.</p> <p>(3) All common open space shall be conveniently located and accessible to all dwelling units on the site. Common open space may include landscaping, pedestrian paths and recreational amenities. In projects containing fewer than 10 units, the common open space shall have a minimum width and depth of 10 feet. In projects containing 10 or more units, the minimum width and depth shall be 20 feet.</p>			

(4) One common recreational amenity shall be provided for each 30 units or fraction thereof. The following listed amenities satisfy the above recreational facilities requirements. Recognizing that certain facilities serve more people than others, have a wider interest or appeal, and/or occupy more area, specified items may be counted as two amenities, as noted. In all cases, each square foot of land area devoted to a recreational amenity shall be credited as common open space on a 1:1 basis.

- a. Clubhouse (two)
- b. Swimming Pool (two)
- c. Tennis, Basketball or Racquetball court
- d. Weightlifting facility
- e. Children's playground equipment
- f. Sauna or Jacuzzi
- g. Day Care Facility (two)
- h. Other recreational amenities deemed adequate by the director.

(Ord. 492 Exhibit 4, 2014; Ord. 482-13 § 2, 2013; Ord. 377 § 3, 2006; Ord. 367 § 3, 2006; Ord. 297 § 2, 2004; Ord. 293 § 1 (part), 2004; Ord. 280 § 2, 2003; Ord. 253 § 2 (part), 2002; Ord. 182 § 2 (part), 1997)

16.08.030 Single-family Residential Design Standards and Design Features.

The following standards and design features are provided to ensure a level of quality that must be compiled with or satisfied in all new single-family residential subdivisions. Standards are mandatory requirements for all new single-family residential subdivisions. Deviations from specific standards may be allowed in compliance with Chapter 16.72 (Variances). Design features are provided to allow flexibility by providing options for implementing specific standards. In order to meet a certain standard, one or a combination of design features shall be incorporated in the project's design. In some instances, there will be no design feature(s) identified for a particular standard.

A. Site Planning. The following standards and design features deal with the internal organization of new single-family residential development. The intent of the standards and design features are to ensure that the relationships of units to each other and to other on-site uses are functional, attractive, and create visual variety along the project's streets.

1. Site Character.

a. Standard: Existing natural amenities (e.g., views, mature trees, and topographic features) and other amenities (e.g., structures of architectural significance and cultural resources) unique to the site shall be preserved and incorporated into the project's design whenever possible.

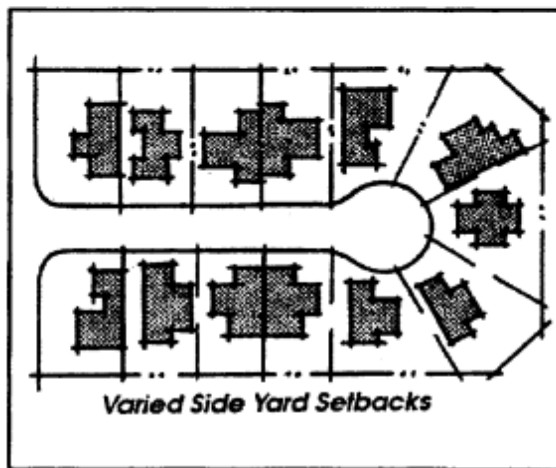
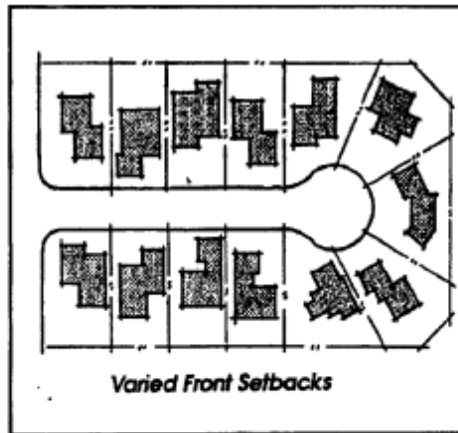
b. Standard: Development on sloped properties shall generally follow the natural contours of the land by use of at least one of the following design features:

- 1) Terrace parking lots to conform with the terrain.
- 2) Step building foundations and retaining walls to follow natural terrain.
- 3) Avoid grading large, flat pads in hilly terrain.
- 4) Provide larger setbacks to preserve natural landforms.

2. Variation of Development Patterns.

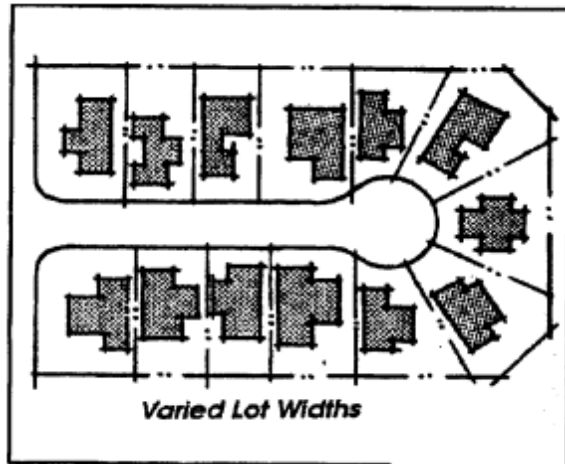
a. Standard: Variation of development patterns shall be incorporated in new subdivisions to achieve visual diversity and avoid a monotonous appearance by use of at least one of the following design features:

1) Alternate placement of homes and garages closer to and farther back from the street to create different patterns of open space along the street edge and to break up an otherwise monotonous view of houses built along the same setback.

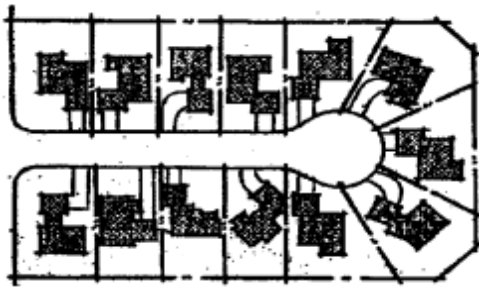


2) Vary the distance between adjacent structures, or between structures and fences to result in different types of yards and private patio areas and to create variety and interest.

3) Design some lots wider and some narrower than the average to provide different amounts of open area between structures and to allow placement of different shapes and sizes of homes. On narrow lots, a variation of only three or four feet can make a perceptible difference in the street scene.



4) When lot size permits, vary garage placement and orientation through the provision of garages on the front side of the house, which can be entered from the front or side, garages that vary in size, or detached garages connected to the home by breezeways.



Varied Garage Placement

3. Streets.

a. Standard: New project streets shall connect with existing public streets to form a continuous neighborhood network of streets whenever possible.

b. Standard: New residential streets shall be developed with parkways in compliance with the city's standards Plans Manual when required by the Director.

c. Standard: Private streets are allowed in gated communities for projects of fifty (50) units or more. Standards for private streets shall be those specified in the city's standards Plans Manual.

d. Standard: Blocks longer than five hundred (500) feet are discouraged, but may be considered provided they incorporate at least one of the following design features:

1) Significant differences shall be incorporated in the massing and composition (not just finish materials) of each adjacent house. Varied designs shall not be repeated more frequently than every fourth house.

2) Each group of three adjacent houses shall contain at least one house whose front setback differs from those of its neighbors by a minimum of five feet. Minimum setback requirements may be reduced to eighteen (18) feet to accommodate this variation. Average front yard setback shall be no less than twenty (20) feet.

3) Curved streets shall be integrated into the block design with radii to the centerline of the street, in conformance with city standards.

e. Standard: Private streets with gated entries shall provide a queuing distance in front of the gate to accommodate a minimum of four vehicles. The director may require a greater distance for larger projects.

4. Landscaping.

a. Standard: Landscaping shall be used to frame, soften, and embellish the quality of the residential environment, to buffer units from noise or undesirable views, to break up large expanses of parking, and to separate frontage roads within a project from adjacent major streets.

b. Standard: Street trees along all public and private streets shall be provided in compliance with current city standards.

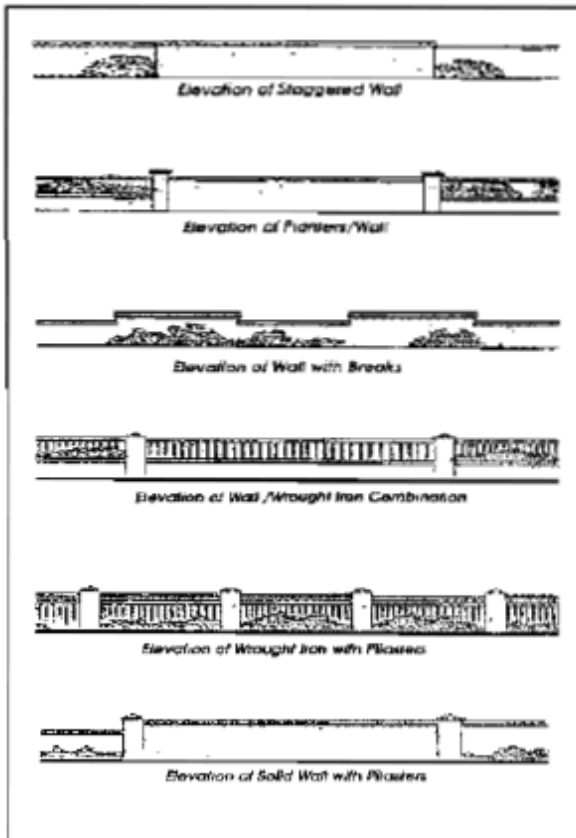
c. Standard: Existing healthy trees shall be preserved and incorporated into the new project's landscaping in compliance with Chapter 16.42 (Tree Preservation).

5. Walls.

a. Standard: Walls shall be designed using masonry materials such as split face and slumpstone, with colors that complement the architectural design of adjacent buildings.

b. Standard: Walls adjacent to streets shall run in a continuous plane for more than forty-eight (48) feet without incorporating at least two of the following design features:

- 1) A minimum two-foot change in plane for at least ten feet;
- 2) A minimum eighteen- (18-) inch raised planter for at least ten feet;
- 3) A minimum eighteen- (18-) inch change in height for at least ten feet;
- 4) Use of pilasters at forty-eight (48) foot intervals and at changes in wall planes and height; or
- 5) A section of open grillwork a minimum four feet in height for at least ten feet.



B. Architectural Standards.

1. Building Design. There is no specific architectural "style" required for residential structures. In general, residential structures should consider compatibility with surrounding character, including building style, form, size, color, material, and roof line.

a. Standard: The design of houses shall be varied in tract developments to create variety and interest by use of at least one of the following design features:

- 1) Provide a significant difference in the massing, orientation, and composition (not just finish materials and colors) for each adjacent house should be accomplished.
- 2) One design shall not be repeated more frequently than each fourth house.
- 3) Alternative garage orientations shall be used on at least every fourth house.

b. Standard: If a side or rear elevation faces a street, it shall be designed with the same care and attention to detail as the front elevation.

c. Standard: Exterior elevations shall be articulated and detailed to provide visual interest and scale by use of at least three of the following design features:

- 1) Offset building planes a minimum of two feet.
- 2) Provide recessed entries and windows.
- 3) Include projecting or recessed balconies.

- 4) Substantial roof overhangs with detailed rafter ends.
- 5) Design front porches a minimum of five feet deep.
- 6) Dormer windows.
- 7) Stepping back the second story.
- 8) Use of different building materials with varying textures and colors.

d. Standard: Full, sloped roofs and horizontal roof articulation shall be incorporated in building designs by use of one of the following design features:

- 1) Offset roof planes by a minimum of two feet.
- 2) Provide hip roof on street-facing elevations.
- 3) Incorporate dormer windows.
- 4) Include cross gables.

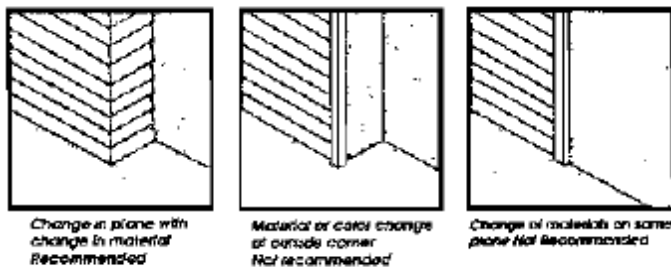
e. Standard: All corner lots in subdivisions recorded after December 19, 2006 on two street frontages that are designated as a collector or greater street type shall be single-story homes.

f. Standard: A minimum of 25% or the total number of homes in a subdivision of ten or more lots recorded after December 19, 2006 shall be single-story homes. The required mix of two-story homes and single-story homes shall be evenly plotted within the subdivision, with no more than three two-story homes next to each other, unless the requirement is waived by the Planning Director.

2. Building Materials.

Standard: The choice and mix of materials on the facades of residential units and garage doors within a subdivision shall be consistently applied and shall be chosen to work harmoniously with adjacent materials by use of at least one of the following features:

- 1) Piecemeal embellishment and frequent changes in materials shall be avoided.
- 2) Avoid material changes at the outside corners of structures or where there is no change in the wall plane to prevent giving an impression of thinness and artificiality.
- 3) Design changes in materials to occur at changes in plane to ensure that materials appear substantial and integral to the structure.



Change in materials shall relate to wall planes.

(Ord. 492 Exhibit 4, 2014; Ord. 377 § 4, 2006; Ord. 293 § 1 (part), 2004; Ord. 182 § 2 (part), 1997)

16.08.040 Multi-family Residential Design Standards.

The following standards and design features are provided to ensure a level of quality that must be compiled with or satisfied in all multi-family residential developments. Standards are mandatory requirements for all multi-family residential developments. Deviations from specific standards may be allowed in compliance with Chapter 16.72 (Variances). Design features are provided to allow flexibility by providing options for implementing specific standards. In order to meet a certain standard, one or a combination of design features shall be incorporated in the project's design. In some instances, there will be no design feature(s) identified for a particular standard and this will be noted.

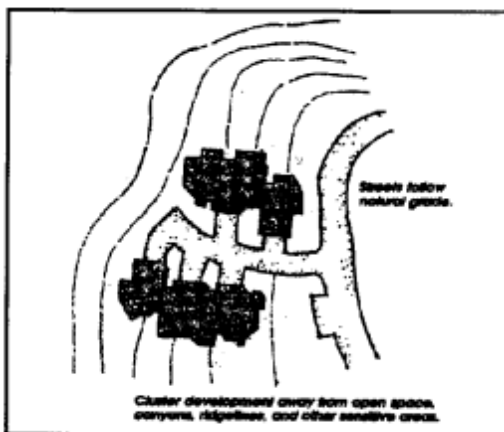
A. Site Planning.

1. Site Character.

a. Standard: Existing natural amenities (e.g., views, mature trees, and topographic features) and other amenities (e.g., structures of architectural significance and cultural resources) unique to the site shall be preserved and incorporated into the project's design whenever possible.

b. Standard: Development on sloped properties shall generally follow the natural contours of the land by use of at least one of the following design features:

- 1) Terrace parking lots to conform with the terrain.
- 2) Step building foundations and retaining walls to follow natural terrain.
- 3) Avoid grading large flat pads in hilly terrain.
- 4) Provide larger setbacks to preserve natural landforms.



Preserve natural contour of the land

2. Building Placement.

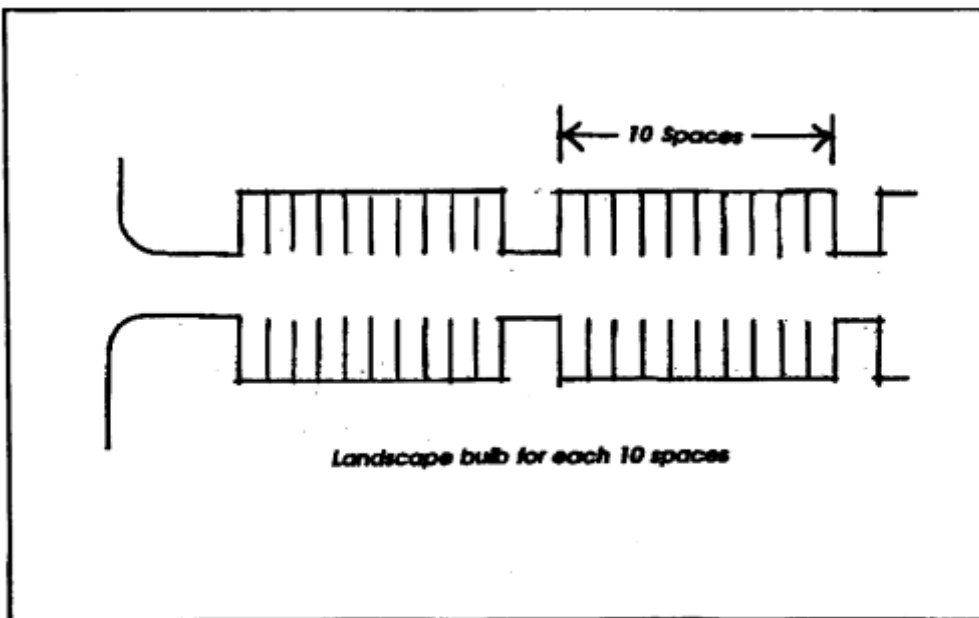
- a. Standard:** Buildings shall be placed with varying setbacks and/or orientation to the street to provide visual interest.
- b. Standard:** Clustering of multi-family units shall be a consistent site planning element. Buildings composed of a series of simple yet varied planes, assure compatibility and variety in overall building form.
- c. Standard:** Minimum distances between buildings shall be in compliance with Section 16.18.130 (Separation and Privacy standards for Residential Structures). Whenever possible, buildings shall be oriented to avoid instances where living spaces of one structure face the living spaces of another.
- d. Standard:** Buildings shall be oriented to create common open space areas.
- 1) Courtyards
 - 2) Open space nodes
 - 3) Recreation areas
- e. Separation Between Structures.** See Section 16.18.130 for requirements.

B. Parking and Circulation.

1. Parking Areas.

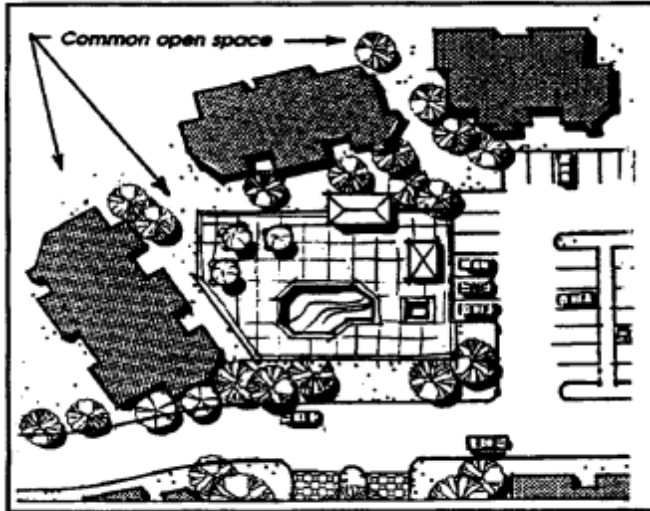
a. Standard: Parking areas shall not be a dominant site feature and shall be divided into a series of connected smaller lots that are laid out in an efficient and aesthetic manner. This can be accomplished by incorporating at least one of the following design features:

- 1) There should be no more than an average of ten spaces of uninterrupted parking, whether in garages, carports, or open parking areas. Each ten spaces should be separated from additional spaces by a landscaped bulb equal to the width of one parking stall.



2) Parking areas should not consist of more than two double-loaded parking aisles adjacent to each other.

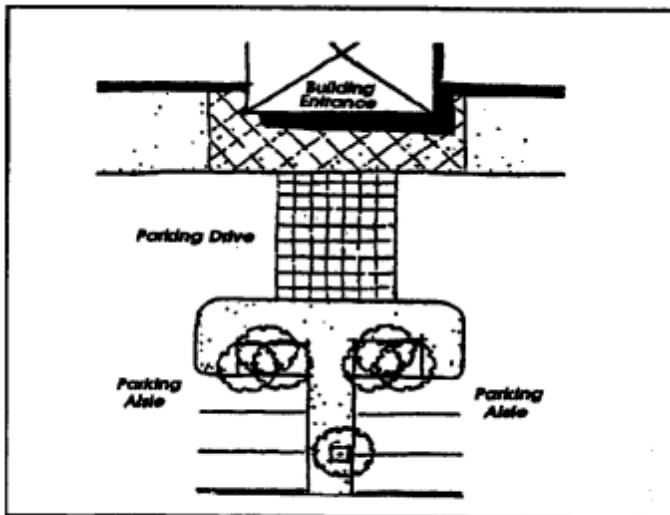
3) Parking areas should be separated from each other by buildings or by landscaped buffer not less than thirty (30) feet wide.



Orient buildings to create useable open space.

b. Standard: Parking areas shall be treated as "landscape plazas," with attention to landscape surfaces, softened edges, shade, and pedestrian circulation. This can be accomplished by incorporating at least one of the following design features:

1) Provide pedestrian connections to adjoining public rights-of-way and commercial land uses when appropriate.



Provide pedestrian links from parking lots to buildings.

2) Enhanced paving materials, trellises, and landscaping to accentuate the pedestrian circulation system.

3) Landscaped bulbs in parking areas to align with pedestrian access to buildings from a parking area. Bulbs should be at least two car spaces wide and include a 'walkway' as well as a vertical landscape or architectural element (e.g., a trellis or a tree).

2. Access Drives.

a. Standard: Access drives shall be located at least two hundred (200) feet apart and at least one hundred (100) feet from property lines and street intersections unless an approved shared drive is provided, or the driveway location does not create a traffic hazard to adjacent property.

b. Standard: Access drives shall be located off of side streets and alleys whenever possible.

c. Standard: Access drives on larger residential projects (more than fifty (50) units) shall include a minimum five-foot-wide landscaped median including curbs, color/textured paving, and other "gateway" elements (e.g., lights, bollards, entry walls, etc.).

3. Carports and Garages.

a. Standard: Where carports or garages are utilized, they shall follow the same criteria for spatial arrangement as parking areas above.

b. Standard: Carports may be incorporated into patio walls and used to define common and private open space, but incorporating carports into exterior project walls adjacent to streets is not allowed.

c. Standard: Carports shall be architecturally compatible with the adjacent buildings. They shall be similar in materials, color, and detail to the principal buildings of a development.

d. Standard: Carports may utilize flat roofs but the top of the roof shall not project above any exterior walls adjacent to streets.

e. Standard: Carport support columns shall be set back a minimum of three feet from carport face to increase maneuverability.

C. Miscellaneous Subjects.

1. Solid Waste and Recyclable Materials Storage Areas.

a. Standard: Solid waste and recyclable materials storage areas shall be enclosed and screened in compliance with 16.18.150 (Solid Waste and Recyclable Materials).

b. Standard: Enclosures shall be finished using materials compatible with the surrounding architecture. Gates shall be solid metal painted to match adjacent buildings.

c. Standard: The location of storage areas shall be conveniently accessible for trash removal by standard refuse disposal vehicles.

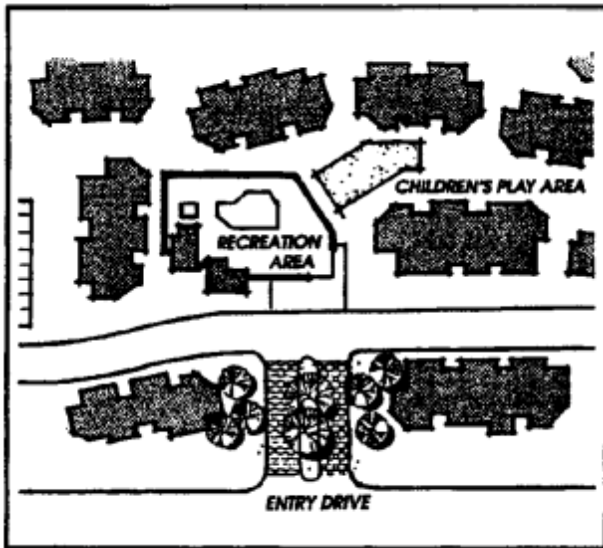
d. Standard: Storage areas that can be overlooked from above shall incorporate roof structures to screen the contents of the enclosure from view.

2. Open Space.

a. Standard: The amount of private and common open space for multi-family residential developments shall be in compliance with 16.08.020 (Residential District Development standards).

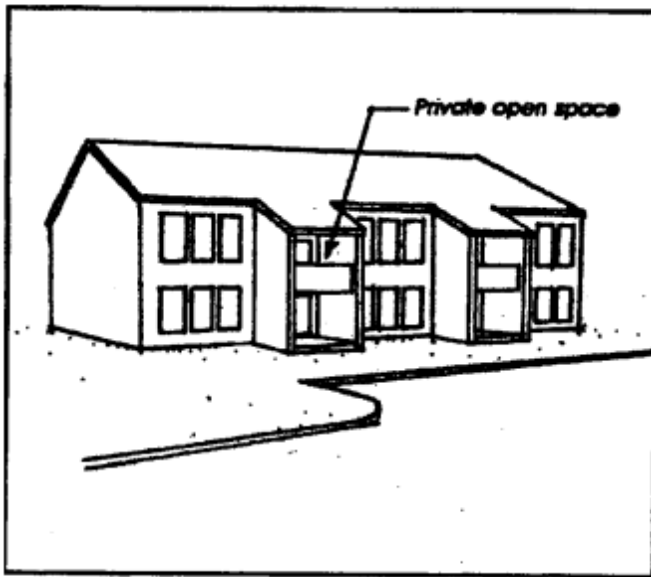
b. Standard: The design and orientation of open space shall be oriented to take advantage of available sunlight and should be sheltered from the noise and traffic of adjacent streets.

c. Standard: Common open spaces and recreation areas shall be located in areas accessible to and visible by as many units as possible.



d. Standard: Private open spaces shall be contiguous to the units they serve and screened to a minimum height of four feet by use of at least one of the following design features:

- 1) Plant materials and low walls.
- 2) When possible, use the adjacent structure to enclose private open space.
- 3) Screening should not be completely comprised of solid materials. Screening above four feet should provide a maximum of sixty (60) percent opaqueness.



3. Screening of Equipment.

a. Standard: All mechanical equipment, whether mounted on the roof or ground, shall be screened from view in compliance with 16.18.120 (Screening and Buffering). All screening devices shall be compatible with the architecture and color of the adjacent buildings.

b. Standard: Gutters and downspouts shall be concealed unless designed as a particular architectural feature.

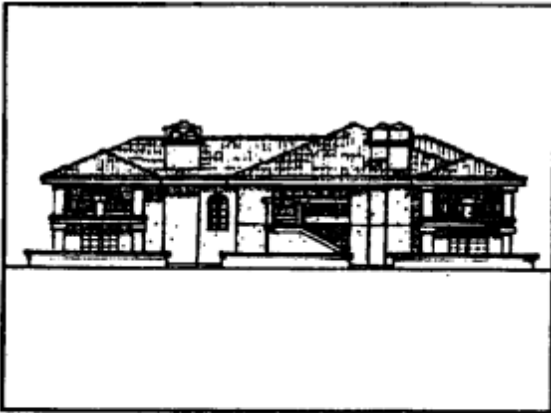
c. Standard: Television antennas shall be placed in attics or building interiors. It is required that all units be prewired to accommodate cable reception.

d. Standard: Solar panels shall be integrated into the roof design, flush with the roof slope. Frames shall be colored to match roof colors. Any support equipment shall be enclosed and screened from view.

D. Building Architecture.

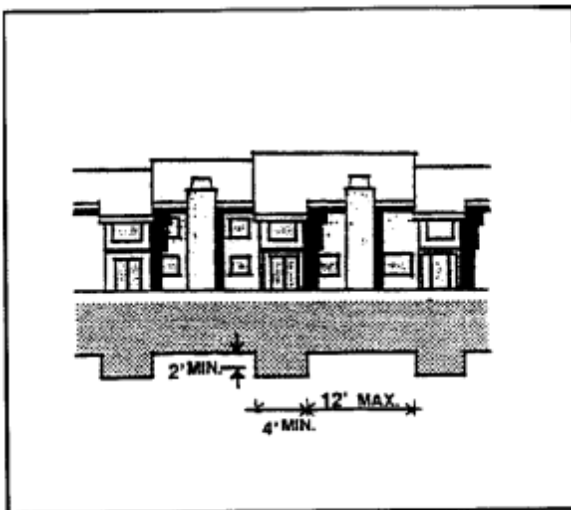
1. General.

a. Standard: Exterior elevations shall be appropriately articulated and detailed to avoid flat, monotonous wall planes and uninteresting barracks-like structures. This can be accomplished by incorporating a variety of the following design features:



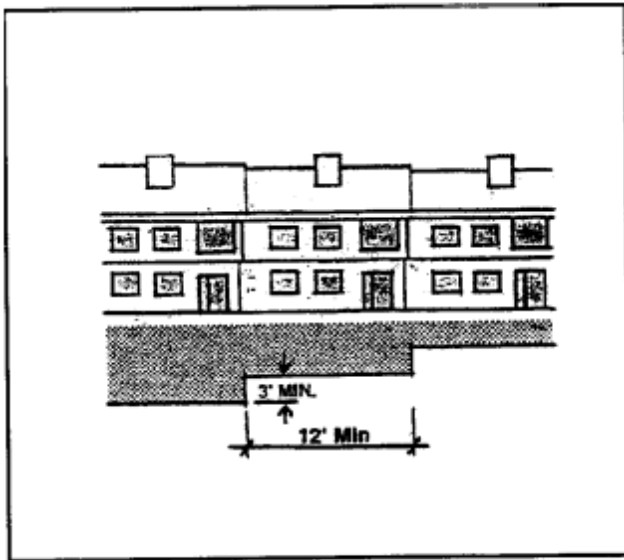
Three attached units appear as one large custom home

1) Provide at least one architectural projection not less than two feet from the wall plane and not less than eight feet wide. Projections should extend the full height of single-story buildings, at least one-half the height of a two-story building, and two-thirds the height of a three-story building.



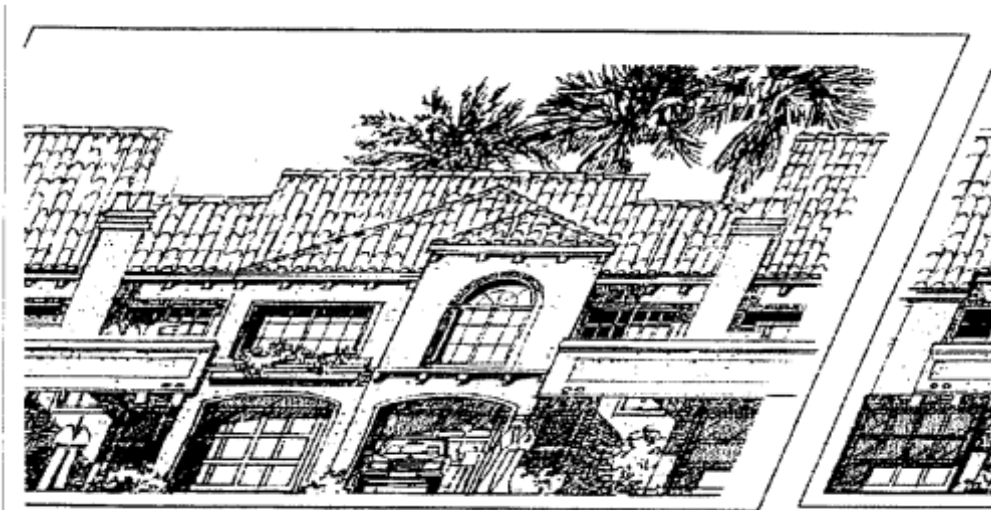
Appropriate architectural projections.

2) Use a change in wall plane of at least three feet for at least twelve (12) feet between adjacent units.



Staggered wall planes.

- 3) Provide balconies, porches, arcades, dormers, and cross gables.
- 4) Recess entries and windows to reveal the thickness of walls.
- 5) Step back second and third stories.
- 6) Use different building materials with varying textures and colors.
- 7) Recess garages under units or provide open balconies above.



8) Use combinations of one-, one-and-a-half-, and two-story units to create variation and visual interest.

9) Use vertical elements (e.g., towers) to accent horizontal massing and provide visual interest.

b. Standard: The maximum number of attached units in a particular structure shall be eight within a single elevation unless variations in the elevations are provided.

c. Standard: All accessory structures (e.g., laundry facilities, recreation buildings and sales/lease offices) shall be consistent in architectural design with the rest of the complex.

2. Building Materials.

a. Standard: The building and its elements shall be unified in textures, colors, and materials to provide an order and coherence within the project.

b. Standard: The composition of materials shall avoid giving the impression of thinness. Veneers should turn corners, avoiding exposed edges.

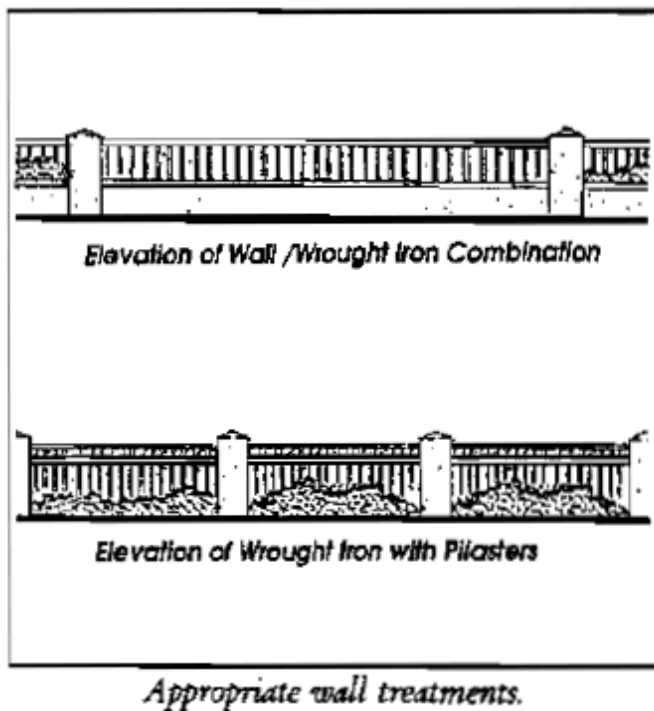
c. Standard: The use of artificial materials (e.g., imitation brick, stone, and other simulated materials) is not allowed.

d. Standard: Materials shall be very durable, require low maintenance, and relate a sense of permanence.

e. Standard: Frequent changes in materials shall be avoided.

f. Standard: Columns, trellises, porches, colonnades, and similar elements shall use materials and colors that are compatible with the adjacent building.

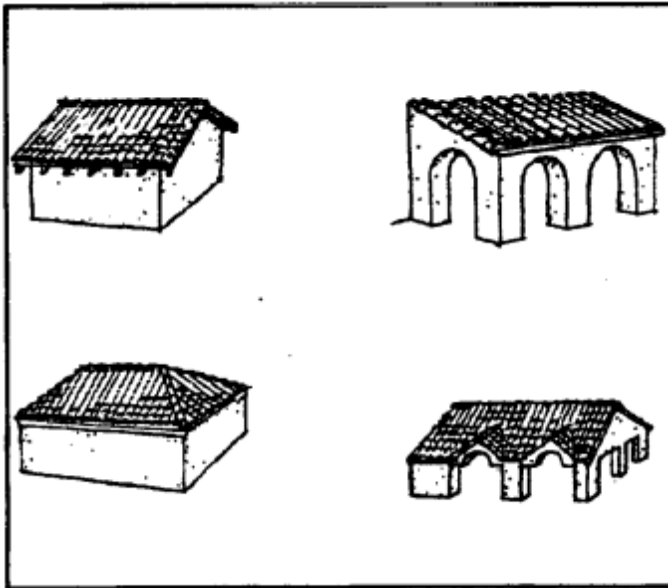
g. Standard: The use of wood fencing along a project boundary or adjacent to streets shall not be allowed.



3. Roofs.

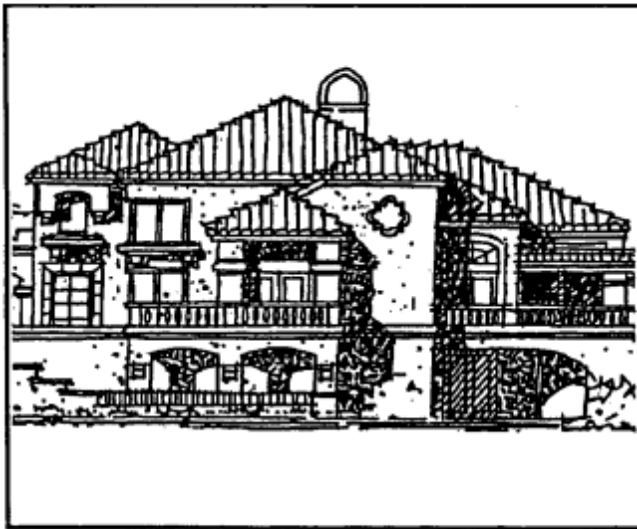
a. Standard: Roofs shall reflect a residential appearance through pitch and use of materials, by use of at least one of the following design features:

1) Hipped or gabled roofs covering the entire building are preferable to mansard roofs and segments of pitched roofs applied at the building's edge.



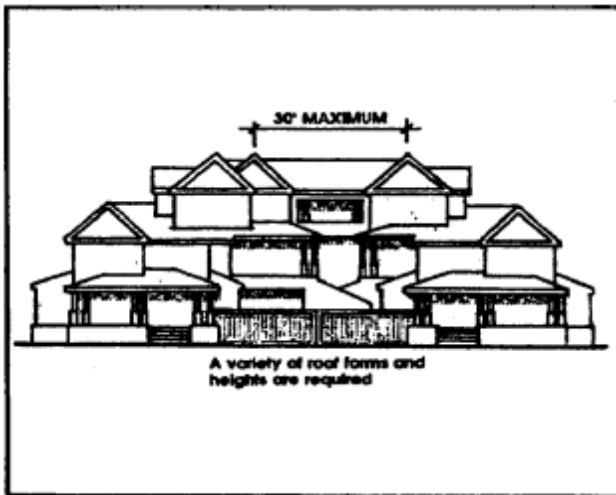
Hipped and gabled roofs are desirable.

2) Roof lines (i.e., ridges and plate heights) shall be broken and varied within an overall horizontal context. The minimum vertical offset should be two feet.



Varied rooflines are strongly encouraged

3) Use dormers and cross gables to break up large unarticulated roof planes.



Create interesting forms.

b. Standard: Carport roofs visible from public streets shall incorporate roof slope and materials to match adjacent buildings.

c. Standard: Tile roofing materials shall reflect the color of native earthen clay which were used in their manufacture. Blue, green, and other artificially colored tiles are not allowed.

4. Stairs.

a. Standard: Stairwells shall be designed to minimize visual impact to the greatest extent feasible.

b. Standard: For public safety purposes, opportunities for natural surveillance shall be provided into and out of stairwells.

c. Standard: Stairwells shall be illuminated to minimize shadows and facilitate overall vision, but should not be overly bright.

d. Standard: Prefabricated metal stairs shall not be allowed.

e. Standard: Stair railings shall be either solid or open balusters made of concrete, wood or ornamental ironwork.

5. Color.

a. Standard: The predominant color of structures shall be muted tones that are found in the natural environment by use of at least one of the following design features:

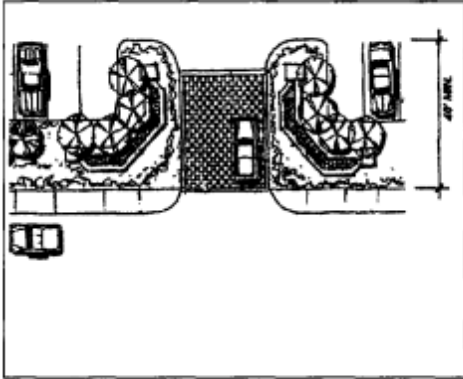
1) Neutral or light-colored walls should be contrasted with a darker, more intense trim color, while dark-colored walls should be contrasted with light-colored accents and details.

2) Materials such as brick, stone, copper, etc., should be left in their natural colors.

6. Security.

a. Standard: Both public and private spaces shall be limited and shall be appropriately delineated with paving, building materials, grade separations, or with physical barriers such as landscaping, fences, walls, screens, or building enclosures.

b. Standard: Entrances for automobiles and pedestrians shall be limited to the minimum required for adequate circulation and shall be marked with gates, lights, and a directory.



Enhance project entries with landscaping and special paving for visual impact.

c. Standard: All site entrances shall be designed to be highly visible from a public street or alleyway. All access points shall be well lighted.

7. Walls.

a. Standard. Walls shall be designed using masonry materials such as split face and slump stone, with colors that complement the architectural design of adjacent buildings.

b. Standard: Walls adjacent to streets shall not run in a continuous plane for more than forty-eight (48) feet without incorporating at least two of the following design features:

- 1) A minimum two-foot change in plane for at least ten feet;
- 2) A minimum eighteen (18) inch raised planter for at least ten feet;
- 3) Use of pilasters at forty-eight (48) foot intervals and at changes in wall planes and height; or
- 4) A section of open grillwork a minimum four feet in height for at least ten feet.

(Ord. 492 Exhibit 4, 2014; Ord. 293 § 1 (part), 2004)