

## Abbreviations

A.B.	ANCHOR BOLT	JAN	JANITOR
A.C.	ASPHALTIC CONCRETE OR SURF CONDITIONING	JST	JOINT
ACOUS.	ACOUSTIC	KIT	KITCHEN
A.D.	ACCESS DOOR	LAM	LAMINATED
ADD.	ADDENDUM	LAS	LAS SCOTS
ADJ.	ADJUSTABLE	LL	LIVE LOAD
AF	ARFIVE FINISH FLOOR	LLH	LONG LEG HORIZONTAL
AL	ALTERNATIVE	LLV	LONG LEG VERTICAL
ANOD.	ANODIZED	LONG	LONGitudinal
ARCH.	ARCHITECTURAL	LP	LOW POINT
ASPH.	ASPHALT	L.W.C.	LIGHT WEIGHT CONCRETE
AT			
BD,BO	BOARD	MAS	MASONRY
BET	BETWEEN	MATL	MATERIAL
B.F.	BOTTOM OF FOOTING	MAX	MAXIMUM
BLDG.	BUILDING	MECH	MECHANICAL
BLKS	BLOCKING	MEMBRANE	MEMBRANE
BM	BEAM	MET	METAL
BN	BOUNDARY NAIL	MFR	MANUFACTURER
BT	BOTTOM	MIN	MINIMUM
BRC	BEARING	MISC	MISCELLANEOUS
BSMT	BASEMENT		
BU	BUILT UP	N	NORTH
		N/C	NOT IN CONTRACT
		NO	NUMBER
		NOT	NOT TO SCALE
CAB.	CABINET	O.C.	ON CENTER
CL	CENTERLINE	O.D.	OUTSIDE DIAMETER
CLR	CLEAR	OF	OVER FLOW OR OUTSIDE FACE
CER.	CERAMIC	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALL
C.F.O.I.	CONTRACTOR FURNISHED, CONTRACTOR INSTALL	O.F.O.I.	OWNER FURNISHED, CONTRACTOR INSTALL
C.F.O.I.	CONTRACTOR FURNISHED, OWNER INSTALL	O.F.O.I.	OWNER FURNISHED, OWNER INSTALL
C.J.	CONTROL JOINT	O.H.	OPPOSITE HAND
CLG.	CELING	OP	OPENING
CMU	CONCRETE MASONRY UNIT	OPP	OPPOSITE
COLL.	COLLIM	OS	OVERSIGHT
CONC.	CONCRETE	OS	OVERSIGHT
CONSTR.	CONSTRUCTION	P	PROPERTY LINE OR PLATE
CONT.	CONTINUOUS	P.W.	PLYWOOD
COORD.	COORDINATE	P.F.S.	POUNDS PER SQUARE FOOT
CORR.	CORROD	P.S.I.	POUNDS PER SQUARE INCH
CSK.	COUNTERSINK	P.T.	PRESSURE TREATED
CTR	CENTER	P.T.S.	POST TENSION SLAB
		PER	PER
		OR	OR
		PLAS	PLASTER
		PLAST	PLASTIC
		R	RISE
		R.D.	ROOF DRAIN
		REF	REFERENCE
		REIN	REINFORCING
		RESIL	RESILIENT
		RET	RETURNING
		REQ	REQUIRED OR REQUIRED
		REQUIREMENTS	REQUIREMENTS
		R.M.	ROOM
		R.O.	ROUGH OPENING
		R.P.	RADIUS POINT
		R.T.U.	ROOF-TYP HVAC UNIT
		S	SOUTH
		S.C.	SOLID CORE
		SCHED	SCHEDULE
		SHIT	SHEET
		S.F.	SQUARE FEET
		SM	SMELAR
		SP	STAND PIPE
		SPG	SPACING
		SPEC	SPECIFICATION
		SQ	SQUARE
		S.S.	STAINLESS STEEL
		STAGG	STAGGERED
		STD	STANDARD
		STIFF	STIFFENED
		STR	STRUCTURAL
		STL	STEEL
		T	TREAD
		T&G	TONGUE AND GROOVE
		THR	THRESHOLD
		T.J.	TOOLED JOINT
		T.N.	TOE NAIL
		T.O.	TOP OF ITEM
		T.O.P.	TOP OF CURB OR
		T.O.P.	TOP OF CONCRETE
		T.O.P.	TOP OF DRAIN
		T.O.P.	TOP OF FOOTING
		T.O.P.	TOP OF PARAPET
		T.O.R.	TOP OF ROOF
		T.O.S.	TOP OF SLAB
		T.O.W.	TOP OF WALL
		TRANS	TRANSVERSE
		TYP	TYPICAL
		UNO.	UNLESS NOTED OTHERWISE
		U.B.C.	UNIFORM BUILDING CODE
		V.A.T.	VAPOR ASBESTOS TILE
		V.B.	VAPOR BARRIER
		VENT	VENTILATION
		VERT	VERTICAL
		W	WEST
		W/	WITH
		WOOD	WOOD
		W.L.	WATER HEATER
		W.O.	WHERE OCCURS
		W/O	WITHOUT
		W.P.	WATERPROOF
		W.P.L.	WEAKENED PLANE JOINT
		W.R.	WATER RESISTANT
		WT	WEIGHT
		W.W.F.	WELDED WIRE FABRIC
		YD	YARD

## General Notes

- DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES INCLUDING BUT NOT LIMITED TO THE UBC, UFG, UFC, UEC, CAC, AND ADA.
- THESE DRAWINGS AND SPECIFICATIONS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTORS, SUBS, AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK. ARCHITECT SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THE WORK REGARDLESS OF WHERE THE INFORMATION OCCURS.
- THE GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL DIMENSIONS, ELEVATIONS & SITE CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT OF BEFORE CONSTRUCTION AND/OR ABRIDGMENT OF THE WORK.
- ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS. DIMENSIONS ARE TO FACE OF STUDS OR SLAB UNLESS NOTED OTHERWISE ON DRAWINGS.
- ALL LARGER SCALE DRAWINGS & DETAILS SHALL TAKE PRECEDENCE OVER THOSE OF SMALLER SCALE.
- ALL EXISTING SITE ITEMS INCLUDING CURBS, WALKS, RAMPS, ETC. ARE HCA COMPLIANT, SUBJECT TO FIELD VERIFICATION.
- CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND SERVICES INCLUDING WITHOUT LIMITATION ALL NECESSARY ELECTRICAL, MECHANICAL, TOOLS, EQUIPMENT, HOISTING AND SAFETY EQUIPMENT TO COMPLETE A IN FIRST CLASS WORKMAN-LIKE MANNER, THE WORK ON THE PROJECT.
- THE WORK SHALL BE BUILT AND CONSTRUCTED TO CONFORM WITH ANY AND ALL APPLICABLE LOCAL, STATE OR FEDERAL LAWS, REGULATIONS, REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, OCCUPANCY, PERMITS AND LICENSES, PAY ALL CHARGES AND FEES AND GIVE ALL NOTICES NECESSARY AND INCIDENT TO THE DUE AND LAWFUL PROSECUTION OF THE WORK.
- CONTRACTOR SHALL PROVIDE SUFFICIENT PROPER FACILITIES AT ALL TIMES FOR THE INSPECTION OF THE WORK BY THE ARCHITECT AND THEIR AUTHORIZED REPRESENTATIVES. CONTRACTOR SHALL AT ALL TIMES REMOVE ALL DETRIMENTAL AND TAKE DOWN AND REBUILD ALL PORTIONS OF THE WORK COMPLETED BY THE ARCHITECT UPON RECEIVING NOTICE IN WRITING OF SUCH CONDITIONS. CONTRACTOR SHALL NOT COVER ANY MATERIAL WORKMANSHIP MATERIALS WITHOUT FIRST CORRECTING THE DEFICIENCY. IF REQUIRED, CONTRACTOR AGREES TO FURNISH THE GRADE AND QUALITY OF MATERIALS CONTRACTOR IS USING IN THE WORK, SUCH VERIFICATION SHALL BE CONTRACTOR'S COST AND EXPENSE.
- CONTRACTOR HAS, BY CAREFUL INDEPENDENT EXAMINATION OF THE PROPERTY AND THE PROJECT ASCERTAINED AND SATISFIED ITSELF OF THE NATURE AND LOCATION OF THE PROJECT AND SUBSURFACE CONDITIONS THEREOF, THE CHARACTER, QUALITY, AND QUANTITY OF THE MATERIALS, EQUIPMENT, AND FACILITIES NECESSARY TO COMPLETE THE WORK, AND THE GENERAL AND LOCAL CONDITIONS PERTAINING TO THE WORK.
- EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH THE WORK OF OTHERS.
- SUBCONTRACTORS SHALL VERIFY THAT ANY WORK RELATED TO THEM, WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.
- CONTINUOUS INSPECTION IS REQUIRED FOR ALL CUT & FILL.
- REFER TO SOILS REPORT FOR REINFORCEMENT OF & SUBSTRATE FOR ALL SITE PAVING.
- CONTINUOUS INSPECTION IS REQUIRED FOR ALL WELDING AND REQUIRED SPECIAL INSPECTIONS PER U.B.C. 306.
- THE WELDING PERMIT CANNOT BE ISSUED UNTIL A PERMIT HAS BEEN OBTAINED FROM THE STATE DIVISION OF INDUSTRIAL SAFETY FOR TRENCH OR EXCAVATIONS 3'-0" OR DEEPER, BUILDINGS OVER 3 STORES HIGH OR BUILDINGS OVER 38'-0" HIGH.
- THE CONSTRUCTION, REMODEL OR DEMOLITION OF A BUILDING SHALL COMPLY WITH UFG ARTICLE 87.
- FOR STRUCTURAL SPECIFICATIONS, FRAMING PLANS, FOUNDATION PLANS, STRUCTURAL DETAILS & ANY OTHER STRUCTURAL INFORMATION REFER TO STRUCTURAL ENGINEER'S PLANS.
- WELDS IDENTIFIED AS REQUIRING CONTINUOUS OR PERIODIC SPECIAL INSPECTION NEED NOT HAVE SPECIAL INSPECTION WHEN THE WELDING IS DONE IN AN APPROVED FABRICATOR'S SHOP. HOWEVER, THE APPROVED FABRICATOR MUST SUBMIT A CERTIFICATE OF COMPLIANCE IN ACCORDANCE WITH U.B.C. SECTION 306H.
- FIRE HYDRANTS SHALL COMPLY WITH FIRE DEPARTMENT REQUIREMENTS FOR ON-SITE FIRE HYDRANTS. U.B.C. SEC. 903.4
- FIRE PROTECTION, INCLUDING FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION (IFC 9013, 9014, 9014.1)
- ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (IFC 903.4.4)
- COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS, FIRE-EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLER, SMOKE DETECT AND DRY STANDPIPE HALON SYSTEMS AND OTHER SPECIAL TYPES OF AUTOMATIC FIRE-EXTINGUISHING SYSTEMS, BASEMENT PPE INLETS, AND OTHER FIRE-PROTECTION SYSTEMS AND APPURTENANCES THEREOF SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. (IFC 903.1)
- FIRE-EXTINGUISHING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH CBC 904 AND COMPLY WITH UBC STANDARDS 9-1 AND 9-2 AND BE COMPLIANT WITH 9-1 AND 9-2.
- ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS AND WATER-FLOW SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE ELECTRICALLY MONITORED WHERE THE NUMBER OF SPRINKLERS IS 100 OR MORE. (IFC 904.3, IFC 9003.1)
- ALL REQUIRED PERMITS MUST BE OBTAINED FROM THE FIRE PLAN CHECK BEFORE THE BUILDING IS OCCUPIED.
- AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10BC SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH HIGH RISK SQUARE FOOT OR PORTION THEREOF. (IFC SEC. 1002, UFG STANDARD 9-1, CAL. CODE REGS. TITLE 19, SEC. 339)
- AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 4-A-20BC SHALL BE PROVIDED OUTSIDE EACH MECHANICAL, ELECTRICAL, OR BOILER ROOM. (IFC SEC. 1002, UFG STANDARD 10-1, CAL. CODE REGS. TITLE 19, SEC. 339)
- ALL OSHA PERMITS WILL NEED TO BE SUBMITTED PRIOR TO PERMIT ISSUANCE FOR EXCAVATION FOR EXCAVATION 6" OR GREATER.
- TEMPORARY SHORING IS NOT PART OF THIS PERMIT. TEMPORARY SHORING SHALL BE UNDER SEPARATE PERMIT.

## Affordable Housing Information

This project is being processed in the Expedite Program which provides expedited permit processing for all eligible affordable in-fill housing and sustainable building projects. The applicant has elected to meet these requirements by setting at least 10% of the units as affordable to low and moderate income households earning no more than 100% AMI (Area Median Income). **Fifteen affordable units will be provided on-site.** Therefore, the project meets the Industry Affordable Housing requirements per MC 142.1301

## Scope of Work

Demolition of existing auto dismantling facilities and related structures.  
Remediation of environmental issues.  
Construction of 145 residential units (224,381 gross square feet).  
Residential units located within 231-story buildings.  
Construction of 40,678 sq commercial. Located within 1-2-story building.  
Construction of 37,850 sq industrial. Located within 2-1-story buildings.  
Construction of 557 Parking spaces

## Project Data

**Building Code:**  
2001 California Building Code and 2001 Uniform Building Code

**Planning Area Information:**  
Clay Mesa Community Plan  
Robbinhood Ridge Precise Plan

**Zoning Information:**  
Existing Zone: AR-1-1

**Proposed Zones:**  
Residential: RM-2-4  
Commercial: CN-1-2  
Industrial: IL-1-2  
Height Limits:  
Residential (RM-2-4): 47'  
Commercial (CN-1-2): 37'  
Industrial (IL-1-2): NA

Refer to calculations below for FAR, Density and Yards.

**Existing Use:**  
Industrial-Auto Dismantling

**Proposed Use:**  
Refer to Scope of Work above.

**FAR**  
RM-2-4 Site Area = 243,101 sf RM-2-4 max. FAR allowed = 1.2  
RM-2-4 Allowable Area: 243,101 sf x 1.2 = 291,721 sf allowed  
RM-2-4 Proposed Area - Site (Buildings A1.1-A3.4):  
1st Floor: 77,569 sf  
2nd Floor: 75,610 sf  
3rd Floor: 71,295 sf  
Total: 224,381 sf  
RM-2-4 Proposed FAR: 224,381 sf / 243,101 = .92(CO)

CN-1-2 Site Area = 87,538 sf CN-1-2 max. FAR allowed = 1.0  
CN-1-2 Allowable Area: 87,538 sf x 1.0 = 87,538 sf allowed  
CN-1-2 Proposed Area - Site (Building B1.1):  
1st Floor: 20,360 sf  
2nd Floor: 20,318 sf  
Total: 40,678 sf  
CN-1-2 Proposed FAR: 40,678 sf / 87,538 = .46(CO)

IL-2-1 Site Area = 102,192 sf IL-2-1 max. FAR allowed = 2.0  
IL-2-1 Allowable Area: 102,192 sf x 2.0 = 204,384 sf allowed  
IL-2-1 Proposed Area - Site (Buildings C1.1-C1.2):  
1st Floor: 37,850 sf  
2nd Floor: 3,001 sf  
3rd Floor: 2,625 sf  
Total: 37,850 sf  
IL-2-1 Proposed FAR: 37,850 sf / 102,192 = .37 (CO)

**Overall Site FAR**  
Total Site Area: 432,828sf  
Allowable Site Area: 583,641 sf  
Proposed Total Gross Floor Area: 302,799 sf  
Proposed Site FAR: 302,799 sf / 432,828 sf = .70

**Residential Density (Table 131-040)**  
RM-2-4 Allowable Density: 1 d.u. per 1,750 sq. lot area  
RM-2-4 Lot area: 243,101 sf / 1,750 sq = 138 Units allowable  
CN-1-2 Allowable Density: 1 d.u. per 1,500 sq. lot area  
CN-1-2 Lot area: 87,538 sf / 1,500 sq = 58 Units allowable  
TOTAL allowable: 138(RM-2-4) + 58(CN-1-2) = 196 units  
TOTAL proposed: 143 units (OK)

**Storage (131-045)**  
Storage required: 240 cubic feet per dwelling unit. Minimum 7-foot horizontal dimension on two sides, whichever is greater.  
Proposed Storage: For each residential unit without private, attached garage: Minimum 240 cubic feet per d.u. Minimum 7-foot horizontal dimension along one plane. Refer to Site Plan (Sheet A1.01), and Building 2 Floor Plan (Sheet A2.01) for location of storage.

**Private Exterior Open Space (131-045(b))**  
Private exterior open space required: 60 sf for 75% of units.  
Proposed private exterior open space: 60 sf for 75% of units.  
Refer to Unit Plans (Sheets A3.01-A3.04) for location of private exterior open space.

**Common Open Space (131-045(b))**  
Common open space required: 25 sf per d.u.: 25 x 143 = 3,575 sf  
Common open space minimum dimension required: 12' x 15'  
Common open space proposed: 18,368 sf / 143 = 128 sf per d.u. (OK)  
Common open space minimum dimension proposed: 27' x 135'  
Refer to Site Plan (Sheet A1.01) and Landscape Plan (Sheet L1.1) for location of common open space.

**TOTAL PROPOSED GROSS FLOOR AREA: 302,799 sf**

**Coverage**  
NA (Typ. all zones)

Note: For additional Development Standards, refer to Site Plan (Sheet A1.01).

## Building Area / Coverage

**Site Area**  
RM-2-4: 243,101 sf  
IL-2-1: 102,192 sf  
Other: 20,278 sf  
Total Site Area: 453,105 sf

**Proposed Gross Floor Area**

**RESIDENTIAL**  
Buildings A1.1-A1.13 (proposed 3 stories).  
TYPE: Single Family Residential  
1st Floor: 711 sf  
2nd Floor: 711 sf  
3rd Floor: 555 sf

**TOTAL (individual home): 1977 sf**  
TOTAL (x 13 homes): 25,701 sf

**Building A 2.1**  
1st Floor: 8,843 sf  
2nd Floor: 8,564 sf  
3rd Floor: 8,564 sf  
TOTAL: 25,971 sf

**Building A 2.2**  
1st Floor: 8,601 sf  
2nd Floor: 8,564 sf  
3rd Floor: 8,564 sf  
TOTAL: 25,729 sf

**Building A 2.3**  
1st Floor: 7,984 sf  
2nd Floor: 7,162 sf  
3rd Floor: 7,162 sf  
TOTAL: 22,308 sf

**Building A 2.4**  
1st Floor: 7,984 sf  
2nd Floor: 7,162 sf  
3rd Floor: 7,162 sf  
TOTAL: 22,308 sf

**Building A 2.5**  
1st Floor: 8,661 sf  
2nd Floor: 8,564 sf  
3rd Floor: 8,564 sf  
TOTAL: 25,789 sf

**Building A 2.6**  
1st Floor: 5,074 sf  
2nd Floor: 5,180 sf  
3rd Floor: 4,467 sf  
TOTAL: 14,721 sf

**Building A 3.1**  
1st Floor: 2,886 sf  
2nd Floor: 2,625 sf  
3rd Floor: 2,625 sf  
TOTAL: 8,136 sf

**Building A 3.2**  
1st Floor: 2,886 sf  
2nd Floor: 3,001 sf  
3rd Floor: 2,625 sf  
TOTAL: 8,512 sf

**Building A 3.3**  
1st Floor: 2,886 sf  
2nd Floor: 3,001 sf  
3rd Floor: 2,625 sf  
TOTAL: 8,512 sf

**Building A 3.4**  
1st Floor: 8,504 sf  
2nd Floor: 6,605 sf  
3rd Floor: 5,690 sf  
TOTAL: 16,799 sf

**COMMERCIAL**  
Building B1.1  
1st Floor (Retail): 20,360 sf  
2nd Floor (Office): 20,318 sf  
TOTAL: 40,678 sf

**INDUSTRIAL**  
Building C1.1&C1.2  
1st Floor: 37,850 sf  
TOTAL INDUSTRIAL: 37,850 sf

**TOTAL PROPOSED GROSS FLOOR AREA: 302,799 sf**

**Coverage**  
NA (Typ. all zones)

## Parking Calculations

Refer to Sheet A0.01 & A1.01 for parking information graphics  
Residential Parking Required (Basic Table 142-05C):  
1 bedroom units: 1.5 spaces per d.u., 0.1 motorcycle spaces per d.u.  
2 bedroom units: 2.0 spaces per d.u., 0.1 motorcycle spaces per d.u.  
3 bedroom units: 2.25 spaces per d.u., 0.1 motorcycle spaces per d.u.

143 total d.u. proposed  
(56) 1 bedroom units x 1.5 = 84 spaces required  
(50) 2 bedroom units x 2.0 = 100 spaces required  
(39) 3 bedroom units x 2.25 = 88 common spaces\* = 72 spaces req'd.  
TOTAL: Single Family Residential  
Total residential spaces required: 295  
143 d.u. x 0.1 = 14 motorcycle spaces required  
Residential spaces Proposed:  
202 spaces (Garage Endused) + 96 spaces (Surface) = 300 Proposed Residential spaces (OK)  
Motorcycle spaces Proposed:  
18 spaces (Surface) = 18 Proposed Motorcycle spaces (OK)

\*per (142.052(d))

Accessible Parking Required (Table 142-05D):  
7 spaces required per 2001 CBC, Table 11B-6  
Accessible Parking proposed: 7 spaces (OK)

Commercial Parking Required (Table 142-05D):  
5.0 spaces per 1,000 s.f. required  
Total Retail Area Proposed: 20,360 s.f. (not including office area)  
20,360 s.f. x 5.0 / 1,000 s.f. = 101.8 spaces required

Office Parking Required (Table 142-05F):  
3.3 spaces per 1,000 s.f. required  
Total Office Area Proposed: 20,318 s.f. (not including retail area)  
20,318 s.f. x 3.3 / 1,000 s.f. = 67.0 spaces required

Shared Parking Calculation (Table 142-05 I)  
Formula: (142.054(b)(1))  
P(A,B) = (Pa x HA%) + (PB x HB%)  
where H = Hour of day that maximizes P(A,B)

Time of day used: 12:00 Noon, Weekday  
Calculation:  
P(A,B) = (Retail x 100%) + (Off 70%)  
P = 102 + 60  
P = 162 required parking spaces  
Commercial Parking Proposed:  
162 spaces (surface) (OK)

Accessible Parking Required (Table 11B-6)  
6 spaces required per 2001 CBC, Table 11B-6  
Accessible Parking proposed: 6 spaces (OK)

Industrial Parking Required (Table 142-05F):  
2.5 spaces per 1,000 s.f. required (Light manufacturing/Research&Development)  
Total Industrial Area Proposed: 37,850 s.f.  
37,850 s.f. x 2.5 / 1,000 s.f. = 94.6 spaces required  
Industrial Parking Proposed:  
95 spaces (surface) (OK)

Accessible Parking Required  
5 spaces required per 2001 CBC, Table 11B-6  
Accessible Parking proposed: 5 spaces (OK)

Total parking proposed: 557 spaces (202 Garage + 355 Surface)  
Commercial and Office Motorcycle Parking (Sec. 142.0530(a))  
Required: 2% of min. number of automobile spaces required or two spaces, whichever is greater.  
102 retail spaces req'd. x 2% = 2.0 motorcycle spaces  
65 office spaces req'd. x 2% = 1.3 motorcycle spaces  
Total motorcycle spaces req'd. = 3.3 motorcycle spaces  
Total Commercial and Office motorcycle spaces provided: 4(surface) (OK)

Industrial Motorcycle Parking (Sec. 142.0530(a))  
Required: 2% of min. number of automobile spaces required or two spaces, whichever is greater.  
95 industrial spaces req'd. x 2% = 1.9 motorcycle spaces  
Total Commercial and Office motorcycle spaces provided: 2 (surface) (OK)

Total Development Parking Spaces proposed:  
557 automobile spaces (including 18 accessible spaces)  
25 motorcycle spaces

Residential Bicycle Parking Required (Table 142-05C):  
20 bicycle spaces required  
Bicycle Parking Proposed: 20 spaces (OK) - Refer to Site Plan (Sheet A1.01) and Parking Plan (Sheet A0.04).

Commercial Bicycle Parking Required (Table 142-05D):  
0.1 spaces per 1,000 sf required  
Total Commercial Area Proposed: 40,678 s.f. (retail + office)  
40,678 s.f. x 0.1 / 1,000 s.f. = 4 bicycle spaces required  
Bicycle Parking Proposed: 12 spaces (OK) - Refer to Site Plan (Sheet A1.01) and Parking Plan (Sheet A0.04).

Industrial Bicycle Parking Required (Table 142-05F):  
0.03 + 0.03 bike lockers w/ shower spaces per 1,000 sf of req'd  
Total Industrial Area Proposed: 37,850 s.f.  
37,850 s.f. x 0.03 / 1,000 s.f. = 1.1 bicycle spaces required + 1.1 bike lockers w/ shower  
Bicycle Parking Proposed: 5 spaces + 2 bike lockers w/ shower (OK) - Refer to Site Plan (Sheet A1.01) and Parking Plan (Sheet A0.04).

**On-Street Parking (Refer to Site Plan Sheet A1.01).**  
Non-Meter Parking per Fronting Streets:  
Vista Santo Domingo: 0 existing spaces, 17 proposed spaces

0 Existing Parking Spaces. 0 existing non-metered spaces.  
0 Proposed Meter Parking Spaces, 17 Proposed non-metered spaces.  
= a proposed net gain of 17 non-metered spaces

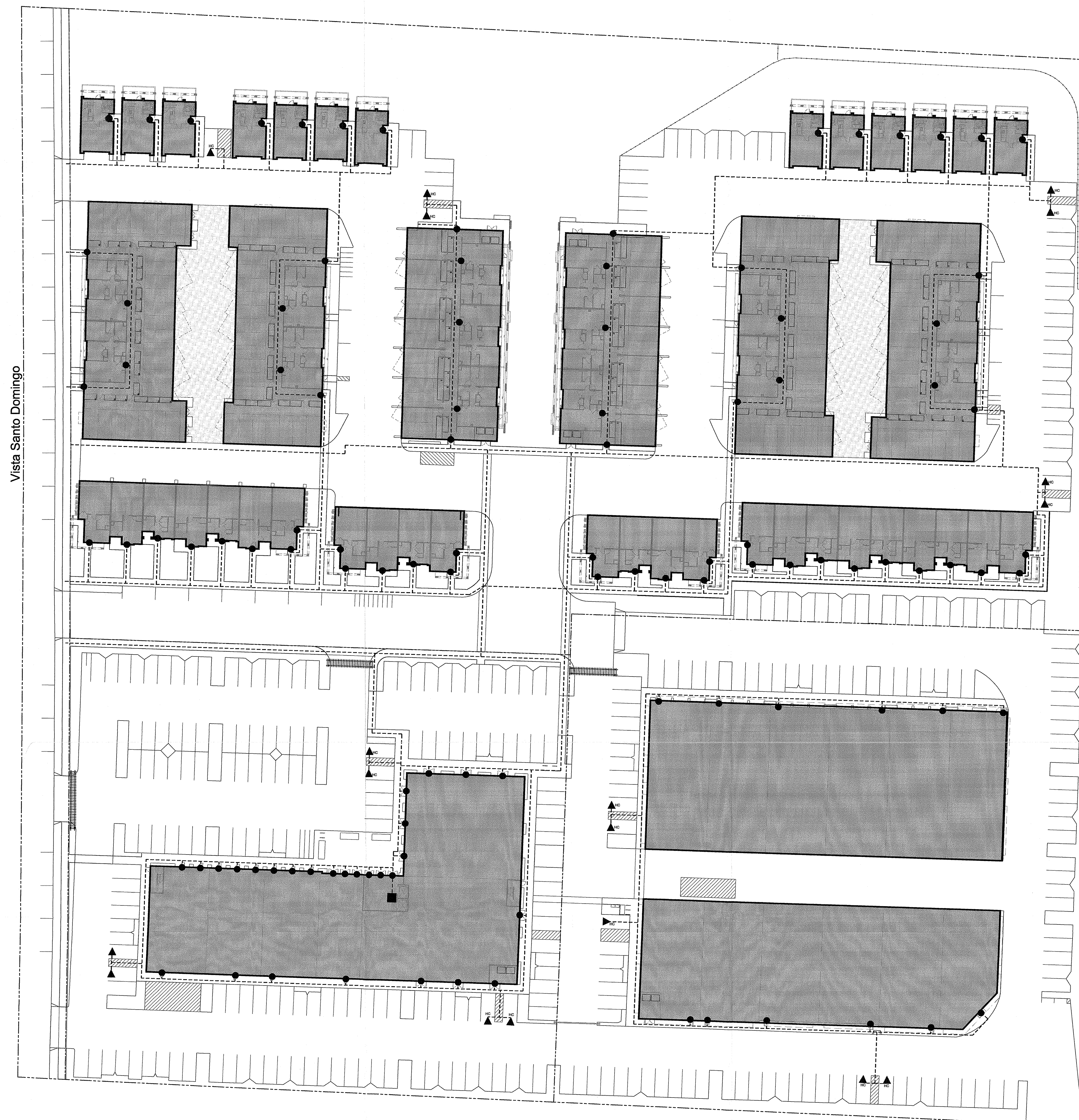
## Sheet Index

**Info sheets**  
A0.01 Title Sheet / Project Data / General Notes  
A0.01 Accessibility Plan-Ground Level  
A0.02 Accessibility Plan-Second Level  
A0.03 Fire Access Plan  
A0.04 Parking Designation Plan

**Civil**  
C1.0 Vesting Tentative Map  
C2.0 Vesting Tentative Map Grading, Drainage and Utility Exhibit  
C3.0 Vesting Tentative Map BMP Plan

Accessibility Legend

- Accessible Path
  - Accessible entry
  - Elevator
  - ▲ Accessible parking space
- Note:  
 No bus stop on site



Vista Santo Domingo

**AFFORDABLE HOUSING  
 EXPEDITE PROGRAM**  
 AUTHORIZED BY  
 COUNCIL POLICY 606-27

**M. W. STEELE**  
 GROUP, INC.  
 ARCHITECTURE URBAN DESIGN  
 225 FIFTEENTH STREET  
 SAN DIEGO, CA 92101  
 TELEPHONE: 619.230.0325  
 FACSIMILE: 619.230.0335  
 WEBSITE: www.mwsteele.com

Site Development Permit  
 Vesting Tentative Map  
 Affordable Housing Expedite Program  
 Re-Zone

Project Number: 0470  
 Original Date: September 01, 2005  
 Drawn: JLB  
 Checked: -

Revision 1:	02.17.05 Initial submittal
Revision 2:	08.11.05 second submittal
Revision 3:	08.08.07 third submittal
Revision 4:	08.17.07 fourth submittal
Revision 5:	
Revision 6:	
Revision 7:	
Revision 8:	
Revision 9:	
Revision 10:	
Revision 11:	
Revision 12:	

**Ocean View Village**

Legal Description:  
 The Southeast Quarter of the Southwest Quarter  
 of the Northeast Quarter of Section 29, Township 18 South  
 Range 1 West, San Bernardino meridian, in the County of  
 San Diego, State of California, according to official  
 plat thereof.

NOT FOR CONSTRUCTION

Accessibility Plan  
 Ground Level

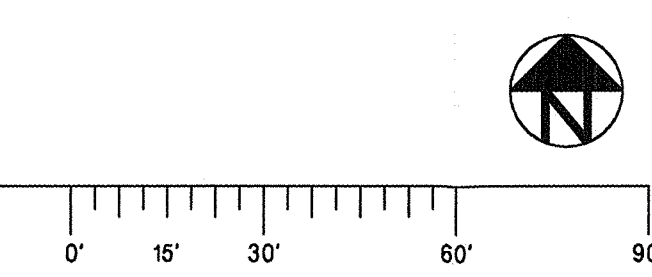
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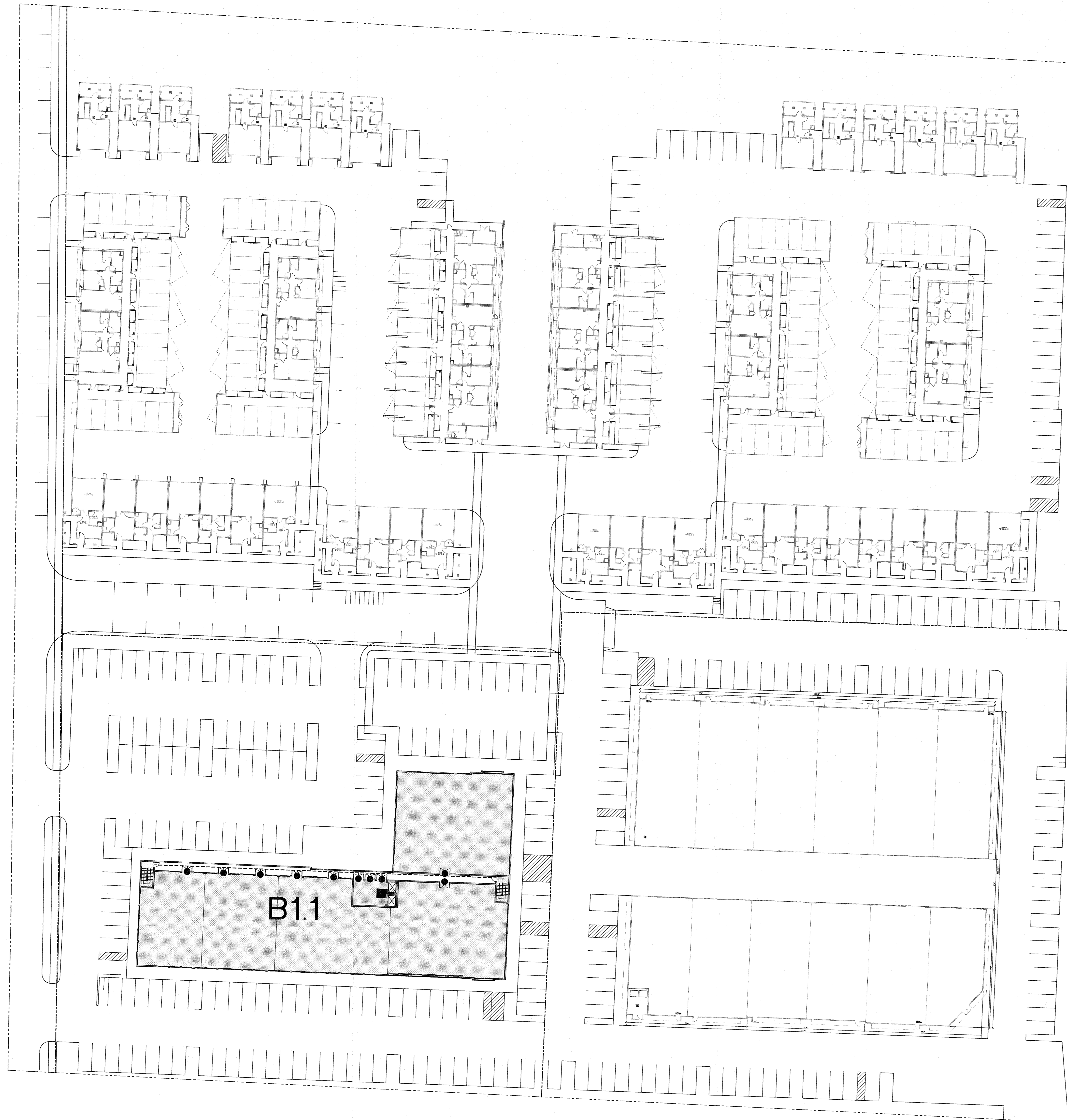
645-050-07 APPROVED EXHIBIT "A"

PROJECT NO. PTS# 96520  
 APPROVAL NO(s) SD# 326733  
 VPM# 319826 RC ZMAP# 319830  
 APPROVED BY HEARING OFFICER, PLANNING  
 COMMISSION, CITY COUNCIL ON 12/11/08  
 SIGNATURE *Trace Mumbach*

**A0.01**

1 Accessibility Plan Ground Level  
 scale: 1" = 30'-0"





Accessibility Legend

- Accessible Path
  - Accessible entry
  - Elevator
  - ▲ Accessible parking space
- Note:  
No bus stop on site

**AFFORDABLE HOUSING  
 EXPEDITE PROGRAM**

AUTHORIZED BY  
 COUNCIL POLICY 600-27

**M.W. STEELE**  
 GROUP, INC.  
 ARCHITECTURE | URBAN DESIGN  
 328 FIFTEENTH STREET  
 SAN DIEGO, CA 92101  
 TELEPHONE: 619.230.8328  
 FACSIMILE: 619.230.0335  
 WEBSITE: www.mwsteele.com

Site Development Permit  
 Vesting Tentative Map  
 Affordable Housing Expedite Program  
 Re-Zone

Project Number: 0470  
 Original Date: September 01, 2005  
 Drawn: ZJB  
 Checked: -

Revision 1: 02.17.05 initial submittal  
 Revision 2: 08.11.05 second submittal  
 Revision 3: 03.09.07 third submittal  
 Revision 4: 08.17.07 fourth submittal  
 Revision 5: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 12: \_\_\_\_\_

Ocean View Village

Legal Description:  
 The Southeast Quarter of the Southwest Quarter  
 of the Northeast Quarter of Section 29, Township 18 South  
 Range 1 West, San Bernardino meridian, in the County of  
 San Diego, State of California, according to official  
 plat thereof.

NOT FOR CONSTRUCTION

Accessibility Plan  
 Second Level

Assessor's Parcel Number:

645-050-07

APPROVED EXHIBIT "A"

PROJECT NO. PTS# 96580

APPROVAL NO(s) SDP# 320732

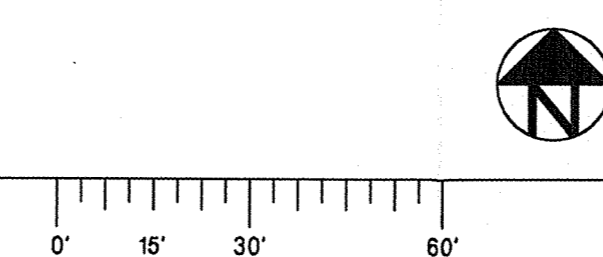
VTA# 314814 + RESUME# 314830

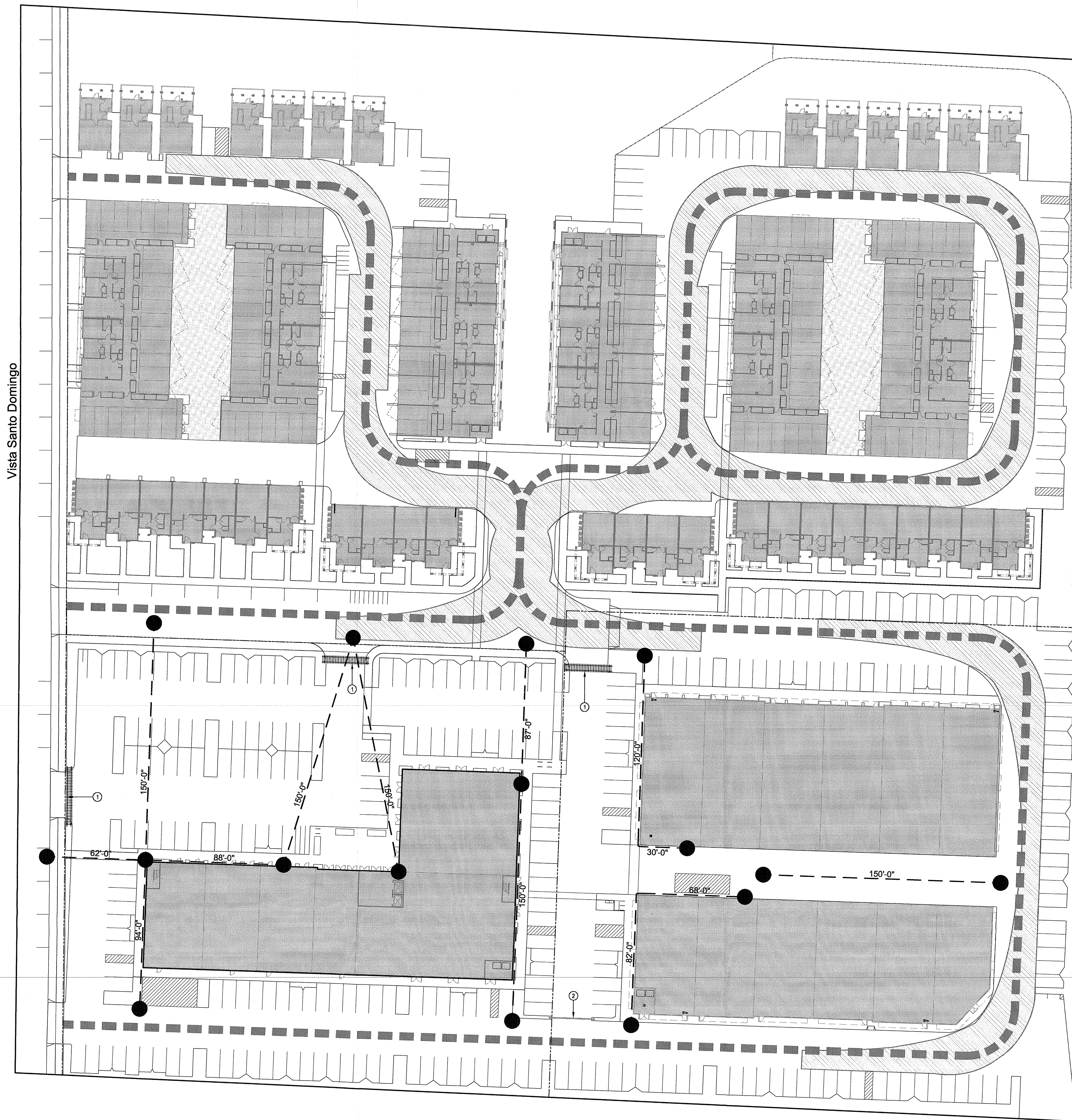
APPROVED BY HEARING OFFICER, PLANNING

COMMISSION (CITY COUNCIL) ON 12/1/08

SIGNATURE *David M. Mubach*

**A0.02**

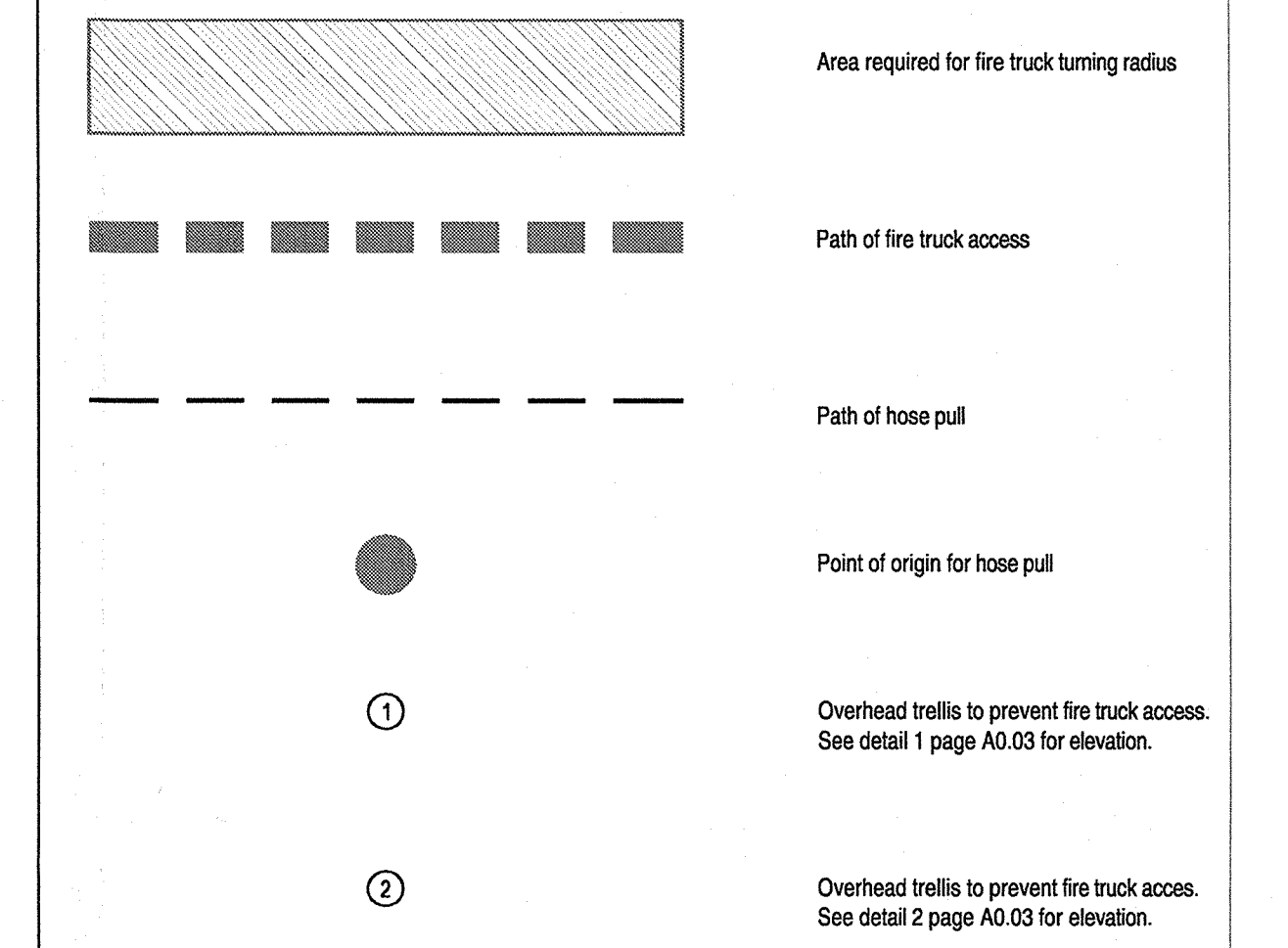




Fire Notes

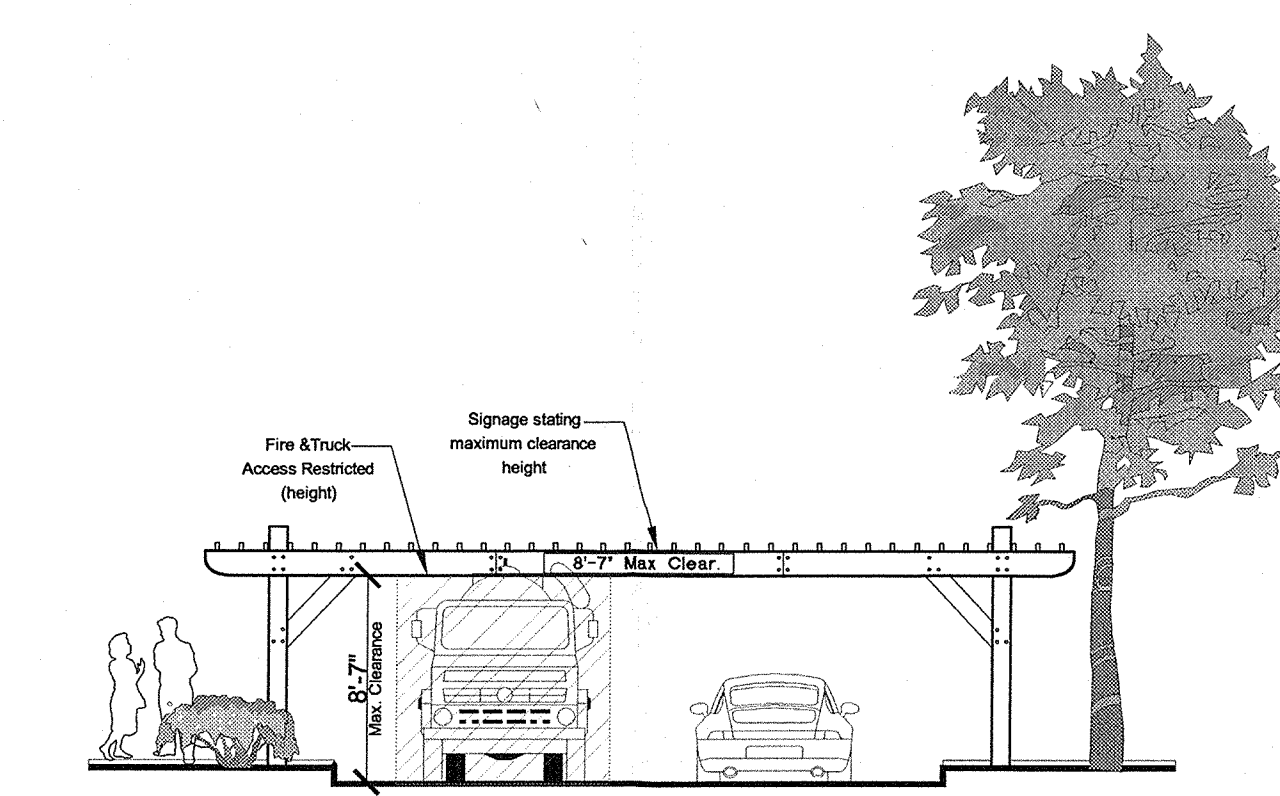
- All buildings will be equipped with a fire alarm system satisfactory to the Fire Marshal.
- All R1 occupancies greater than 2 stories shall be fire sprinklered.
- Fire lanes more than 300' long are 20' wide.
- Primary building masses are less than 30' in height. The portions of buildings which exceed 30' in height are architectural projections.

Fire Legend

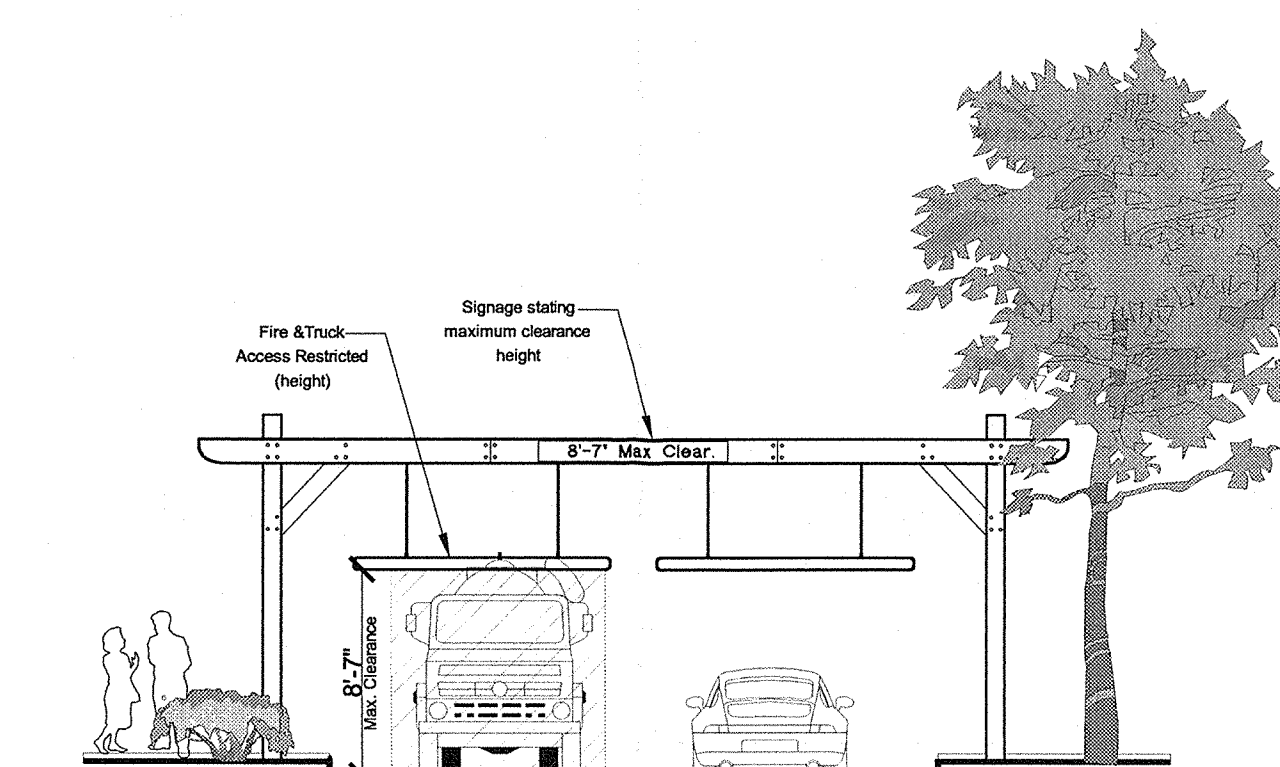


**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27



1 Trellis Elevation 1  
scale: 1/8" = 1'-0"



2 Trellis Elevation 2  
scale: 1/8" = 1'-0"

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

**M.W. STEELE**  
GROUP, INC.  
ARCHITECTURE / URBAN DESIGN  
328 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619.230.0325  
FACSIMILE: 619.230.0338  
WEBSITE: www.mwsteele.com

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: zja  
Checked: -

Revision 1: 02.17.06 initial submittal  
Revision 2: 08.11.06 second submittal  
Revision 3: 06.03.07 third submittal  
Revision 4: 08.17.07 fourth submittal  
Revision 5: \_\_\_\_\_  
Revision 6: \_\_\_\_\_  
Revision 7: \_\_\_\_\_  
Revision 8: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 12: \_\_\_\_\_

Ocean View Village

Legal Description:  
The Southeast Quarter of the Southwest Quarter  
of the Northeast Quarter of Section 29, Township 18 South  
Range 1 West, San Bernardino meridian, in the County  
of San Diego, State of California, according to official  
plat thereof.

NOT FOR CONSTRUCTION  
Fire Access Plan

Assessor's Parcel Number:

645-05-0001 APPROVED EXHIBIT "A"

PROJECT NO. PTS # 76580  
APPROVAL NO(S) SDP# 320732  
VT#1# 319959 + REZ#400# 319#30  
APPROVED BY HEARING OFFICER, PLANNING  
COMMISSION CITY COUNCIL ON 12/11/08  
SIGNATURE *Wendy Murbach*

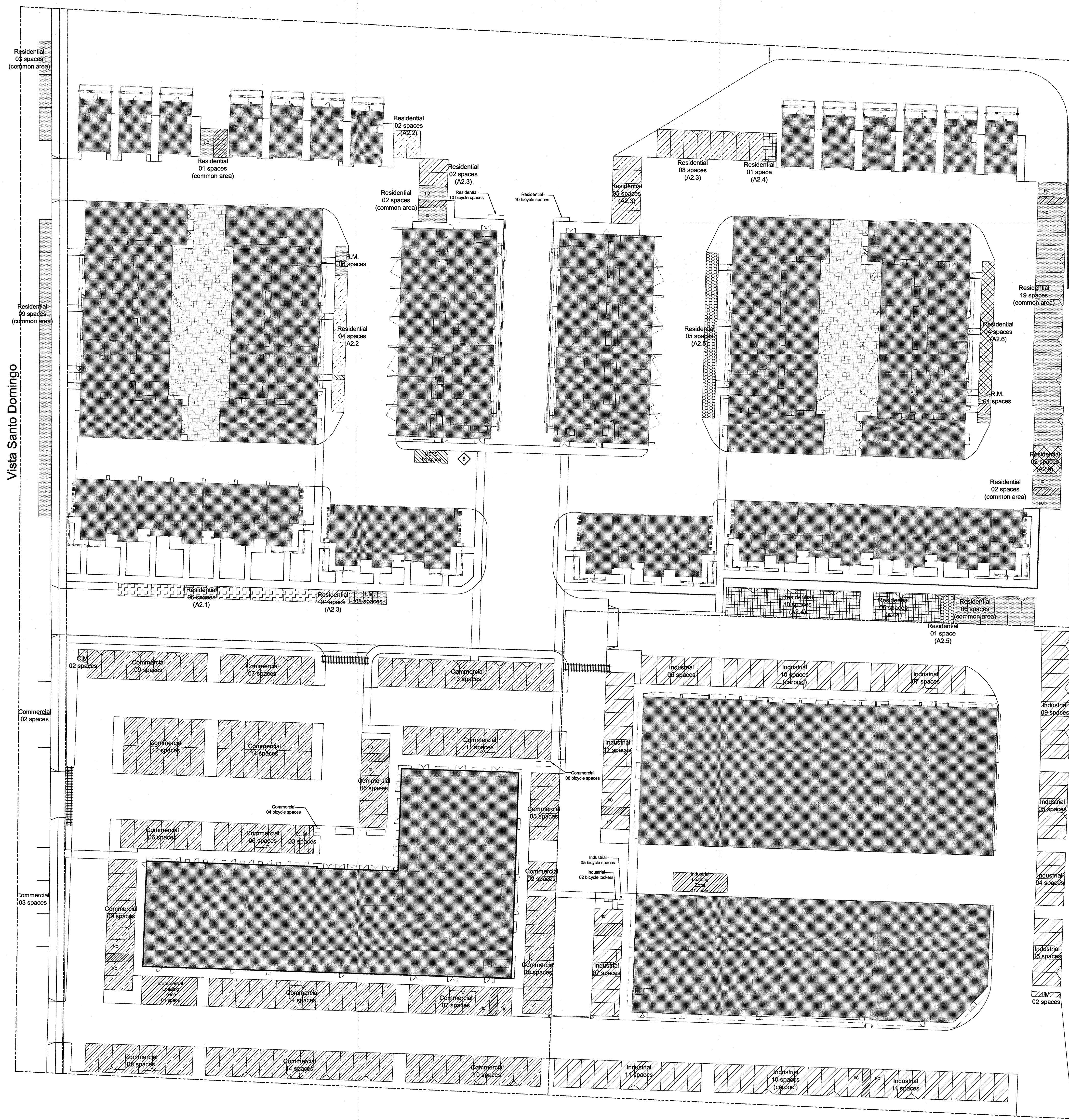
**A0.03**

3 Fire Access Plan  
scale: 1" = 30'-0"

# Ocean View Village

## Site Development Permit Vesting Tentative Map Affordable Housing Expedite Program Re-Zone

Residential parking deviates from City of San Diego Land Development Code (LDC) Table 142-102: Minimum number of off-street loading spaces required is 2. 0 off-street loading spaces for residential are provided. Residential off-street loading spaces deviates by 2 spaces.



### Parking Designation Key

Motorcycle Parking	R.M.	Residential Motorcycle	required	provided
			14	18(OK)
	C.M.	Commercial Motorcycle	4	5(OK)
	I.M.	Industrial Motorcycle	2	2(OK)
		TOTAL	20	25(OK)

Bicycle Parking	Residential Bicycle	required	provided
		20	20(OK)
	Commercial Bicycle	10	10(OK)
	Industrial Bicycle	5	5(OK)
	Industrial Bicycle Locker	2	2(OK)
	TOTAL	37	38(OK)

Accessible Parking	Residential Accessible	required	provided
		7	7(OK)
	Commercial Accessible	6	6(OK)
	Industrial Accessible	5	5(OK)
	TOTAL	18	18(OK)

Parking Allocation	Residential Parking	required	provided garage	provided surface	provided total
	A1.1	3'	2	1"	3(OK)
	A1.2	3'	2	1"	3(OK)
	A1.3	3'	2	1"	3(OK)
	A1.4	3'	2	1"	3(OK)
	A1.5	3'	2	1"	3(OK)
	A1.6	3'	2	1"	3(OK)
	A1.7	3'	2	1"	3(OK)
	A1.8	3'	2	1"	3(OK)
	A1.9	3'	2	1"	3(OK)
	A1.10	3'	2	1"	3(OK)
	A1.11	3'	2	1"	3(OK)
	A1.12	3'	2	1"	3(OK)
	A1.13	3'	2	1"	3(OK)
	A2.1	31	25	6	31(OK)
	A2.2	31	25	6	31(OK)
	A2.3	30	14	16	30(OK)
	A2.4	30	14	16	30(OK)
	A2.5	31	25	6	31(OK)
	A2.6	31	25	6	31(OK)
	A3.1	21'	14	7"	21(OK)
	A3.2	12'	8	4"	12(OK)
	A3.3	12'	8	4"	12(OK)
	A3.4	27'	18	9"	27(OK)
	Extra	0	0	5	5
	TOTAL	395	202	98	300(OK)

Commercial Parking	required	provided
162'	0	162
15 Industrial Parking common carport	75	75
	20	20
TOTAL	95	95

PARKING TOTAL	552	202	355	557(OK)
---------------	-----	-----	-----	---------

**Parking notes:**  
 \*The City of San Diego Land Development Code 142.022(5) Minimum Required Parking Without a 20-foot Driveway.  
 \*\*Any multiple dwelling unit with a garage that does not provide a driveway that is at least 20 feet long, measured from the back of the sidewalk to that portion of the driveway most distant from the sidewalk, shall provide one additional parking space.  
 \*\*\*These units include garages with driveways that are less than 20' long. As a result, 1 supplemental parking space is required in addition to the number prescribed in table 142-050(Minimum Required Parking Spaces for Multiple Dwelling Units and Related Accessory Uses).  
 \*\*\*\*These parking spaces are considered 'common area' parking spaces, and are not assigned to any specific unit.  
 \*\*\*\*\*The City of San Diego Land Development Code 142.0545 Shared Parking Requirements: Parking requirement for commercial modified to 152 spaces. See Title Sheet (A0.00) for calculation.

**M.W. STEELE**  
GROUP, INC.  
ARCHITECTURE - URBAN DESIGN  
325 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619.230.0325  
FACSIMILE: 619.230.0345  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: ZB  
Checked: \_\_\_\_\_

Revision	Description
Revision 1:	02.17.06 initial submittal
Revision 2:	08.11.06 second submittal
Revision 3:	06.08.07 third submittal
Revision 4:	06.17.07 fourth submittal
Revision 5:	-
Revision 6:	-
Revision 7:	-
Revision 8:	-
Revision 9:	-
Revision 10:	-
Revision 11:	-
Revision 12:	-

**Legal Description:**  
 The Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 29, Township 18 South Range 1 West, San Bernardino meridian, in the County of San Diego, State of California, according to official plat thereof.

Assessor's Parcel Number:  
 645-050-07 **APPROVED EXHIBIT "A"**

PROJECT NO. PT5-96580  
 APPROVAL NO. SDP# 320732  
 1/24 = 3/18/08 = 2/22/08 = 3/19/08  
 APPROVED BY: HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON 12/1/08  
 SIGNATURE Wade W. Jurbach

**1 Parking Plan**  
 scale: 1" = 30'-0"

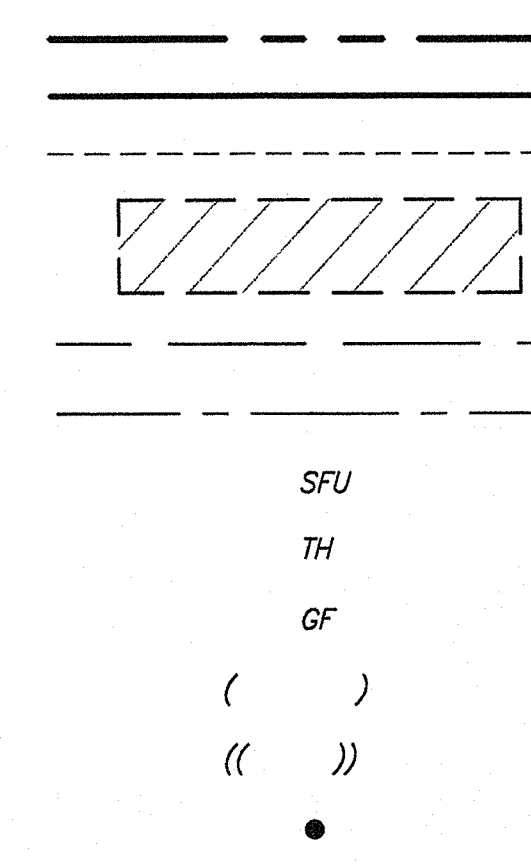
**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**  
 AUTHORIZED BY  
 COUNCIL POLICY 600-27

**A0.04**

# VESTING TENTATIVE MAP NO. 314829

## LEGEND

- VTM BOUNDARY
- PROPOSED LOT LINE
- BUILDING SETBACK LINE
- PROPOSED WATER EASEMENT
- EXISTING EASEMENT
- C/L EXIST. EASEMENT
- SINGLE FAMILY UNIT
- TOWNHOME
- GARDEN FLAT
- RECORD DATA PER MAP NO. 14048
- RECORD DATA PER MAP NO. 15157
- MONUMENT OF RECORD



## LEGAL DESCRIPTION

THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 18 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICAL PLAT THEREOF.

## ASSESSOR'S PARCEL NUMBER:

645-050-07

## CONDOMINIUM NOTE

THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1351 ET SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF RESIDENTIAL CONDOMINIUM UNITS IS 143, THE TOTAL NUMBER OF COMMERCIAL CONDOMINIUM UNITS IS 40 AND THE TOTAL NUMBER OF INDUSTRIAL CONDOMINIUM UNITS IS 24.

## ZONING LOTS AND ACREAGE

- A. BASE ZONE: AR-1-1
- B. OVERLAY ZONES: AIRPORT ENVRONS.
- C. PLANNED DISTRICT: N/A
- D. COMMUNITY PLAN: CITY MESA
- E. NUMBER OF EXISTING PARCELS: 1
- F. PROPOSED NUMBER OF LOTS: 3
- G. VTM BOUNDARY AREA: 10.40 ACRES±

## EASEMENTS NOT PLOTTABLE

THE FOLLOWING EASEMENT IS A GENERAL EASEMENT WITH NO LOCATIONS SET FORTH IN THE RECORDED DOCUMENTS, AND CANNOT BE PLOTTED ON THIS MAP:

- SDG&E EASEMENT RECORDED 3-14-1990 AS FILE NO. 90-136543, O.R.

## RESIDENTIAL BUILDING TABULATION

BLDG. NO.	TYPE	UNIT TYPE	NO. UNITS	UNIT SF	TOTAL SF
-	SFU	-	13	1,977	25,701
A2.1	GF	A	6	993	5,958
A2.1	GF	B	2	1,346	2,692
A2.1	GF	C	10	826	8,260
A2.2	GF	A	6	993	5,958
A2.2	GF	B	2	1,346	2,692
A2.2	GF	C	10	826	8,260
A2.3	GF	A	9	993	8,937
A2.3	GF	B	3	1,346	4,038
A2.4	GF	A	9	993	8,937
A2.4	GF	B	3	1,346	4,038
A2.5	GF	A	6	993	5,958
A2.5	GF	B	2	1,346	2,692
A2.5	GF	C	10	826	8,260
A2.6	GF	A	6	993	5,958
A2.6	GF	B	2	1,346	2,692
A2.6	GF	C	10	826	8,260
A3.4	TH	A	3	1,948	5,844
A3.4	TH	B	4	2,137	8,548
A3.4	TH	C	2	2,215	4,430
A3.3	TH	A	1	1,948	1,948
A3.3	TH	B	1	2,137	2,137
A3.3	TH	C	2	2,215	4,430
A3.2	TH	A	1	1,948	1,948
A3.2	TH	B	1	2,137	2,137
A3.2	TH	C	2	2,215	4,430
A3.1	TH	A	2	1,948	3,896
A3.1	TH	B	3	2,137	6,411
A3.1	TH	C	2	2,215	4,430

## AFFORDABLE HOUSING EXPEDITE PROGRAM

AUTHORIZED BY COUNCIL POLICY 600-27

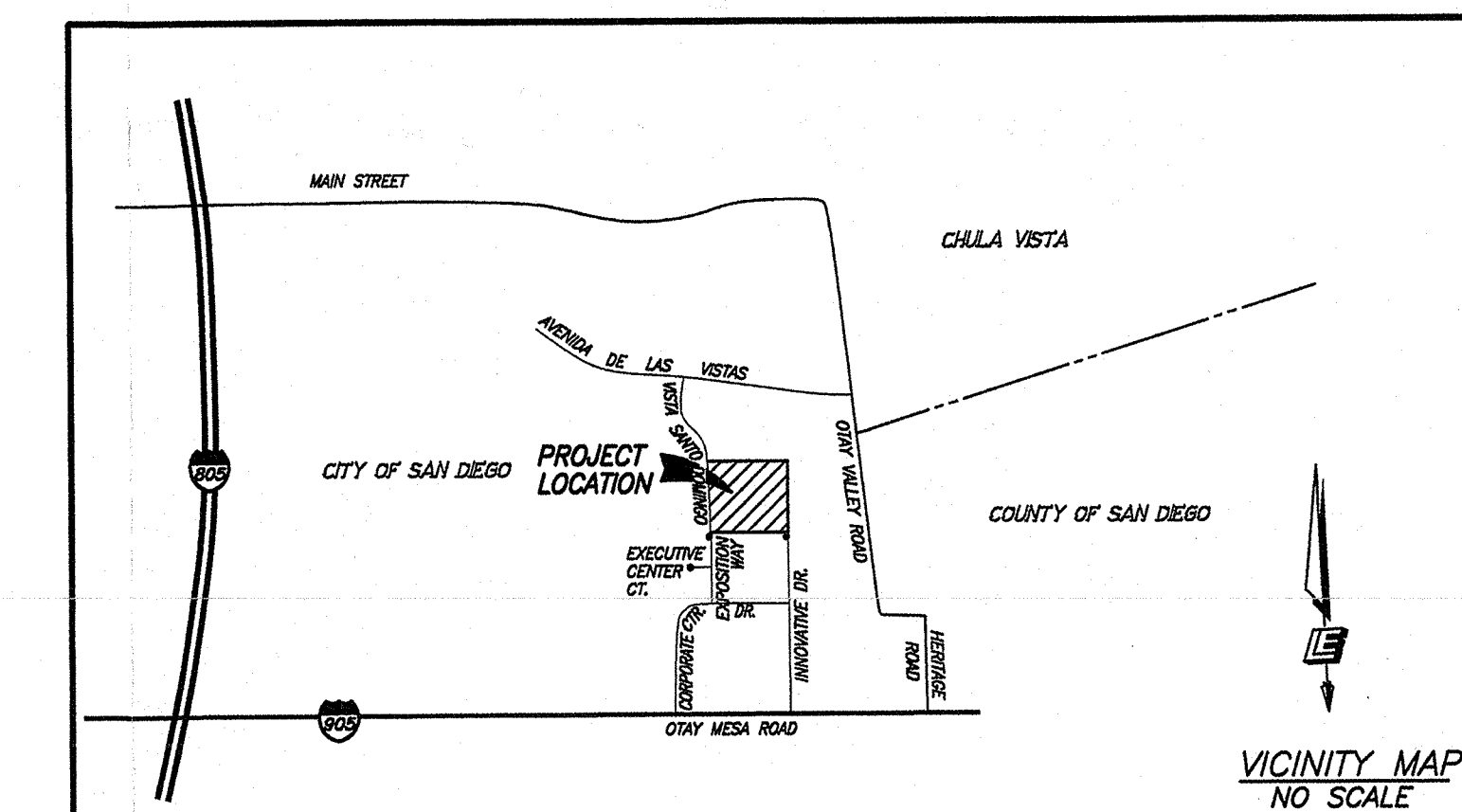
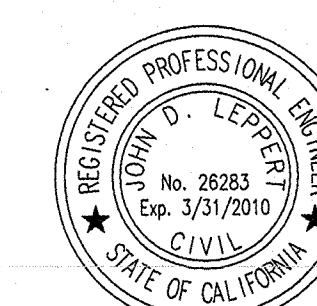
VTM / MAP Waiver No. 314829  
 APPROVED BY City Council Planning Commission / Hearing Officer on 12/1/08  
 Development Services Department  
 Date 12/1/08 By *Sharon M. Bosen* Development Project Manager

## APPLICANT/OWNER:

MELVYN V. INCALLS  
 2339 CERRILLO STREET  
 SAN DIEGO, CA 92109  
 PHONE: (619) 493-9872  
 BY: *Melvin V. Incalls*  
 MELVYN V. INCALLS  
 DATE: 4/11/08

## ENGINEER:

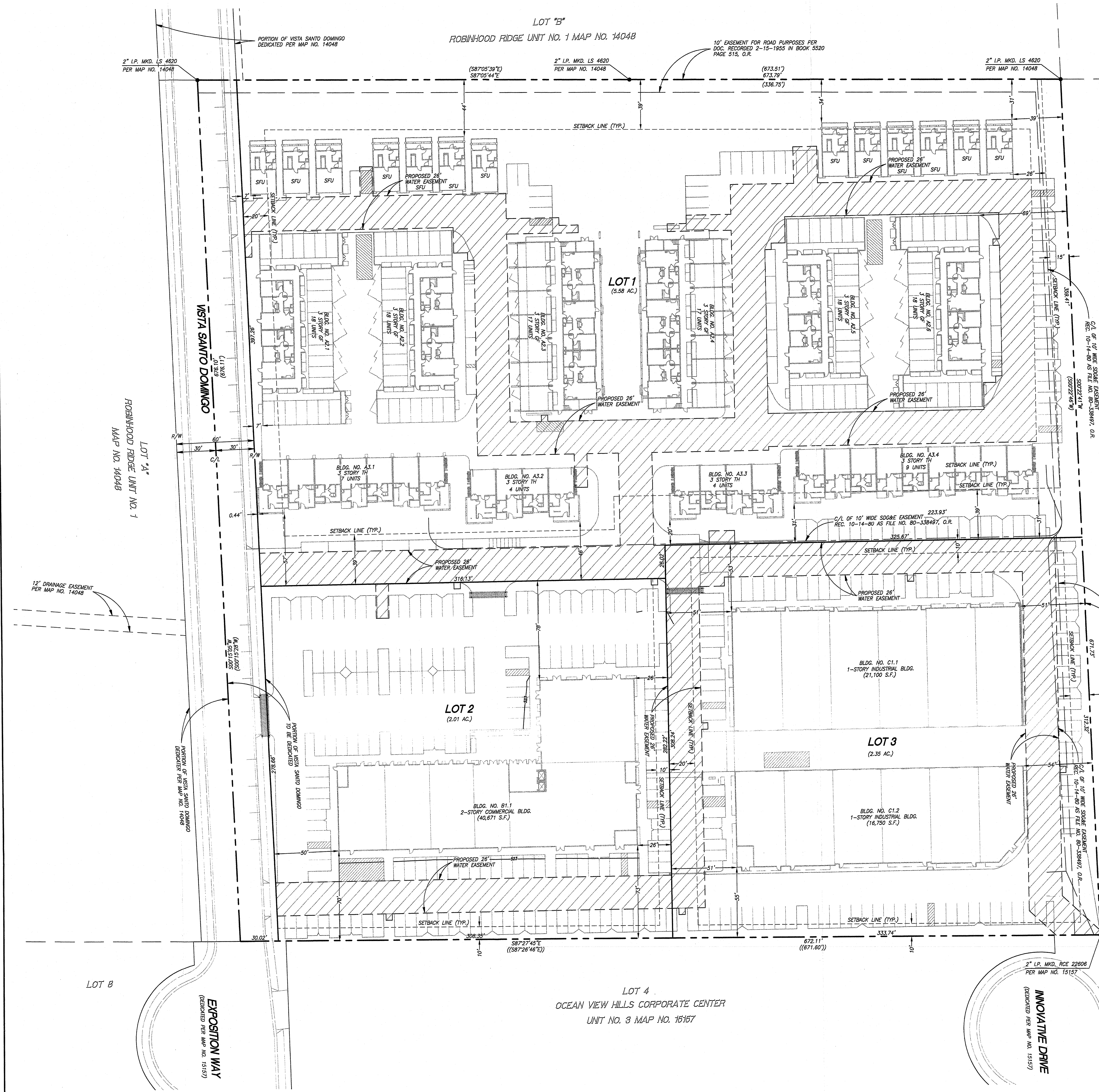
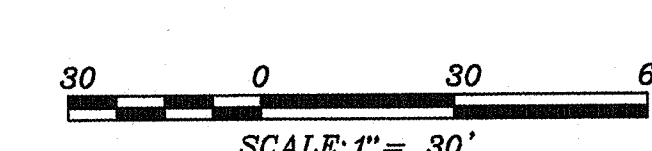
LEPPERT ENGINEERING CORPORATION  
 5190 GOVERNOR DRIVE, S-205  
 SAN DIEGO, CA 92122  
 BY: *John D. Leppert*  
 JOHN D. LEPPERT  
 RCE 26285  
 EXP. 3-31-10  
 DATE: 4/11/08



PREPARED BY: LEPPERT ENGINEERING CORPORATION  
 ADDRESS: 5190 GOVERNOR DRIVE, S-205, SAN DIEGO, CA 92122  
 PHONE #: (619) 597-2001  
 PROJECT ADDRESS: VISTA SANTO DOMINGO  
 PROJECT NAME: OCEAN VIEW VILLAGE

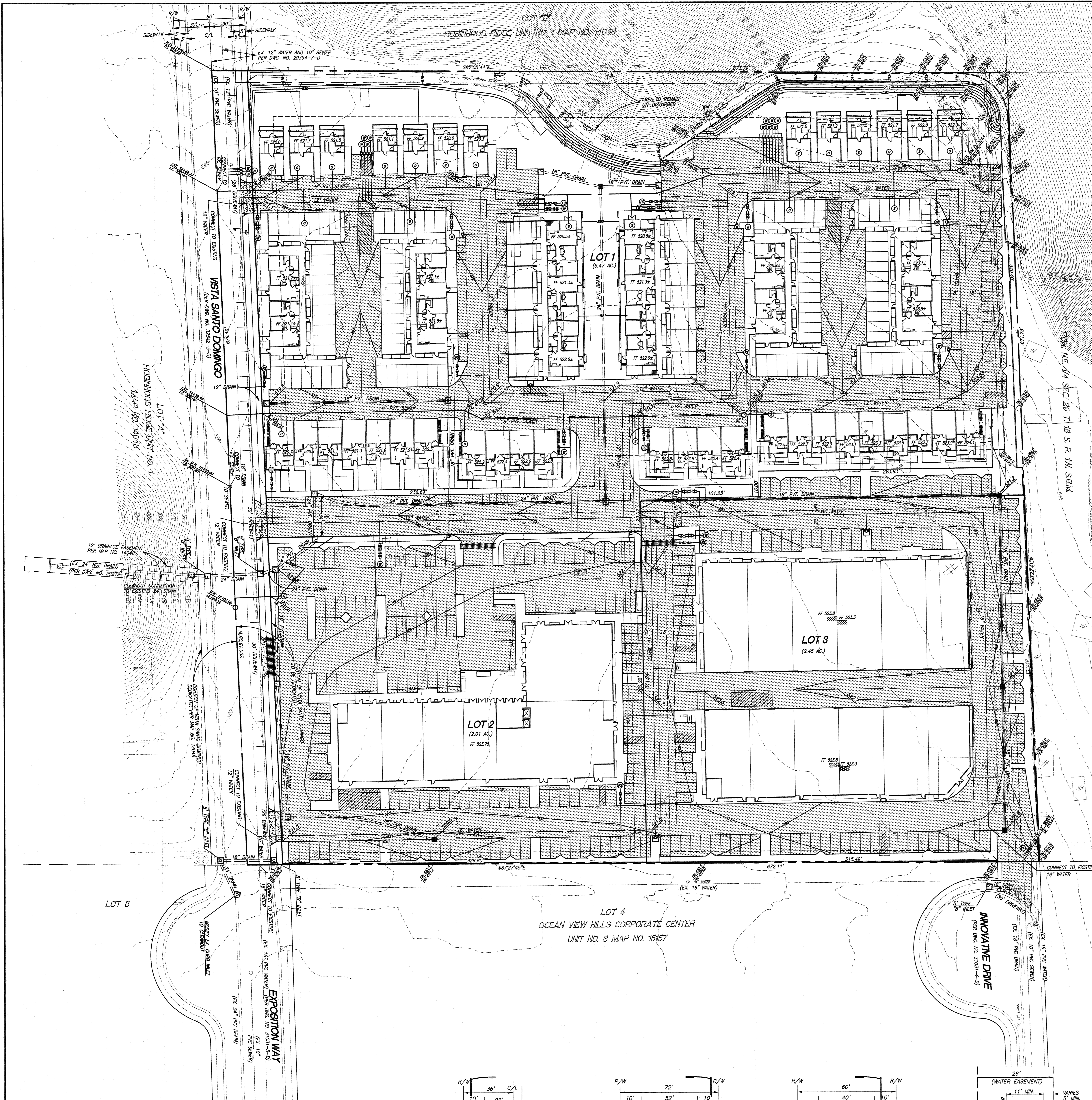
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REVISION 13:	_____
REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
REVISION 6:	_____
REVISION 5:	_____
REVISION 4:	_____
REVISION 3:	_____
REVISION 2:	_____
REVISION 1:	8-10-07

SHEET TITLE: VESTING TENTATIVE MAP NO. 314829  
 SHEET C1.0 OF 3  
 ORIGINAL DATE: 2-17-06  
 DEP# 6 OF 39



NO.	DATE	BY	DESCRIPTION
1	11/21/06	ME	ORIGINAL
2	8/16/08	ME	ADDED RECORDING
3	8/16/08	ME	ADDED RECORDING
4			
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LEPPERT ENGINEERING CORPORATION  
 5190 GOVERNOR DRIVE, SUITE 205, SAN DIEGO, CA 92122  
 (619) 597-2001



**GENERAL NOTES**

- A. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE EXISTING FERMENTO DUNE MAINTENANCE.
- B. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 GRADING REGULATIONS OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATION.
- C. PRIOR TO THE RECORDED OF THE FIRST FINAL MAP, THE SUBDIVIDER SHALL PROVIDE AND ASSURE BY PERMIT AND BOND, APPROPRIATE ROADWAY STRIPING OF THE EXPOSITION WAY CUL-DE-SAC, TO THE SATISFACTION OF THE CITY ENGINEER.

**EXISTING IMPROVEMENTS**

- A. EXISTING 12" WATER IN VISTA SANTO DOMINGO PER CITY OF SAN DIEGO DRAWING NO. 29394-7-D.
- B. EXISTING 10" SEWER IN VISTA SANTO DOMINGO PER CITY OF SAN DIEGO DRAWING NO. 29394-7-D.
- C. EXISTING 10" SEWER IN INNOVATIVE DRIVE PER CITY OF SAN DIEGO DRAWING NO. 31031-4-D.
- D. EXISTING 18" WATER IN INNOVATIVE DRIVE PER CITY OF SAN DIEGO DRAWING NO. 31031-4-D.
- E. EXISTING 18" WATER IN EXPOSITION WAY PER CITY OF SAN DIEGO DRAWING NO. 31031-5-D.

**TOPOGRAPHIC INFORMATION**

- A. SOURCE: TOPOGRAPHIC INFORMATION PRODUCED FROM PHOTOGRAMMETRIC METHODS FROM AERIAL PHOTOGRAPHY ON 9-7-2000.
- B. PREPARED BY: MORENO AERIAL PHOTO SURVEYS
- C. DATUM: MEAN SEA LEVEL

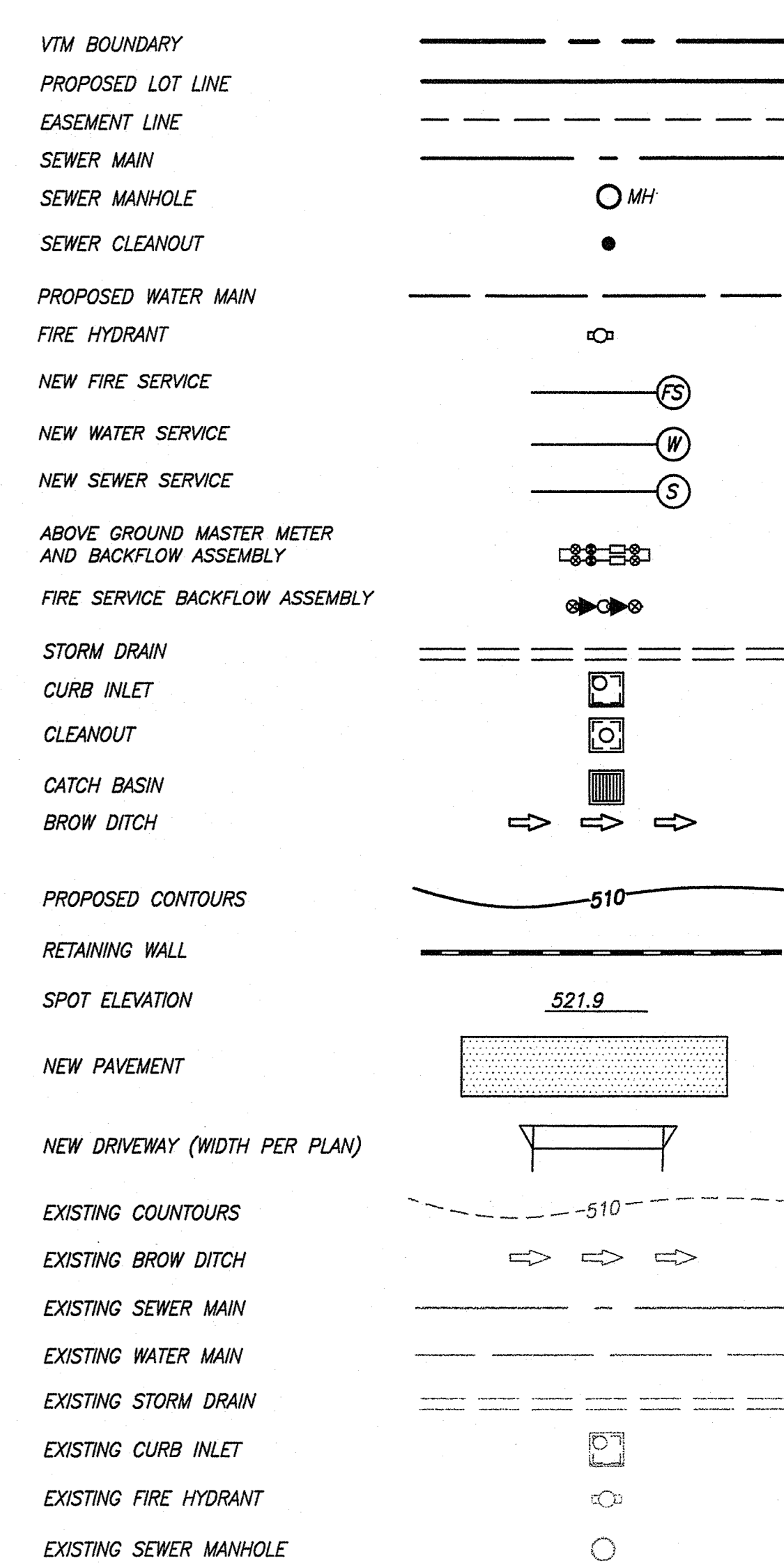
**GRADING TABULATION**

- 1. TOTAL AMOUNT OF SITE TO BE GRADED: 9.6 AC ±
- 2. PERCENT OF TOTAL SITE TO BE GRADED: 98%
- 3. AMOUNT OF CUT: 12,000 C.Y. ±
- 4. MAXIMUM DEPTH OF CUT: 5 FT. ±
- 5. AMOUNT OF FILL: 14,000 C.Y. ±
- 6. MAXIMUM DEPTH OF FILL: 14 FT. ±
- 7. MAXIMUM HEIGHT OF FILL SLOPE: 6 FT. ±
- 8. MAXIMUM HEIGHT OF CUT SLOPE: 7 FT. ±
- 9. CUT SLOPE RATIO: 2:1
- 10. FILL SLOPE RATIO: 2:1
- 11. AMOUNT OF IMPROV.: 2,000 C.Y. ±
- 12. RETAINING WALL/CURB WALLS: 1,870 L.F.
- 13. MAXIMUM WALL HEIGHT: 12 FT. ±

**GRADING AND DRAINAGE**

- A. GRADING: BASED ON THE EXISTING TOPOGRAPHY, THE SITE CAN BE DESCRIBED AS RELATIVELY FLAT, HAVING AN AVERAGE SLOPE OF 2.65% ACROSS THE DEVELOPABLE AREA. IT IS PROPOSED THAT THE PROJECT BE GRADED AS SHOWN HEREON. APPROXIMATELY 12,000 CUBIC YARDS WILL BE EXCAVATED FOR A BALANCED EARTHWORK OPERATION.
- B. DRAINAGE: THE PROPOSED STORM DRAIN SYSTEM SHALL BE CONSTRUCTED AS SHOWN HEREON. THE PROPERTY IS TRIBUTARY TO THE OTAY RIVER VALLEY TO THE NORTH. THE CANYON TO THE IMMEDIATE NORTH HAS BEEN IMPROVED WITH A SERIES OF LINED BROW DITCHES THAT CONVEY THE RUNOFF FROM THE SITE TO VISTA SANTO DOMINGO AND TO A PRIVATE STORM DRAIN SYSTEM CONSTRUCTED AS A PART OF THE ROBINHOOD RIDGE UNIT NO. 1 SUBDIVISION TO THE NORTH OF THE SUBJECT PROPERTY. THE NORTHWEST 3.5± ACRES WILL DRAIN TO AN EXISTING 24" STORM DRAIN SYSTEM THAT DRAINS TO THE CANYON TO THE WEST OF THE SUBJECT PROPERTY. THE NORTHWEST 1.4± ACRES WILL DRAIN TO THE NORTH WHERE THE RUNOFF WILL BE INTERCEPTED BY THE EXISTING SYSTEM OF BROW DITCHES DESCRIBED ABOVE. THE EASTERLY 4.5± ACRES OF THE SITE DRAINS TO THE NORTHEAST THROUGH A SYSTEM OF ON-SITE PRIVATE STORM DRAINS BEFORE DISCHARGING TO THE SURFACE OVER A RIP RAP ENERGY DISSIPATER SYSTEM TOWARDS THE EXISTING DRAIN CHANNEL ADJACENT TO OTAY VALLEY ROAD TO THE EAST.

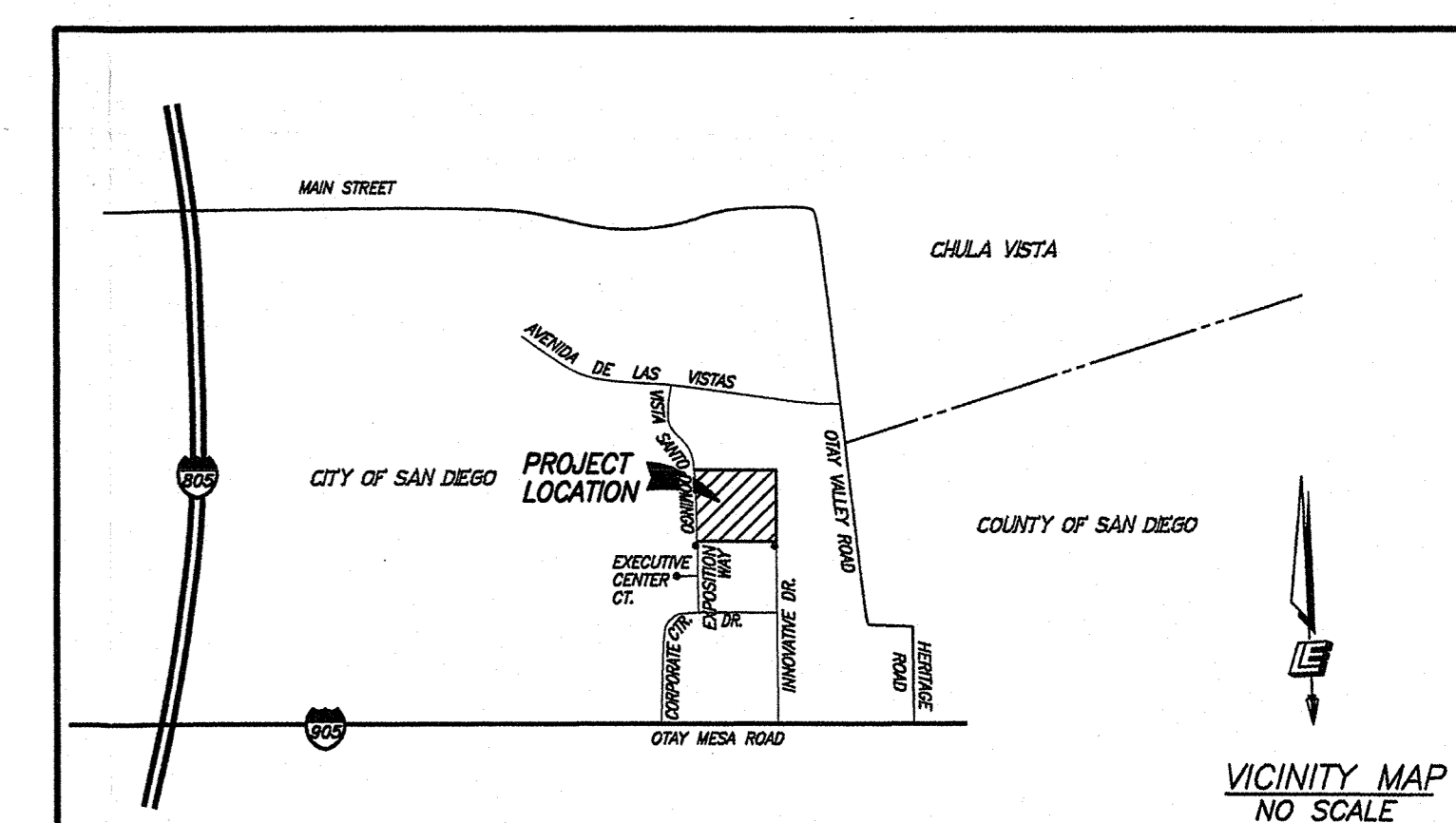
**LEGEND**



**AFFORDABLE HOUSING EXPEDITE PROGRAM**

AUTHORIZED BY COUNCIL POLICY 600-27

VTM / MAP Waiver No. 314829  
 APPROVED BY City Council Planning Commission / Hearing Officer  
 on 12/1/08  
 Development Services Department  
 Date 12/1/08 By *Joan Munch*  
 Development Project Manager



PREPARED BY: LEPPERT ENGINEERING CORPORATION

NAME: 5190 GOVERNOR DRIVE, S-205  
 SAN DIEGO, CA 92122  
 PHONE #: (858) 597-2001

PROJECT ADDRESS: VISTA SANTO DOMINGO

PROJECT NAME: OCEAN VIEW VILLAGE

REVISION 14:	
REVISION 13:	
REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 9:	
REVISION 8:	
REVISION 7:	
REVISION 6:	
REVISION 5:	
REVISION 4:	
REVISION 3:	
REVISION 2:	
REVISION 1:	8-10-07

ORIGINAL DATE: 2-17-08

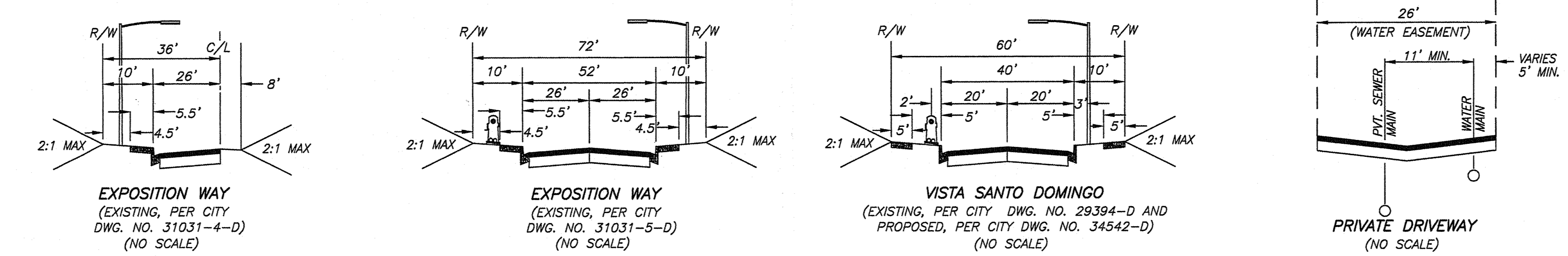
SHEET TITLE: VESTING TENTATIVE MAP NO. 314829  
 Grading, Drainage and Utility Exhibit

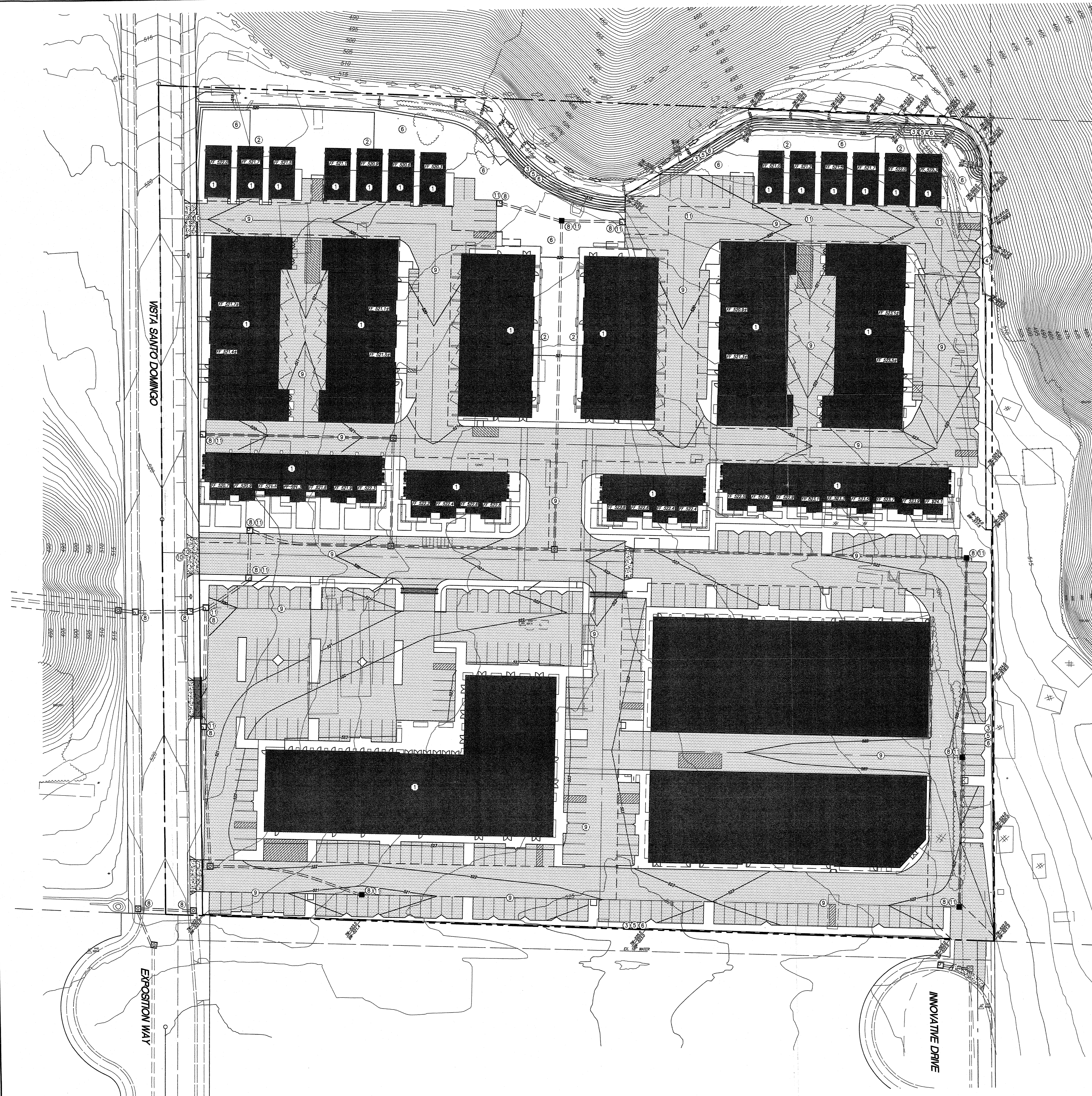
SHEET C2.0 OF 3  
 7 OF 39

DEP#

NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION
1	12/1/08	NSP	DATE SUBMITTED	11			
2	12/1/08	NSP	DATE SUBMITTED	12			
3	12/1/08	NSP	DATE SUBMITTED	13			
4	12/1/08	NSP	DATE SUBMITTED	14			
5	12/1/08	NSP	DATE SUBMITTED	15			
6	12/1/08	NSP	DATE SUBMITTED	16			
7	12/1/08	NSP	DATE SUBMITTED	17			
8	12/1/08	NSP	DATE SUBMITTED	18			
9	12/1/08	NSP	DATE SUBMITTED	19			
10	12/1/08	NSP	DATE SUBMITTED	20			

LEPPERT ENGINEERING CORPORATION  
 5190 GOVERNOR DRIVE, SUITE 205, SAN DIEGO, CA 92122  
 (619) 597-2001





**BMP NOTES:**

**I. INTRODUCTION**  
 URBAN RUNOFF DISCHARGE FROM MUNICIPAL STORM WATER CONVEYANCE SYSTEMS HAS BEEN IDENTIFIED AS ONE OF THE PRINCIPAL CAUSES OF WATER QUALITY PROBLEMS IN MOST URBAN AREAS. URBAN RUNOFF POTENTIALLY CONTAINS A HOST OF POLLUTANTS SUCH AS TRASH, DEBRIS, BACTERIA, VIRUSES, OIL, GREASE, SEDIMENTS, NUTRIENTS, METALS, AND TOXIC CHEMICALS. THE CONTAMINANTS CAN ADVERSELY AFFECT RECEIVING WATERS, ASSOCIATED WILDLIFE, AND PUBLIC HEALTH. URBAN RUNOFF IS NOT ONLY A PROBLEM DURING RAINY SEASONS, BUT ALSO YEAR-ROUND DUE TO MANY TYPES OF URBAN WATER USES THAT DISCHARGE RUNOFF TO THE STORM CONVEYANCE SYSTEM.

THE MUNICIPAL STORM WATER NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM PERMIT (MUNICIPAL PERMIT), ISSUED ON FEB. 21, 2001 TO THE CITY OF SAN DIEGO, REQUIRES THE DEVELOPMENT AND IMPLEMENTATION OF STORM WATER REGULATIONS ADDRESSING STORM WATER POLLUTION ISSUES IN DEVELOPMENT PLANNING AND CONSTRUCTION ASSOCIATED WITH PRIVATE AND PUBLIC DEVELOPMENT.

THE PURPOSE OF THIS PLAN, WITH RESPECT TO THE PROPOSED DEVELOPMENT, IS TO COMPLY WITH THE MUNICIPAL PERMIT, AND THE MODEL STANDARD URBAN STORM WATER MITIGATION PLAN (SUSMP) APPROVED BY THE REGIONAL BOARD ON JUNE 6, 2002 FOR THE IMPLEMENTATION OF PERMANENT AND CONSTRUCTION STORM WATER BMP REQUIREMENTS.

**II. DETERMINATION OF STANDARD AND PRIORITY STORM WATER BMP REQUIREMENTS:**

**A) MATRIX TO DETERMINE PRIORITY PROJECT PERMANENT STORM WATER BMP REQUIREMENTS:**

DOES THE PROJECT MEET THE DEFINITION OF ONE OR MORE OF THE PRIORITY PROJECT CATEGORIES AS DEFINED IN THE STORM WATER STANDARDS?	YES	NO
1. DETACHED RESIDENTIAL DEVELOPMENTS OF 10 OR MORE UNITS.	X	
2. ATTACHED RESIDENTIAL DEVELOPMENTS OF 10 OR MORE UNITS.	X	
3. COMMERCIAL DEVELOPMENT GREATER THAN 100,000 SQUARE FEET.	X	
4. AUTOMOTIVE REPAIR SHOP.	X	
5. RESTAURANT.	X	
6. STEEP HILLSIDE DEVELOPMENT GREATER THAN 5,000 SQUARE FEET.	X	
7. PROJECT DISCHARGING TO RECEIVING WATERS WITHIN WATER QUALITY SENSITIVE AREAS.	X	
8. PARKING LOT GREATER THAN OR EQUAL TO 4,000 SQ. FT. WITH AT LEAST 15 PARKING SPACES AND POTENTIALLY EXPOSED TO URBAN RUNOFF.	X	
9. STREETS, ROADS, HIGHWAYS, AND FREEWAYS THAT WOULD CREATE A NEW PAVED SURFACE THAT IS 5,000 SQ. FT. OR GREATER.	X	
10. SIGNIFICANT REDEVELOPMENT OVER 5,000 SQ. FT.	X	

**B) MATRIX TO DETERMINE STANDARD PROJECT PERMANENT STORM WATER BMP REQUIREMENTS:**

DOES THE PROJECT PROPOSE?	YES	NO
1. NEW IMPERVIOUS AREAS, SUCH AS ROOFTOPS, ROADS, PARKING LOTS, DRIVEWAYS, PATHS AND SIDEWALKS?	X	
2. NEW PERVIOUS LANDSCAPE AREAS AND IRRIGATION SYSTEMS?	X	
3. PERMANENT STRUCTURES WITHIN 100 FEET OF ANY NATURAL WATER BODY?	X	
4. TRASH STORAGE AREAS?	X	
5. LIQUID OR SOLID MATERIAL LOADING AND UNLOADING AREAS?	X	
6. VEHICLE OR EQUIPMENT FUELING, WASHING, OR MAINTENANCE AREAS?	X	
7. REQUIRE A GENERAL WIPES PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITIES (EXCEPT CONSTRUCTION)?	X	
8. COMMERCIAL OR INDUSTRIAL WASTE HANDLING OR STORAGE, EXCLUDING TYPICAL OFFICE OR HOUSEHOLD WASTE?	X	
9. ANY GRADING OR GROUND DISTURBANCE DURING CONSTRUCTION?	X	
10. ANY NEW STORM DRAINING, OR ALTERATION TO EXISTING STORM DRAINAGE?	X	

PURSUANT TO SECTION 1, APPENDIX "A" OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS" DATED OCTOBER 23, 2002, THE PROPOSED PROJECT IS SUBJECT TO THE "PRIORITY PROJECT PERMANENT STORM WATER BMP REQUIREMENTS", AND "STANDARD PERMANENT STORM WATER BMP REQUIREMENTS", (SEE PAR. VI).

**III. DETERMINATION OF CONSTRUCTION STORM WATER BMP REQUIREMENTS:**

**C) DETERMINATION OF CONSTRUCTION PHASE STORM WATER REQUIREMENT:**

WOULD THE PROJECT MEET ANY OF THESE CRITERIA DURING CONSTRUCTION?	YES	NO
1. IS THE PROJECT SUBJECT TO CALIFORNIA'S STATEWIDE GENERAL WIPES PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES?	X	
2. DOES THE PROJECT PROPOSE GRADING OR SOIL DISTURBANCE?	X	
3. WOULD STORM WATER OR URBAN RUNOFF HAVE THE POTENTIAL TO CONTACT ANY PORTION OF THE CONSTRUCTION AREA, INCLUDING WASHING AND STAGING AREAS?	X	
4. WOULD THE PROJECT USE ANY CONSTRUCTION MATERIALS THAT COULD NEGATIVELY AFFECT WATER QUALITY IF DISCHARGED FROM THE SITE (SUCH AS PAINTS, SOLVENTS, CONCRETE, AND STUCCO)?	X	

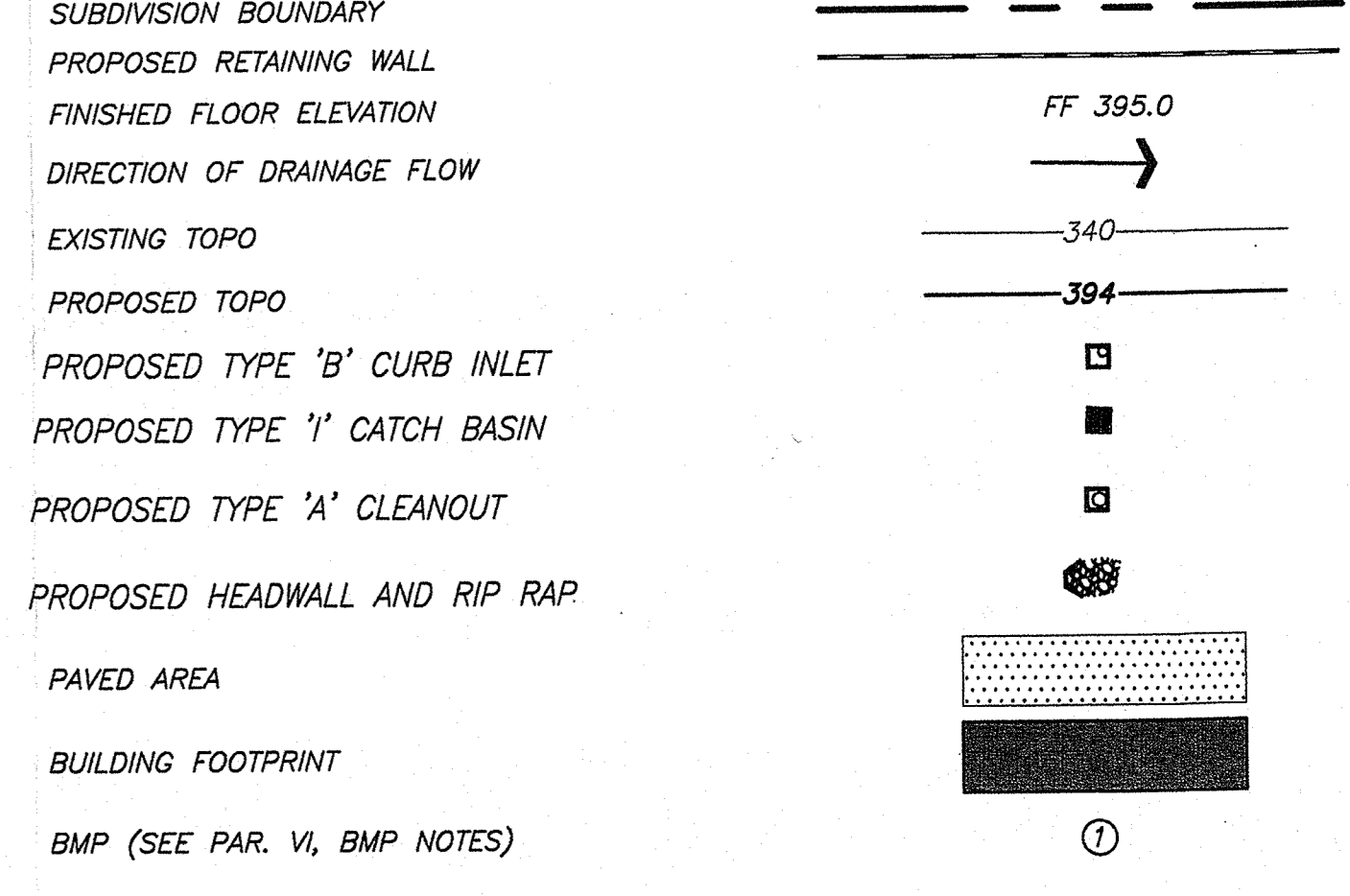
PURSUANT TO SECTION 2, APPENDIX "A" OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS" DATED OCTOBER 23, 2002, THE PROPOSED PROJECT IS SUBJECT TO CONSTRUCTION STORM WATER BMP PERFORMANCE STANDARDS AND WILL REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PRIOR TO THE ISSUANCE OF A CONSTRUCTION PERMIT. (SEE PAR. VII).

**IV. DETERMINATION OF CONSTRUCTION SITE PRIORITY:**

- A) HIGH PRIORITY**
- PROJECTS WHERE THE SITE IS 50 ACRES OR MORE AND GRADING WILL OCCUR DURING THE WET SEASON.
  - PROJECTS 1 ACRE OR MORE AND TRIBUTARY TO AN IMPAIRED WATER BODY FOR SEDIMENT BY THE MOST CURRENT CLEAN WATER ACT SECTION 303(G) LIST.
  - PROJECTS 1 ACRE OR MORE WITHIN OR DIRECTLY ADJACENT TO OR DISCHARGING DIRECTLY TO A COASTAL LAGOON OR OTHER RECEIVING WATER WITHIN A WATER QUALITY SENSITIVE AREA.
  - PROJECTS, ACTIVE OR INACTIVE, ADJACENT OR TRIBUTARY TO SENSITIVE WATER BODIES.
- B) MEDIUM PRIORITY**
- CAPITAL IMPROVEMENT PROJECTS WHERE GRADING OCCURS, HOWEVER, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS NOT REQUIRED UNDER THE STATE GENERAL CONSTRUCTION PERMIT (I.E. WATER AND SEWER REPLACEMENT PROJECTS, INTERSECTION AND STREET RE-ALIGNMENTS, WIDENING, COMFORT STATIONS, ETC.).
  - PERMIT PROJECTS IN THE PUBLIC RIGHT-OF-WAY WHERE GRADING OCCURS, HOWEVER, SWPPP'S ARE NOT REQUIRED, SUCH AS INSTALLATION OF SIDEWALKS, SUBSTANTIAL RETAINING WALLS, CURB AND GUTTER FOR AN ENTIRE STREET FRONTAGE, ETC.
  - PERMIT PROJECTS ON PRIVATE PROPERTY WHERE GRADING PERMITS ARE REQUIRED (I.E. CUTS OVER 5 FEET, FILLS OVER 3 FEET), HOWEVER, NOTICE OF INTENTS (NOIS) AND SWPPP'S ARE NOT REQUIRED.
- C) LOW PRIORITY**
- CAPITAL PROJECTS WHERE MINIMAL TO NO GRADING OCCURS, SUCH AS SIGNAL LIGHT AND LOOP INSTALLATIONS, STREET LIGHT INSTALLATIONS, ETC.
  - PERMIT PROJECTS IN THE PUBLIC RIGHT-OF-WAY WHERE MINIMAL TO NO GRADING OCCURS, SUCH AS PEDESTRIAN RAMPS, DRIVEWAY ADDITIONS, SMALL RETAINING WALLS, ETC.
  - PERMIT PROJECTS ON PRIVATE PROPERTY WHERE GRADING PERMITS ARE NOT REQUIRED, SUCH AS SMALL RETAINING WALLS, SINGLE-FAMILY HOMES, SMALL TENANT IMPROVEMENTS, ETC.

- V. IDENTIFICATION OF POLLUTANTS**
- A) PROJECT CATEGORY: MIXED USE DEVELOPMENT**
- 1) POTENTIAL POLLUTANTS ANTICIPATED:**
- SEDIMENTS
  - NUTRIENTS
  - HEAVY METALS
  - ORGANIC COMPOUNDS (POTENTIAL)
  - TRASH AND DEBRIS
  - OXYGEN DEMANDING SUBSTANCES
  - OIL AND GREASE
  - PESTICIDES/SOLVENTS
  - BACTERIA AND VIRUSES

**LEGEND:**



**BMP NOTES: (Cont.)**

- VI. STANDARD/PRIORITY PERMANENT BEST MANAGEMENT PRACTICES (BMP'S)**
- SITE DESIGN BMP'S**
- MINIMIZE IMPERVIOUS FOOTPRINT THROUGH EFFICIENT DESIGN, INCORPORATING MULTI-LEVEL BUILDINGS.
  - DIRECT ROOF RUNOFF TO LANDSCAPED AREAS, WHERE FEASIBLE.
  - VEGETATE SLOPES WITH DROUGHT TOLERANT / PEST RESISTANT VEGETATION.

- SOURCE CONTROL BMP'S**
- USE OF PEST RESISTANT AND DROUGHT TOLERANT LANDSCAPING.
  - PROVIDE AUTOMATIC, PROGRAMMABLE TIMERS FOR LANDSCAPE IRRIGATION.
  - PROVIDE EDUCATIONAL MATERIALS TO MAKE PERSONNEL AWARE OF "GOOD HOUSEKEEPING" PRACTICES.
  - STENCIL OR STAMP ALL STORM DRAIN INLETS WITH WARNINGS TO DISCOURAGE "ILLEGAL" DUMPING OR DISCHARGE INTO THE STORM DRAIN SYSTEM.

- INDIVIDUAL PRIORITY PROJECT BMP'S:**
- PRIVATE ROADWAYS SHALL DRAIN USING AN URBAN CURB/SWALE SYSTEM- STREET SLOPES TO CURB/SWALE, PERIODIC INLETS DRAIN TO A FILTRATION SYSTEM.
  - RESIDENTIAL DRIVEWAYS AND GUEST PARKING TO INCORPORATE SHARED ACCESS.

- TREATMENT CONTROL BMP'S:**
- INSTALL FILTER MEDIA IN STORM DRAIN INLETS STRUCTURES, SUCH AS "FOSSIL FILTERS", OR EQUIVALENT.

**VII. CONSTRUCTION STORM WATER BMP PERFORMANCE STANDARDS**

- A) A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WILL BE REQUIRED PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS FOR THE PROJECT.**
- B) THE PERMITEE OR DESIGNEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP'S) NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE LAND DEVELOPMENT CODE INTO THE CONSTRUCTION PLANS AND/OR SPECIFICATIONS, SATISFACTORY TO THE CITY ENGINEER, PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS.**

**VIII. IMPLEMENTATION AND MAINTENANCE REQUIREMENTS**

- A) THE PERMITEE OR DESIGNEE SHALL EXECUTE A MAINTENANCE AGREEMENT FOR ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER, PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS FOR THE PROJECT.**

**AFFORDABLE HOUSING EXPEDITE PROGRAM**

**AUTHORIZED BY COUNCIL POLICY 600-27**

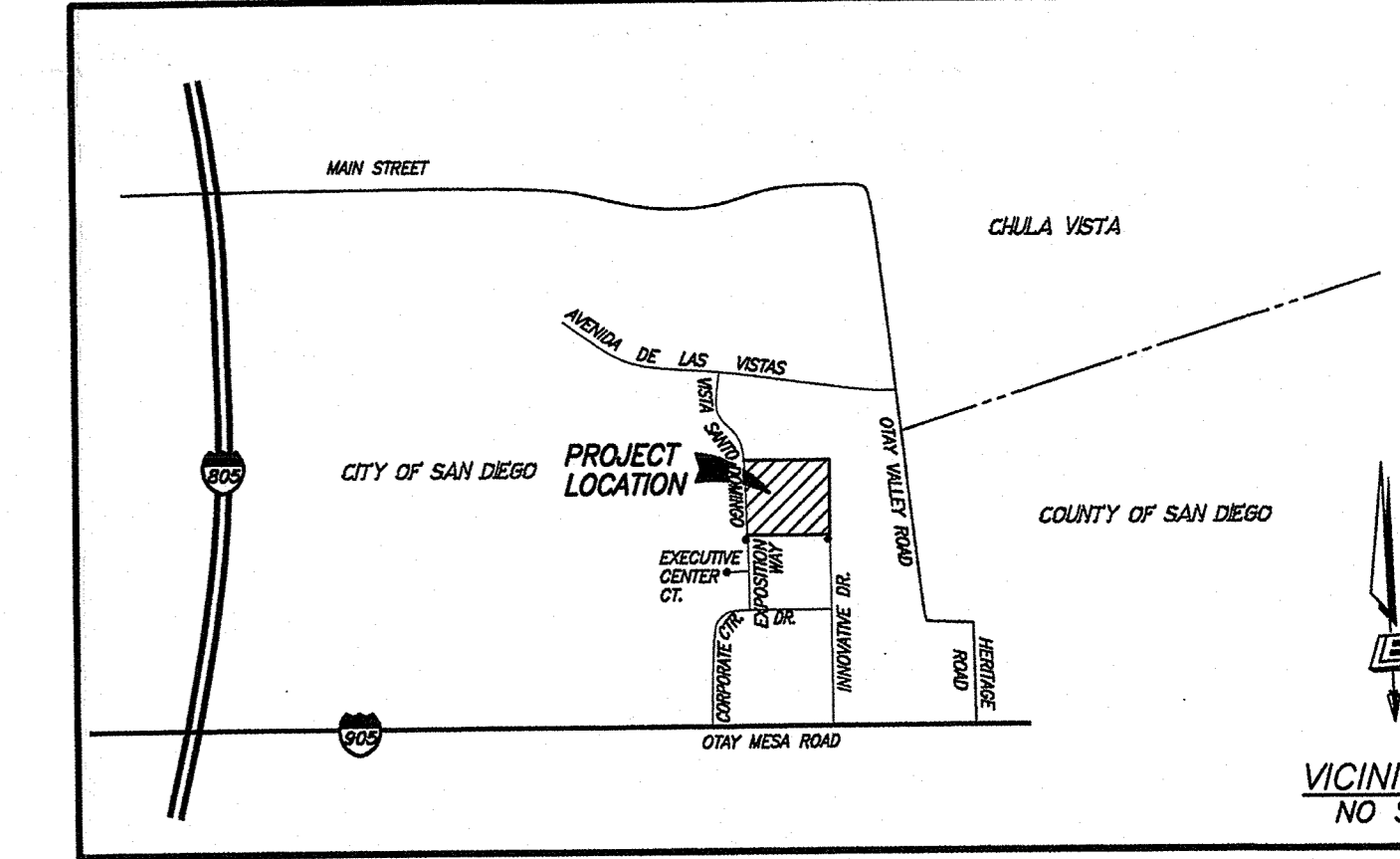
VTM / MAP Waiver No. **314829**

APPROVED BY: *[Signature]* City Council Planning Commission / Hearing Officer

on **12/1/08**

Development Services Department

Date **12/1/08** By *[Signature]* Development Project Manager



PREPARED BY: **LEPPERT ENGINEERING CORPORATION**

NAME: **5190 GOVERNOR DRIVE, S-205**

ADDRESS: **SAN DIEGO, CA 92122**

PHONE #: **(858) 597-2001**

PROJECT ADDRESS: **VISTA SANTO DOMINGO**

PROJECT NAME: **OCEAN VIEW VILLAGE**

REVISION 14:	_____
REVISION 13:	_____
REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
REVISION 6:	_____
REVISION 5:	_____
REVISION 4:	_____
REVISION 3:	_____
REVISION 2:	_____
REVISION 1:	<b>8-10-07</b>

ORIGINAL DATE: **2-03-06**

SHEET TITLE: **VESTING TENTATIVE MAP NO. 314829**

BMP PLAN - PROPOSED DEVELOPMENT

SHEET **C3.0** OF **3**

DEP# **8** OF **39**

NO.	DATE	BY	DESCRIPTION
1	8/18/07	AW	Submittal Set
2	8-18-08	AW	AGENCY RESPONSE
3	8-22-08	AW	CONTRACT

APPROVED BY: *[Signature]*

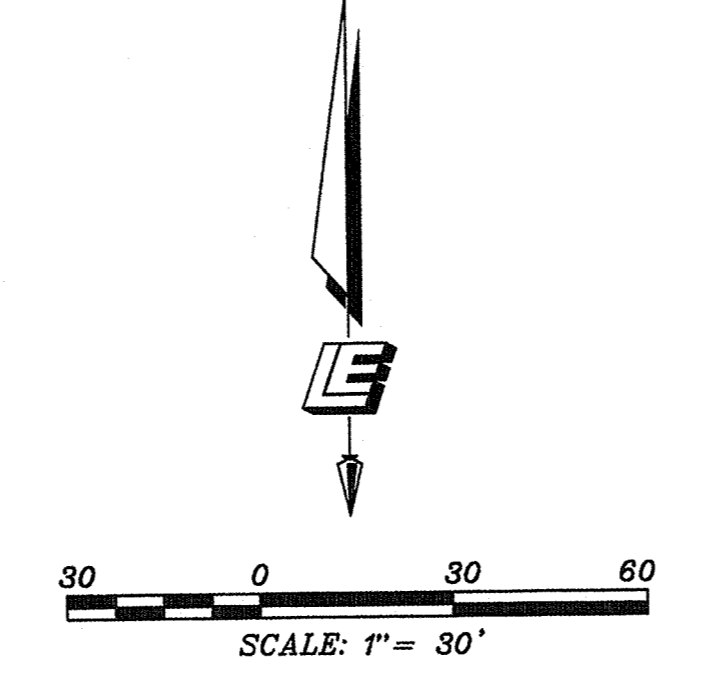
DATE: **11/10/08**

REGISTRATION NO. **20283**

FILE NO. **0024.01-42.65**

DATE **11/10/08**

PREPARATION AND REVISION LOG







PLANT CHARACTER KEY

<b>TREE FORM AND FUNCTION:</b> BH = BROAD HEADED PY = PYRAMIDAL ND = NON-DECIDUOUS DC = DECIDUOUS	<b>SHRUB FORM AND FUNCTION:</b> UP = UPRIGHT SP = SPREADING ND = NON-DECIDUOUS DC = DECIDUOUS	<b>GROUND COVER FORM AND FUNCTION:</b> AC = ACCENT MA = MASSING
<b>TREE SIZE:</b> SM = 15'-30' MD = 30'-50' LG = <50'	<b>SHRUB SIZE:</b> SM = 3'-5' MD = 5'-8' LG = <8'	<b>GROUND COVER SIZE:</b> SM = .5'-1' MD = 2'-3' LG = <3'

TREES

**STREET TREE**  
(PER EXISTING TREES ON VISTA SANTO DOMINGO TO NORTH AND EXPOSITION WAY TO SOUTH)

BOTANICAL NAME	COMMON NAME	SIZE & CHARACTER
QUERCUS AGRIFOLIA	COAST LIVE OAK	BH, ND, LG

**PARKING LOT TREES**

BOTANICAL NAME	COMMON NAME	SIZE & CHARACTER
LIQUIDAMBAR STYRACIFLUA	SWEETGUM	PY, DC, LG
PISTACIA CHINENSIS	CHINESE PISTACHE	BH, ND, LG
PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	BH, DC, MD
TIJUANA TIPU	TIPU TREE	BH, DC, LG

**SCREEN TREES**

BOTANICAL NAME	COMMON NAME	SIZE & CHARACTER
AESCULUS CALIFORNICA	CALIFORNIA BUCKEYE	BH, DC, SM
PINUS TORREYANA	TORREY PINE	BH, ND, LG
UMBELLULARIA CALIFORNICA	CALIFORNIA LAUREL	BH, ND, LG

**SCREEN SHRUBS**

BOTANICAL NAME	COMMON NAME	SIZE & CHARACTER
CARISSA MACROCARPA	NATAL PLUM	SP, ND, LG
DODONEA VISCOSA	HOPSEED BUSH	SP, ND, LG
RHUS INTEGRIFOLIA	LEMONADE BERRY	BH, DC, SM

**ACCENT TREES**

BOTANICAL NAME	COMMON NAME	SIZE & CHARACTER
CERCIS OCCIDENTALIS	WESTERN REDBUD	PY, ND, LG
LEPTOSPERMUM LAEVIGATUM 'RUBY GLOW'	AUSTRALIAN TEA TREE	BH, ND, MD
MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	BH, DC, MD
OLEA EUROPEA	FRUITLESS OLIVE	BH, DC, MD
PARKINSONIA ACULEATA	MEXICAN PALO VERDE	BH, DC, MD

**PALMS**

BOTANICAL NAME	COMMON NAME	SIZE & CHARACTER
BRAHEA ARMATA	MEXICAN BLUE PALM	MD
WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	LG

BRUSH MANAGEMENT PLANTS

Brush Management Zone 1 functions as a transition area between the constructed landscape and the native coastal slope habitat of Zone 2. Therefore, even though permanent irrigation will be installed as required, species specified are drought tolerant, fire-safe, and primarily native (as opposed to ornamentals).

Consistent with LDM section 142-0412d "Brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan."

BRUSH MANAGEMENT TREES

BOTANICAL NAME	COMMON NAME	SIZE & CHARACTER
ALOE ABORESCENS	TREE ALOE	PY, ND, SM
CERATONIA SILIQUA	CAROB TREE	BH, DC, MD
UMBELLULARIA CALIFORNICA	CALIFORNIA LAUREL	BH, DC, SM
YUCCA GLORIOSA	SOFT-TIP YUCCA	BH, DC, MD

BRUSH MANAGEMENT ZONE 1 - SHRUBS AND GROUND COVERS

BOTANICAL NAME	COMMON NAME	SIZE & CHARACTER
AGAVE DESERTI	DESERT AGAVE	AC
BACCHARIS PILULARIS	COYOTE BUSH	MA
CEANOTHUS 'HORIZONTALIS'	PROSTRATE CEANOTHUS	MA
ERIOPHYLLUM SP.	YARROW	AC
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	MA
HETEROMELES ARBUTIFOLIA	TOYON (TRIMMED TO TREE FORM)	AC
LUPINUS SP.	ANNUAL LUPINES	AC
MIMULUS SP.	MONKEY FLOWER	MA
PENSTEMON SP.	PENSTEMON	AC
SALVIA SONOMENSIS	CREEPING SAGE	MA
TRICHOSTEMA LANATUM	WOOLLEY BLUE CURLS	AC
YUCCA WHIPPLEI	OUR LORD'S CANDLE	AC
ZAUSCHNERIA	CALIFORNIA FUCHSIA	MA

BRUSH MANAGEMENT ZONE 2 - SHRUBS AND GROUND COVERS

BOTANICAL NAME	COMMON NAME	SIZE & CHARACTER
BACCHARIS PILULARIS	COYOTE BUSH	MA
CEANOTHUS 'HORIZONTALIS'	PROSTRATE CEANOTHUS	MA
HETEROMELES ARBUTIFOLIA	TOYON	AC
ISOMERIS ARBOREA	BLADDERPOD	AC
MALOSMA LAURINA	LAUREL SUMAC	AC
RHUS INTEGRIFOLIA	LEMONADE BERRY	AC
RHAMNUS CROCEA	REDBERRY	AC
SALVIA SONOMENSIS	CREEPING SAGE	MA
YUCCA WHIPPLEI	OUR LORD'S CANDLE	AC

BRUSH MANAGEMENT VINES - TO COVER RETAINING WALLS

BOTANICAL NAME	COMMON NAME	SIZE & CHARACTER
LONICERA SUBSPICATA DENUDATA	SAN DIEGO HONEYSUCKLE	MA
TECOMARIA CAPENSIS	CAPE HONEYSUCKLE	MA

VEHICULAR USE AND REMAINING YARD PLANTING AREAS

SHRUBS

BOTANICAL NAME	COMMON NAME	SIZE & CHARACTER
ACACIA REDOLENS	PROSTRATE ACACIA	SP, ND, SM
AGAPANTHUS SP.	LILY OF THE NILE	SP, ND, MD
AGAVE SP.	AGAVE	SP, ND, MD
ALOE SP.	ALOE	UP, ND, SM
ANIGOZANTHOS FLAVIDUS	KANGROO PAWS	SP, ND, MD
ASPIDOTIS CALIFORNICA	LACE FERN	SP, ND, MD
BACCHARIS PILULARIS	COYOTE BUSH	UP, ND, SM
CEANOTHUS SPP.	CEANOTHUS	SP, ND, LG
DIETES SP.	AFRICAN IRIS	SP, ND, SM
ERIOPHYLLUM SP.	YARROW	SP, ND, SM
HETEROMELES ARBUTIFOLIA	TOYON	SP, ND, SM
LAVANDULA STOECHAS	SPANISH LAVENDER	SP, ND, SM
MIMULUS AURANTIACUS	MONKEY FLOWER	SP, DC, LG
MUHLENBERGIA RIGENS	DEERGRASS	SP, ND, SM
PHORMIUM TENAX	NEW ZEALAND FLAX	SP, ND, MD
RIBES SPECIOSUM	FUCHSIA-FLOWERING GOOSEBERRY	SP, ND, MD
ROMNEYA COULTERI	MATILUJA POPPY	SP, ND, MD
ROSA CALIFORNICA	CALIFORNIA ROSE	SP, ND, MD
SALVIA SP.	SAGE	SP, ND, LG
WESTRINGIA FRUTICOSA	COAST ROSEMARY	SP, ND, MD

GROUND COVERS

BOTANICAL NAME	COMMON NAME	SIZE & CHARACTER
CEANOTHUS PROSTRATUS	CEANOTHUS	MA
GAZANIA RIGENS	TRAILING GAZANIA	MA
LANTANA MONTEVIDENSIS	COMMON LANTANA	MA
ROSMARINUS OFFICINALIS 'PROSTRATUS'	CREEPING SAGE	MA
SALVIA SONOMENSIS	CREEPING ROSEMARY	MA

VINES

BOTANICAL NAME	COMMON NAME
BOUGAINVILLEA	BOUGAINVILLEA
CLYTOSTOMA CALLISTEGIOIDES	VIOLET TRUMPET VINE
DISTICTIS SPP.	DISTICTIS
ROSA BANKSIAE	LADY BANKS ROSE

TURF

BOTANICAL NAME	COMMON NAME
FESTUCA "MARATHON"	MARATHON FESCUE (HYBRID) (COMMON LAWN AREA)

AFFORDABLE HOUSING EXPEDITE PROGRAM

AUTHORIZED BY COUNCIL POLICY 600-27



Wallace Roberts & Todd, Inc.  
1133 Columbia Street, Suite 205  
San Diego, CA 92101  
619.696.9303  
fax 619.696.7935



M.W. STEELE GROUP, INC.  
ARCHITECTURE | URBAN DESIGN  
325 FIFTEENTH STREET  
SAN DIEGO | CA | 92101  
TELEPHONE: 619.230.0325  
FACSIMILE: 619.230.0335  
WEBSITE: www.mwsteele.com

Planned Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: CSNG  
Checked:

Revision 1: 02.17.06 Initial submittal  
Revision 2: \_\_\_\_\_  
Revision 3: \_\_\_\_\_  
Revision 4: \_\_\_\_\_  
Revision 5: \_\_\_\_\_  
Revision 6: \_\_\_\_\_  
Revision 7: \_\_\_\_\_  
Revision 8: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 12: \_\_\_\_\_

Ocean View Village

Legal Description:  
The Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 29, Township 18 South Range 1 West, San Bernardino meridian, in the County of San Diego, State of California, according to official plat thereof.

Assessor's Parcel Number:  
645-060-07

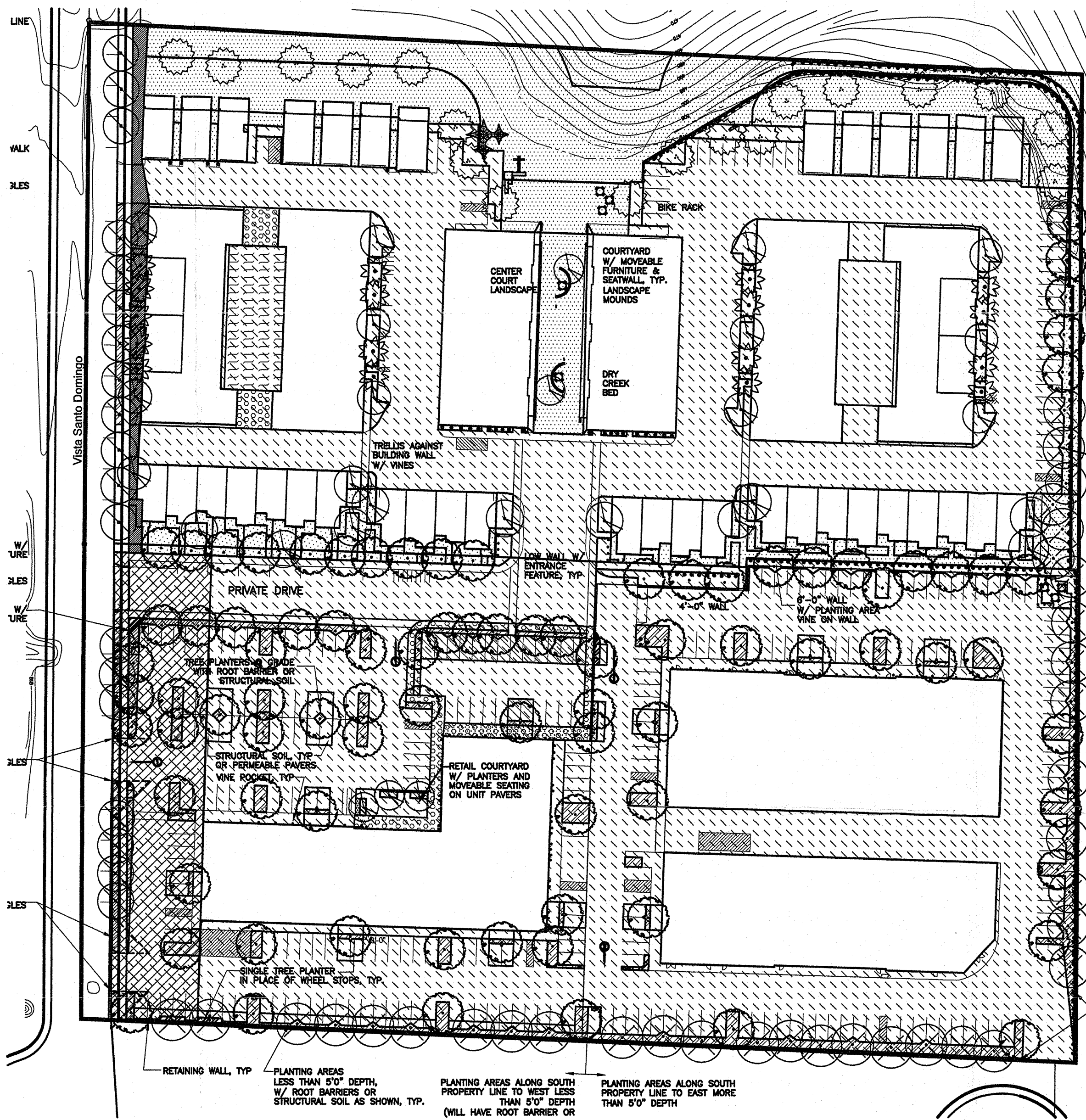
APPROVED EXHIBIT "A"  
PROJECT NO. PTS# 96580  
APPROVAL NO(s) SDP# 320732  
V.T.M.P. 3/4/07 + RESOLVE# 3/4/07  
APPROVED BY HEARING OFFICER, PLANNING COMMISSION (CITY COUNCIL) ON 02/11/08  
SIGNATURE: *Wesley M. ...*

L1.2

# Ocean View Village

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

## Landscape Calculations:



## General Landscape Design Concept:

**Landscape as Linkage:** The property is zoned for three separate uses: residential in the northern half, industrial in the southeast quarter, and commercial in the southwest corner. The landscape plan links these three areas into one coherent plan, capitalizing on the views to the northeast toward the San Miguel Mountains; to the north toward the valley and Otay Lakes; to the northwest toward downtown San Diego; and to the west toward the Pacific Ocean.

**Central Court Design:** The winding path is designed for symmetry around a central axis in order to preserve the view corridor. To further the canyon theme and provide privacy for the ground floor residential units, berms or mounds will be formed along the edges in conjunction with the building's arches, and planted with mostly low species. This will provide landscape variation without blocking views or sunlight. Adjoining the path are small courtyards for seating and gathering. A dry creek bed (with an optional water feature) constructed out of indigenous rock material and/or plants will wind around the curvilinear path, continuing the canyon theme.

**Pedestrian Connection:** The pedestrian connection is maintained along the center axis from the residential zone to the commercial zone with specialty paving. A small plaza provides a comfortable gathering space adjacent to the commercial building. Perimeter plantings are used to create a uniform screen around the commercial and industrial areas.

**Streetscape:** Vista Santo Domingo will include street trees and shrubs to complete the current streetscape and coordinate with the adjacent Robinhood Ridge development.

**Materials:** Materials include stone, rock, aggregate and natural plantings or plantings used in surrounding developments. The plants in front of the residential units should display diversity in order to retain personal identity for residents. An informal turf area provides a passive recreational space, a gathering space for residents and their guests, and a buffer from the brush management zone. In perimeter areas, drought tolerant native and naturalized planting materials are included to minimize irrigation after the plants have established. Retaining walls are intended to blend with the site so as to not intrude when seen from lower elevations. Where feasible, two shorter walls are utilized with landscape plantings between the walls to ensure coverage and visual consistency with the native slopes.

**Summary:** The intent of the Ocean View Village landscape design is to reflect, incorporate, and maximize the inherent qualities of the site, especially the panoramic views to the north, east and west of the project area. The transition from the natural canyons to the built landscape is especially considered, and while the land uses vary across the site, the entire landscape design is thematically unified as an abstraction of the Otay Mesa landscape in its use of form and materials.

## General Notes:

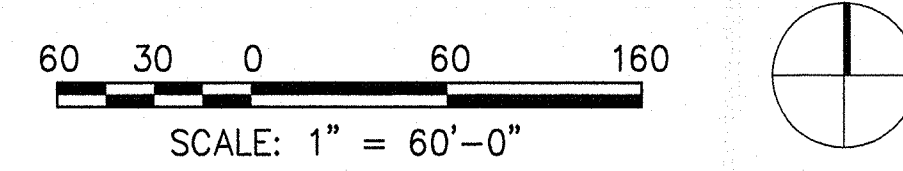
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND OTHER APPROPRIATE CITY AND REGIONAL STANDARDS.
- TREES SHALL BE MINIMUM OF 24" BOX MATERIAL.
- LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS AWAY FROM BUILDING STRUCTURES THROUGHOUT THE SITE.
- ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
- ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEMS USING LOW PRECIPITATION FIXED AND POP UP STREAM ROTOR AND SHRUB SPRAY HEADS. THESE SYSTEMS WILL BE INSTALLED AS SOON AS PRACTICAL AFTER GRADING AND PRIOR TO PLANT MATERIAL INSTALLATION.
- ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.
- NO IRRIGATION RUN-OFF SHALL DRAIN OFF SITE INTO THE PUBLIC RIGHTS-OF-WAY, STREETS, DRIVES, OR ALLEYS. NO CONNECTION SHALL BE MADE TO ANY STORM WATER SEWER SYSTEM WITHOUT PROPER POST-BEST MANAGEMENT PRACTICES.
- ROOT BARRIERS OR STRUCTURAL SOIL WILL BE USED FOR ALL TREES PLACED WITHIN 5'-0" OF INTERNAL SITE HARDSCAPE AREAS, SUCH AS WALKS, CURBS, OR STREET PAVEMENT. ROOT BARRIERS SHALL BE INSTALLED FOR ALL NEW TREES WHICH ARE PLACED WITHIN 5'-0" OF PUBLIC IMPROVEMENTS. ROOT BARRIERS SHALL NOT BE WRAPPED AROUND THE ROOTBALL OF THE TREE.
- MULCH REQUIREMENTS - ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2", EXCLUDING SLOPES REQUIRING VEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
- THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT. ALL LANDSCAPE SHALL BE MAINTAINED BY THE OWNER OR SUBSEQUENT OWNER'S ASSOCIATION PURSUANT TO THE CC&R'S.
- MINIMUM TREE / IMPROVEMENT SEPARATION DISTANCE:
  - TRAFFIC SIGNALS / STOP SIGN - 20'-0"
  - SEWER LINES - 10'-0"
  - UNDERGROUND UTILITY LINES - 5'-0"
  - ABOVE GROUND UTILITY STRUCTURES - 10'-0"
  - DRIVEWAYS - 10'-0"
  - INTERSECTIONS - 25'-0"

## Landscape Calculations:

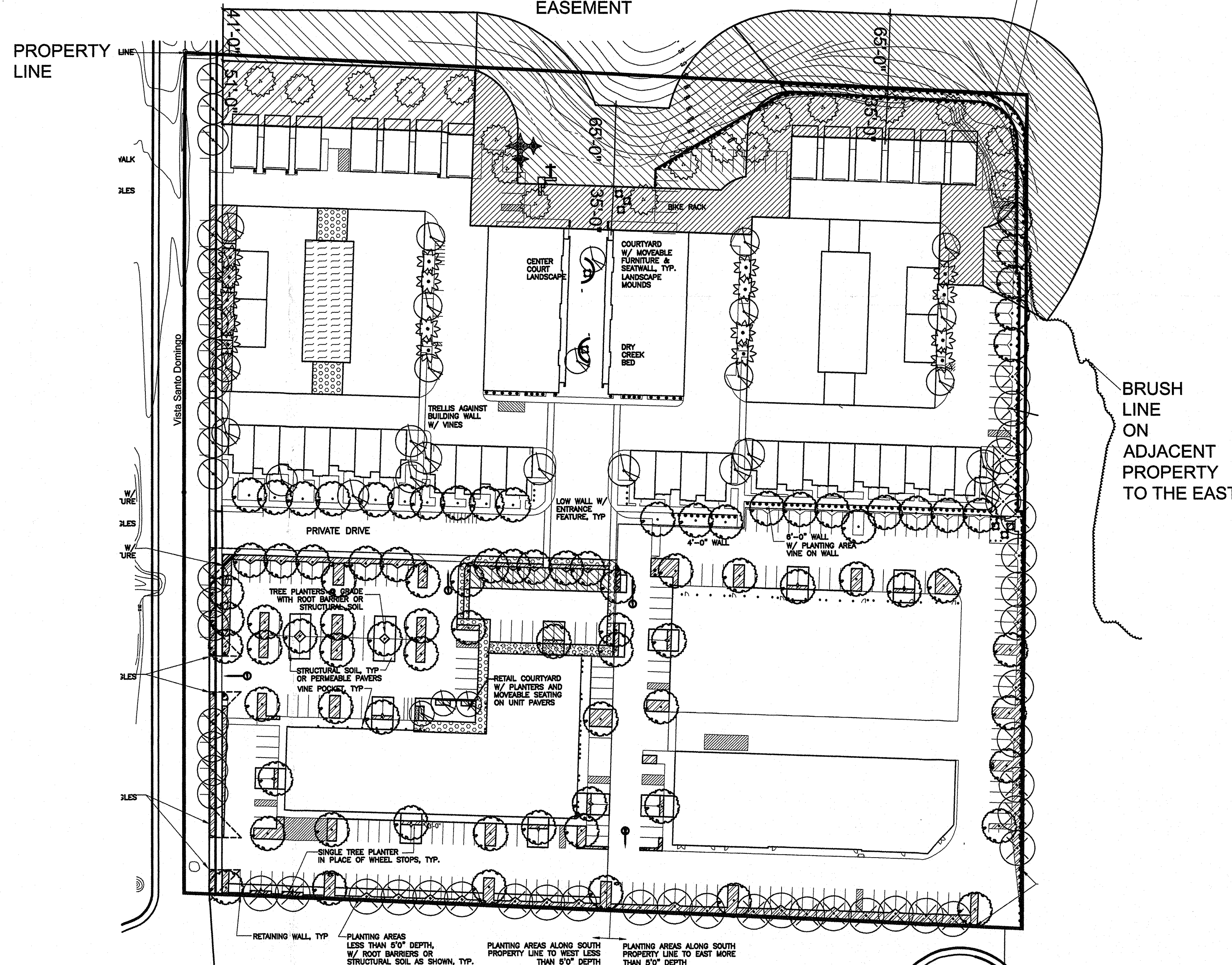
PROJECT LANDSCAPE POINTS:

DESCRIPTION	TOTAL SIZE OF AREA	PLANT POINTS REQUIRED	ACHIEVED THROUGH TREES	ACHIEVED THROUGH SHRUBS	TOTAL LANDSCAPE POINTS PROVIDED
STREET YARD (RESIDENTIAL)	3075 S.F.	154 (.05 PTS PER SF)	75% OF TOTAL REQ'D. 9 TREES: 4 15G, 5 PALMS	214% OF TOTAL REQ'D. 330 SHRUBS: 100% 1G	444 (.14 PTS PER SF)
VEHICULAR USE - STREET YARD	19945 S.F.	997 (.05 PTS PER SF)	51% OF TOTAL REQ'D. 14 TREES: 45X 24" BOX, 55% 36" BOX	50% OF TOTAL REQ'D. 399 SHRUBS: 75% 1G, 25% 5G	1010 (.05 PTS PER SF)
VEHICULAR USE - OUTSIDE STREET YARD (COMMERCIAL & INDUSTRIAL)	134850 S.F.	4046 (.03 PTS PER SF)	52% OF TOTAL REQ'D. 91 TREES: 15X 15G, 70% 24" BOX, 15% 36" BOX	70% OF TOTAL REQ'D. 1781 SHRUBS: 40% 1G, 60% 5G	4911 (.036 PTS PER SF)
VEHICULAR USE - OUTSIDE STREET YARD (RESIDENTIAL)	82459 S.F.	2474 (.03 PTS PER SF)	51% OF TOTAL REQ'D. 30 TREES: 18 36" BOX, 12 PALMS	50% OF TOTAL REQ'D. 515 SHRUBS: 95% 5G, 5% 15G	2497 (.03 PTS PER SF)
REMAINING YARD	57650 S.F.	2883 (.05 PTS PER SF)	52% OF TOTAL REQ'D. 43 TREES: 50X 24" BOX, 50% 36" BOX	141% OF TOTAL REQ'D. 4079 SHRUBS: 100% 1G	5584 (.097 PTS PER SF)

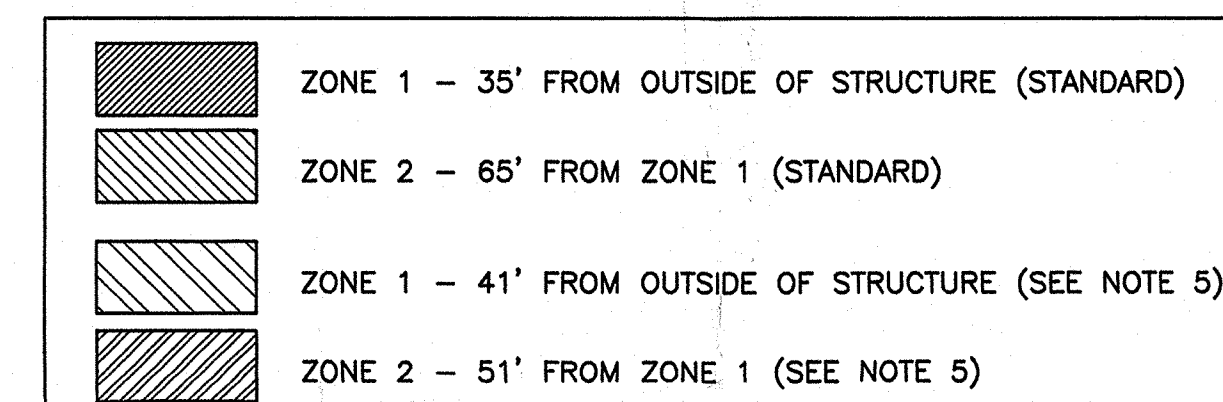
## Brush Management Plan:



LOT B MAP 14048  
OWNER: EDGEWATER HOA  
EXISTING OPEN SPACE  
EASEMENT

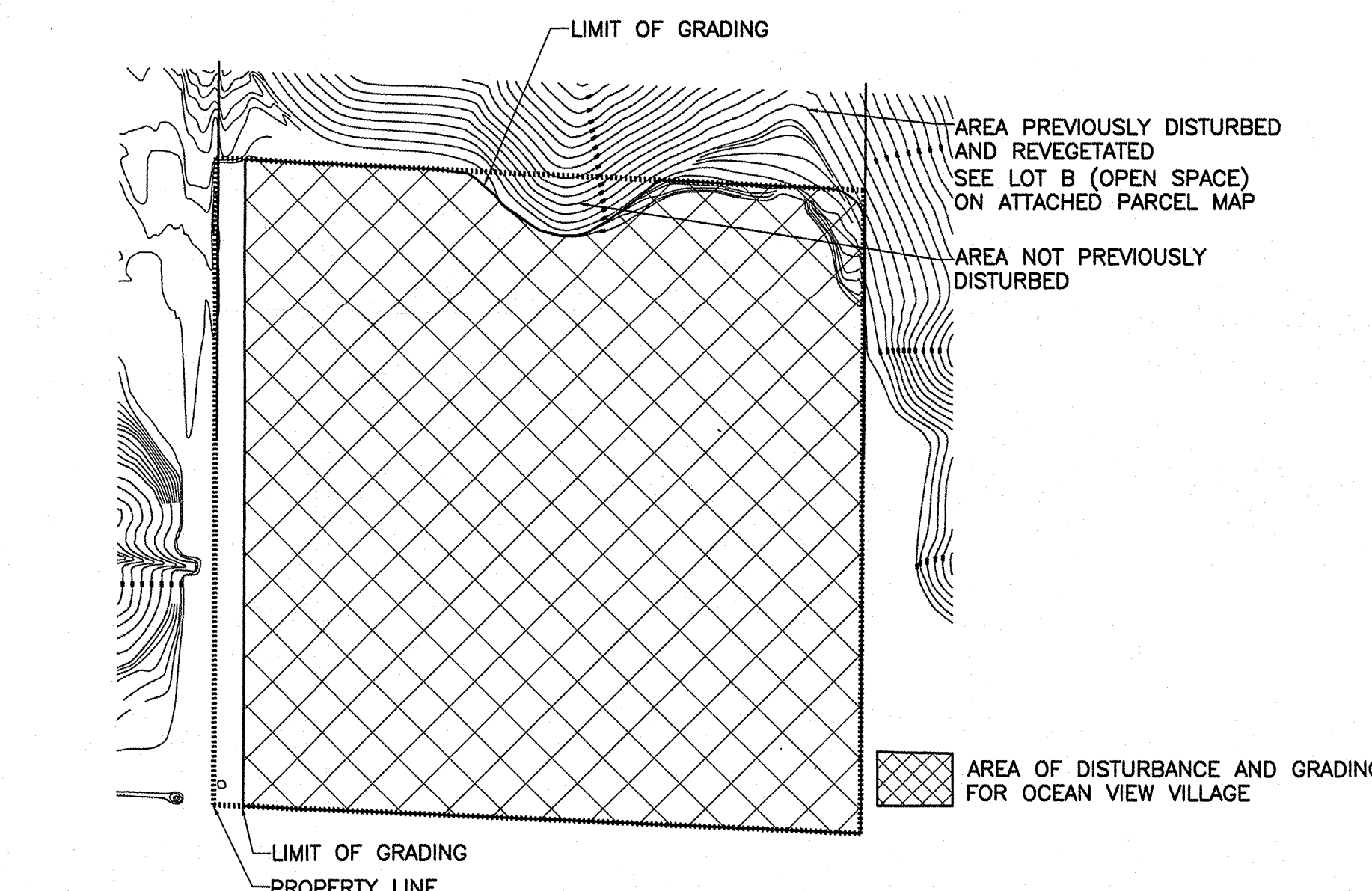


## Brush Management Plan:



- Brush management Zone One (1) is the area adjacent to the structure, shall be least flammable, and shall consist of permanent and permanently irrigated ornamental planting. Zone One (1) shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls, palapas, play structures, and nonhabitable gazebos that are located within brush management Zone One (1) shall be of noncombustible construction.
- Plants within Zone One (1) shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistant. Trees within Zone One (1) (25% of required landscape points) shall be located away from structures to a minimum distance of 10 feet as measured from the structure to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.
- Brush management Zone Two (2) is the area between Zone One and any area of native or naturalized vegetation and shall consist of thinned, native or non-irrigated vegetation.
- Except as provided in the Brush Management Regulations, the width of Zone One (1) and Zone Two (2) shall not exceed 100 feet.
- M.C. 142.0414(f) states that "The Zone Two width may be decreased by 1 1/2 feet for each 1 foot of increase in Zone One width up to a maximum reduction of 30 feet of Zone Two width." Consistent with M.C. 142.0414(f), Zone Two has been reduced to 41 feet and Zone One increased to 51 feet as shown.
- Where Brush Management Zone Two (2) extends off-site, as shown, a recorded easement will be obtained from the adjacent property owner to establish and maintain this zone in perpetuity.
- Where Zone two (2) extends off-site, it overlaps with a city permitted Open Space Easement area which restricts use but will permit Brush Management in perpetuity. This area is not currently being used for Brush Management purposes and there is no existing Brush Management Plan for the revegetated hillside of the developed property to the North/Northeast. This area has been disturbed and revegetated with plants that are native or naturalized, non-irrigated, low-fuel, and fire resistant. A plant list will be forthcoming with the Brush Management Easement contract. All plant material shall be maintained in accordance with the requirements for existing plant material in Zone Two (2).

## Erosion Control Plan:

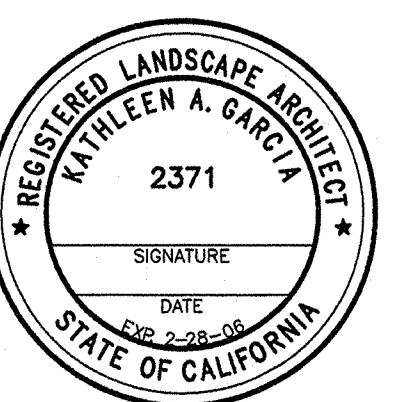


- The slopes north of the property line have been previously disturbed and revegetated during development construction. The small steep-sloped area just inside the property line has not been disturbed and contains native vegetation.
- The steep hillside outside of the project site to the North/Northeast shall not be part of this project and will not be disturbed by grading.
- All graded, disturbed, or eroded areas that will not be permanently paved or covered by structures shall be permanently revegetated with native or naturalized ground cover consisting of hydroseed mix and 1 gallon native or naturalized trees and shrubs in accordance with the Landscape Standards in the SDMC Table 142-04F and the Land Development Manual.
- All required revegetation and erosion control shall be completed within 90 days of the completion of grading or disturbance.

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27

WRT Planning & Design



**Wallace Roberts & Todd, Inc.**  
1133 Columbia Street, Suite 205  
San Diego, CA 92101  
619.696.9303  
fax 619.696.7935

**M.W. STEELE  
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Planned Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: CSKG  
Checked:

Revision 1: 02.17.06 initial submittal  
Revision 2: \_\_\_\_\_  
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Revision 12: \_\_\_\_\_

## Ocean View Village

Legal Description:  
The Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 29, Township 18 South Range 1 West, San Bernardino meridian, in the County of San Diego, State of California, according to official plat thereof.

Assessor's Parcel Number:  
645-050-07

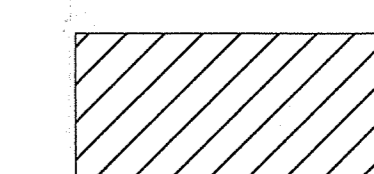
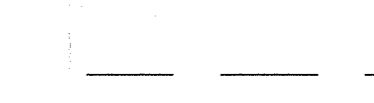
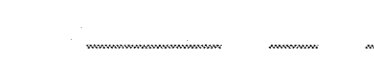
**APPROVED EXHIBIT "A"**  
PROJECT NO. PTS# 96580  
APPROVED BY: S.D.P. 320732  
DATE: 3/1/07  
APPROVED BY: HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON 02/11/07  
SIGNATURE: *Alan W. Wambach*

**L1.3**

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27

**Legend**

-  Existing structure to be demolished
-  Demolition Line
-  Property Line

**Notes:**

1. Refer to civil drawings for existing, proposed, & existing to be removed easements & street vacations.
2. Refer to landscape drawings for trees to be saved, typ.

**Existing Site Notes:**

- ① All existing semi-permanent/temporary structures to be demolished/removed.
- ② All existing concrete slabs to be demolished/removed.

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FACSIMILE: 619.230.0335  
WEB SITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: zja  
Checked: -

Revision 1: 02.17.06 initial submittal  
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Revision 3: 06.09.07 third submittal  
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**Ocean View Village**

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**NOT FOR CONSTRUCTION**

Existing Site/Demo Plan

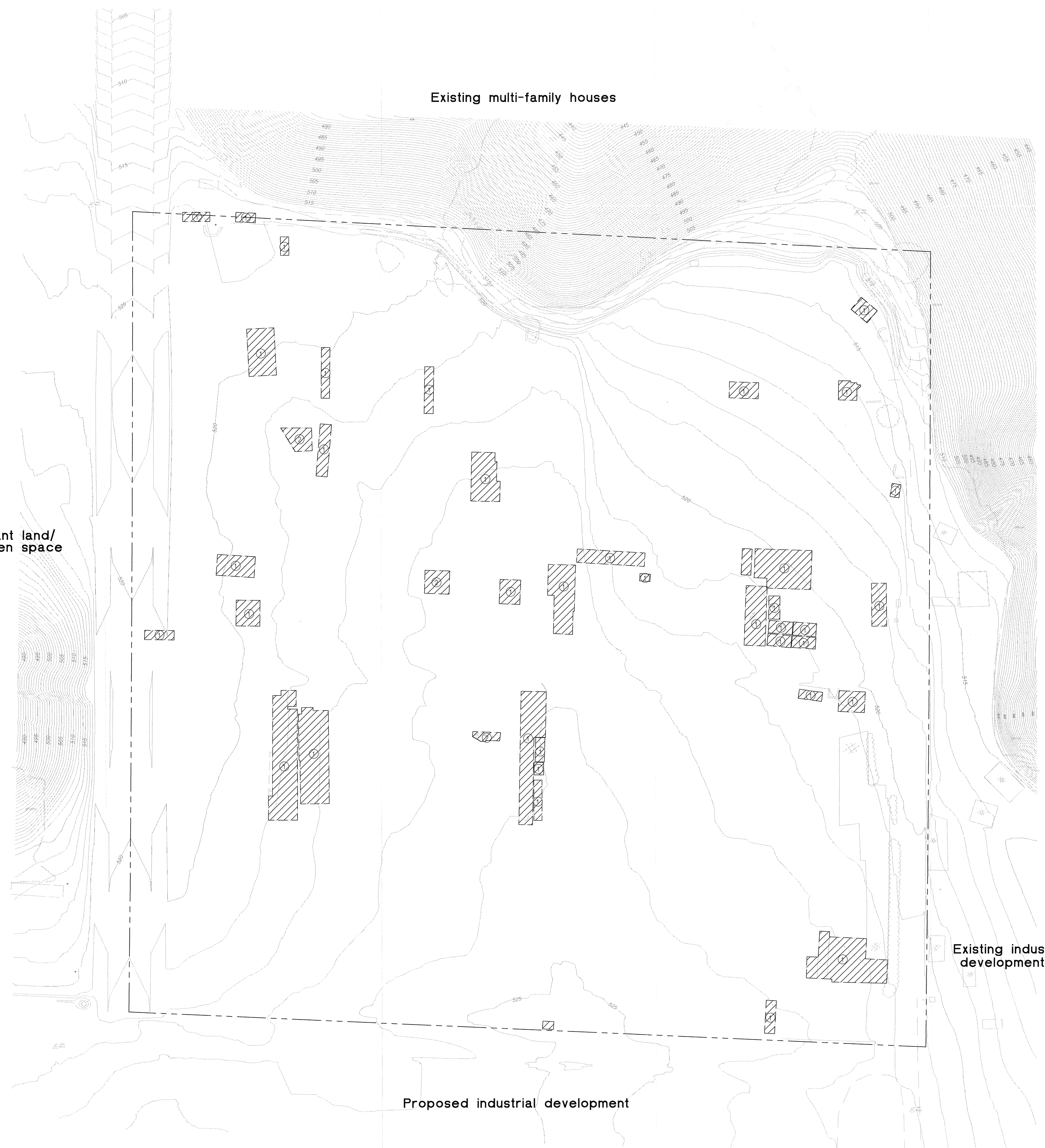
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645-050-0

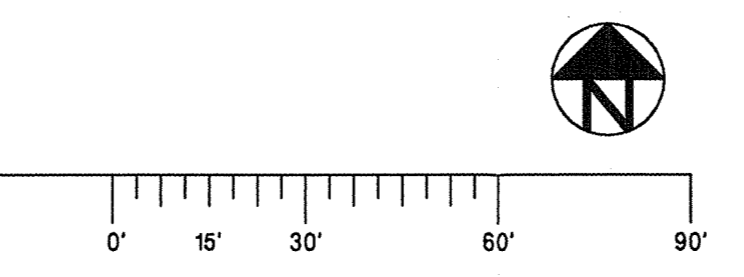
**APPROVED EXHIBIT "A"**  
PROJECT NO. PTS # 26580  
APPROVAL NO. (s) SDP # 320732  
1/21/08 3:14 PM  
APPROVED BY: HEARING OFFICER, PLANNING COMMISSION/CITY COUNCIL ON 12/1/08  
SIGNATURE Deane Murbach

**A1.00**

Sheet No. 12 of 39



1 Existing Site / Demo Plan  
scale: 1" = 30'-0"



Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

General Notes

1. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-6 (LFC 801.4.4).
2. Provide fire access roadway signs of red curbs in accordance with FHPS Policy A-00-1.
3. As illuminated directory, in accordance with FHPS Policy I-00-6, shall be provided.
4. This project shall comply with all current street lighting standards according to the City of San Diego Street Design Manual (Document No. 297376, dated November 25, 2009) and the amendment to Council Policy 200-18 approved by City Council on February 26, 2002 (Resolution R-289-01) satisfactory to the City Engineer.
5. See also civil drawings for existing / proposed utilities, BMP requirements, and site work.
6. Condition of permit: any sign design must comply with sign design regulations in LDC Chapter 14, Article 2, Division 12 (LDC 143.0410g).
7. Post indicator valves, fire department conditions, and alarm bells are to be located on the address / access side of the structures. LFC 1001.4.
8. No bus stop on site.
9. See Engineering drawings for easements. (C1.0, C2.0)
10. Topographic Information:  
Source: Photogrammetric methods from aerial photography on 5-7-2005.  
Prepared By: Moreno Aerial Photo Surveys.  
Datum: Mean Sea Level.
11. For exact building footprints and dimensions, refer to individual building plans (A2.01-A2.11).

Plan / Site Notes

- 1 New trees, refer to landscape drawings.
- 2 New sidewalk
- 3 New curb and gutter
- 4 Planter area (typ.) - refer Landscape drawings
- 5 New enhanced concrete paving
- 6 New patio - refer Landscape drawings
- 7 Trash recycling
- 8 Driveway and curb out
- 9 Common Open Space - refer Landscape drawings
- 10 Retaining wall, typical. See Civil drawings for top of wall elevations
- 11 Bicycle rack
- 12 Railing curb for fire apparatus access
- 13 Loading zone
- 14 Matdown
- 15 6' High wall
- 16 4' High wall
- 17 Optional specialty paving
- 18 Bicycle locker
- 19 Overhead trailer / "headache" bar
- 20 Storage Unit
- 21 Proposed path of connection to City Corporate Center. Provide connection along level sidewalk. Bicycle connection within street (marked with signpost) to provide an effective use buffer.
- 22 42" High open fence (per SDMP definition). Fence to be constructed of non-combustible materials.

Refuse / Recycling Area Summary

Space	Required sf	Proposed sf
Residential	576 sf	620 sf
Commercial	192 sf	214 sf
Industrial	192 sf	228 sf
Totals	960 sf	1,062 sf

Environmentally Sensitive Land Notes

- Coastal Sage Scrub
- Slope Steep

- Drive-aisle deviates from City of San Diego Land Development Code (LDC) Table 142-05L: Minimum allowed and maximum permitted are 20' and 25' respectively. Drive aisle deviates for fire accessibility. Drive aisle deviates by approximately 1'-3".
- Drive-aisle deviates from City of San Diego Land Development Code (LDC) Table 142-05L: Minimum allowed and maximum permitted are 20' and 25' respectively. Drive aisle deviates for fire accessibility. Drive aisle deviates by approximately 5'-3".
- Retaining wall deviates from City of San Diego Land Development Code (LDC) 142.0340(d)(1): Maximum retaining wall height of 6 feet. Retaining wall will exceed the maximum permitted height by a maximum of 6' for a length of 71'.
- Retaining wall deviates from City of San Diego Land Development Code (LDC) 142.0340(d)(1): Maximum retaining wall height of 6 feet. Retaining wall will exceed the maximum permitted height by a maximum of 5'-6" for a length of 427'.
- Retaining wall deviates from City of San Diego Land Development Code (LDC) 142.0340(d)(1): Minimum retaining wall separation of a distance equal to the height of the upper wall. Retaining wall spaced at a constant of 6' while height of upper retaining wall exceeds 6' for a distance of 65'.

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**M.W. STEELE**  
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WEBSITE: www.mwsteele.com

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: zjb  
Checked:

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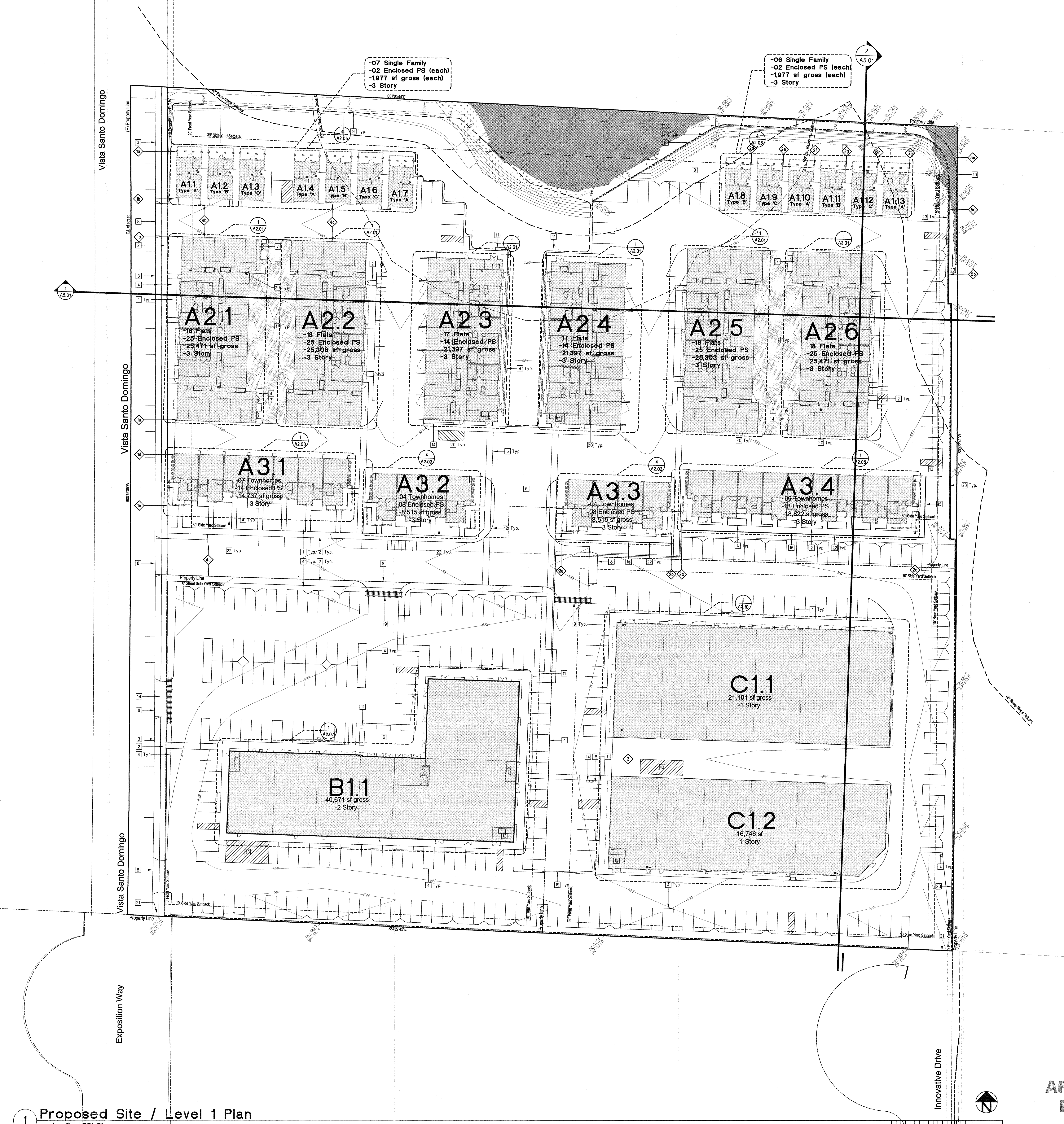
**NOT FOR CONSTRUCTION**  
Proposed Site/Level 1 Plan

Assessor's Parcel Number:

645-050-07

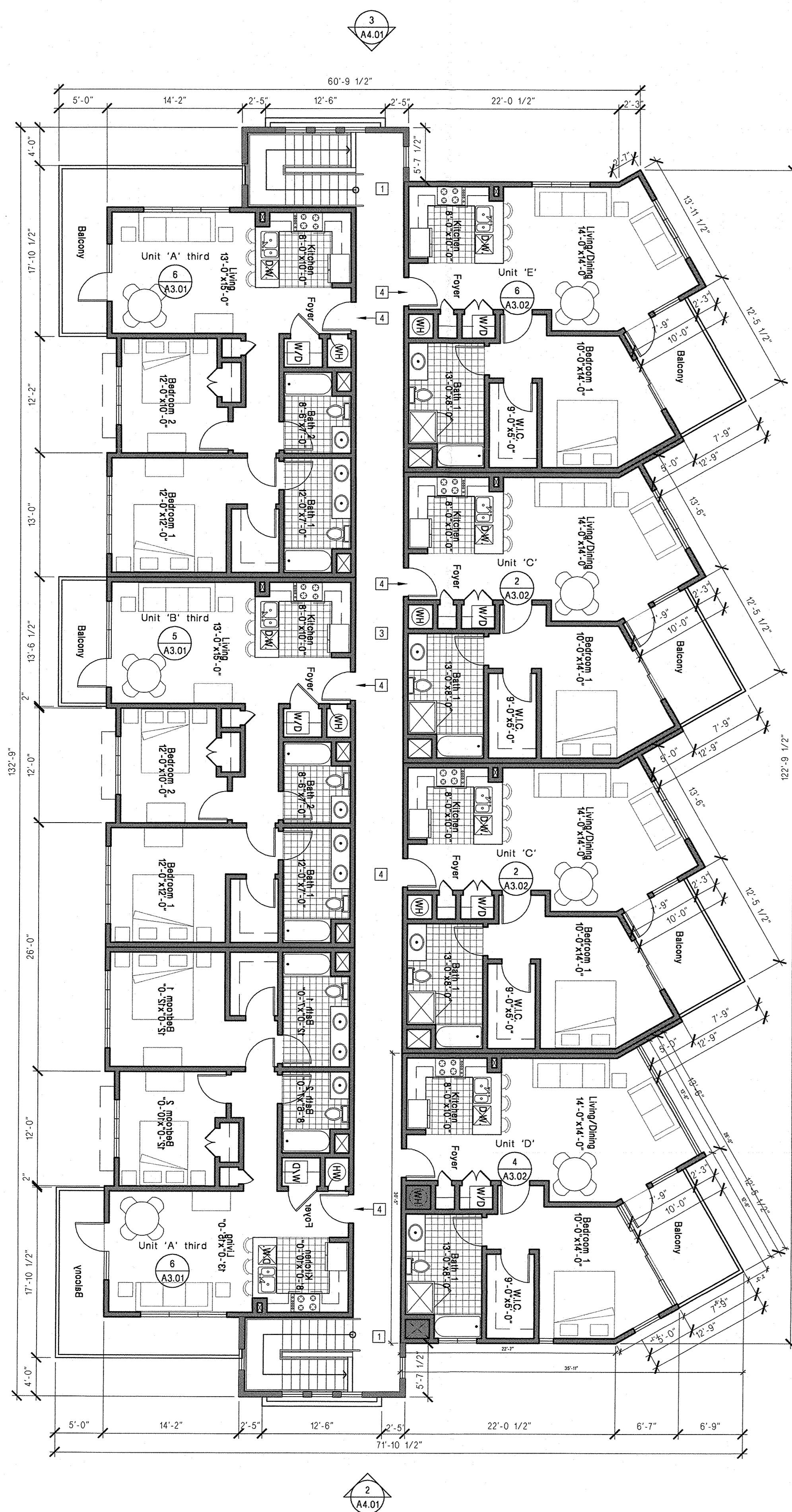
**APPROVED EXHIBIT "A"**  
PROJECT NO. PTS# 96580  
APPROVAL NO(s). SDP# 320732  
APPROVED BY HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL, ON 12/11/08  
SIGNATURE *Shane Pfenber*

**A1.01**

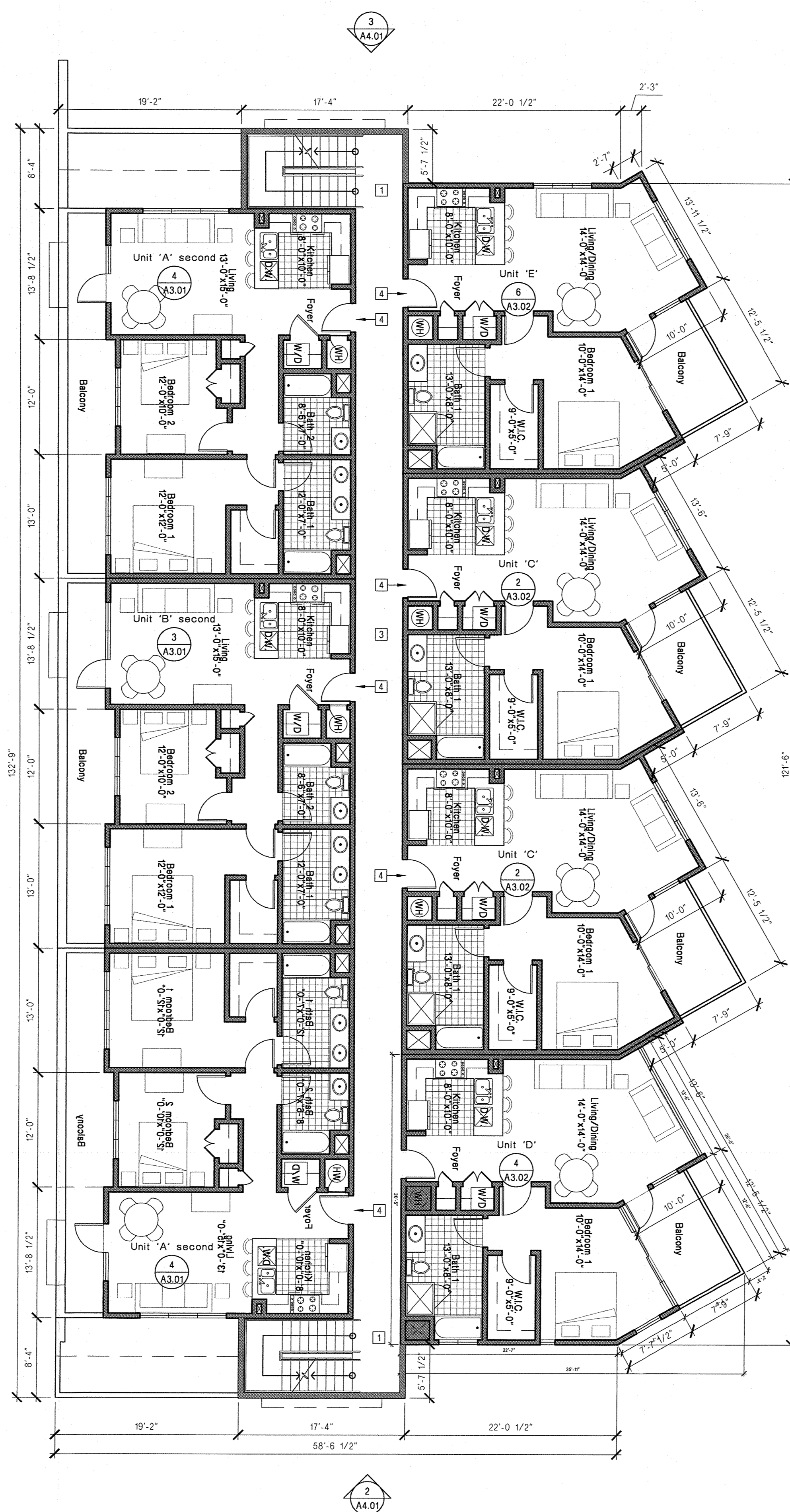


1 Proposed Site / Level 1 Plan  
scale: 1" = 30'-0"

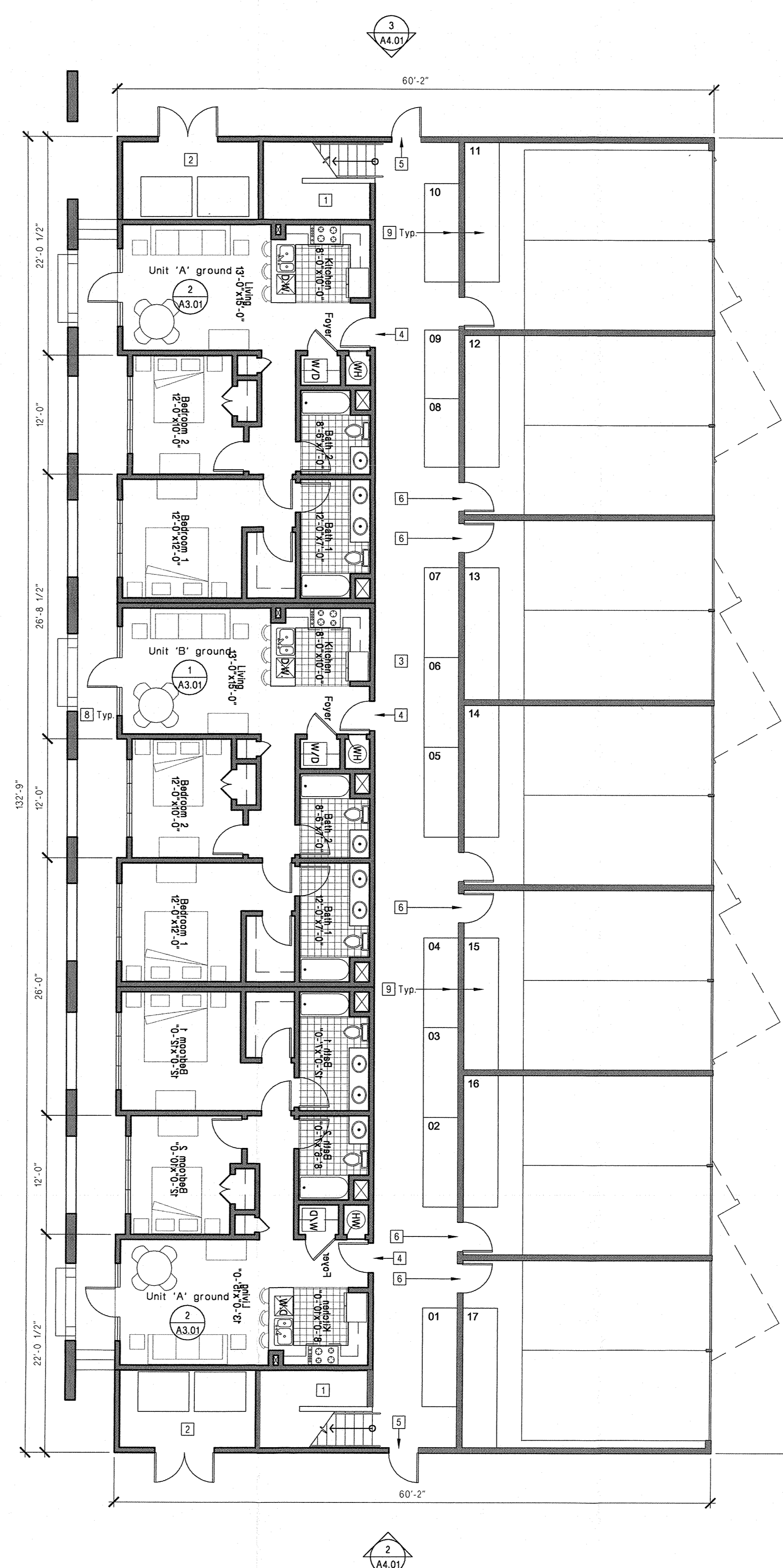
**AFFORDABLE HOUSING  
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COUNCIL POLICY 600-27



3 Building 'A2.4' Third Floor Plan  
scale: 1/8" = 1'-0"  
Building 'A2.1' 'A2.2' 'A2.3' 'A2.5' 'A2.6' Sim.



2 Building 'A2.4' Second Floor Plan  
scale: 1/8" = 1'-0"  
Building 'A2.1' 'A2.2' 'A2.3' 'A2.5' 'A2.6' Sim.



1 Building 'A2.4' First Floor Plan  
scale: 1/8" = 1'-0"  
Building 'A2.1' 'A2.2' 'A2.3' 'A2.5' 'A2.6' Sim.

**Building Plan Notes**

- 1 Exit stair shaft
- 2 Trash/Recycling Enclosure
- 3 Exit Corridor
- 4 Unit Entry
- 5 Building Entry/Exit
- 6 Garage Access
- 7 Elevator
- 8 Exterior Corridor
- 9 Storage Unit
- 10 Bike Shower Location TBD

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**

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645-050-000

APPROVED EXHIBIT 'A'

PROJECT NO. PTS # 96580  
APPROVAL NO. (S) SDP # 320732  
VTM # 314827 + REG # 34930  
APPROVED BY: HEARING OFFICER, PLANNING  
COMMISSION, CITY COUNCIL ON 02/1/08  
SIGNATURE: *Marie W. Swade*

NOT FOR CONSTRUCTION

Building 'A2.4'  
1st Floor Plan  
2nd Floor Plan  
3rd Floor Plan

**A2.01**



Building Plan Notes	Roof Plan Notes
1 Exit stair-shaft	1 Parapel
2 Trash/Recycling Enclosure	2 Built-up roofing
3 Exit corridor	3 Stair tower
4 Unit Entry	4 Elevator
5 Building Entry/Exit	5 Trolleys/Sunshade Below
6 Garage Access	6 Deck below
7 Elevator	
8 Corridor Corridor	
9 Storage Unit	
10 Bike Shower Location TBD	

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**  
AUTHORIZED BY  
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NOT FOR CONSTRUCTION

Building 'A2.4'  
Roof Plan

Assessor's Parcel Number:

645-050-07 APPROVED EXHIBIT "A"

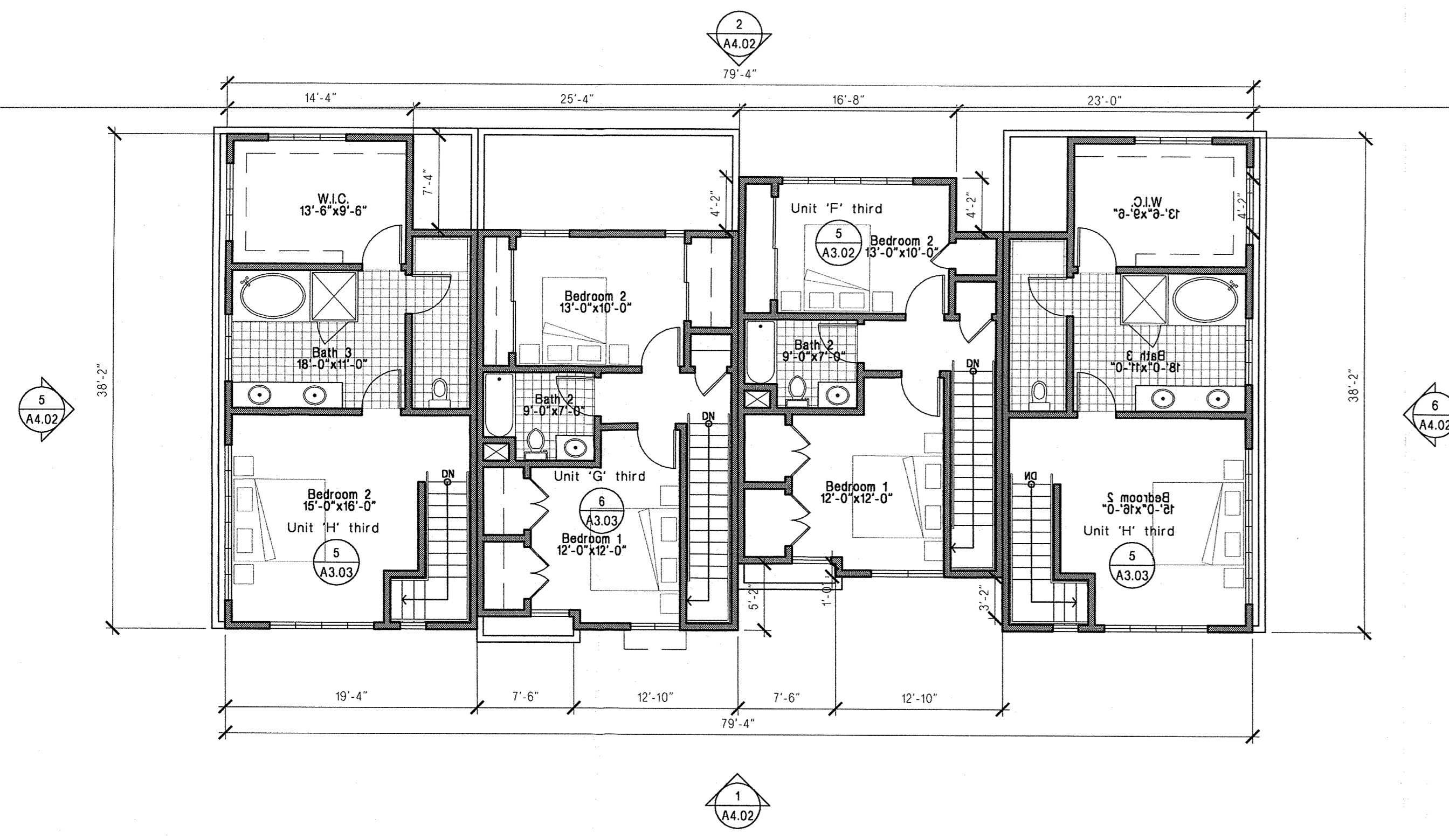
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APPROVAL NO(s) SDP# 320732  
PT# 314 624 + 252002 # 314820  
APPROVED BY: HEARING OFFICER, PLANNING  
COMMISSION, CITY COUNCIL ON 12/1/08  
SIGNATURE [Signature]

**A2.02**

1 Building 'A2.4' Roof Plan  
scale: 1/8" = 1'-0"

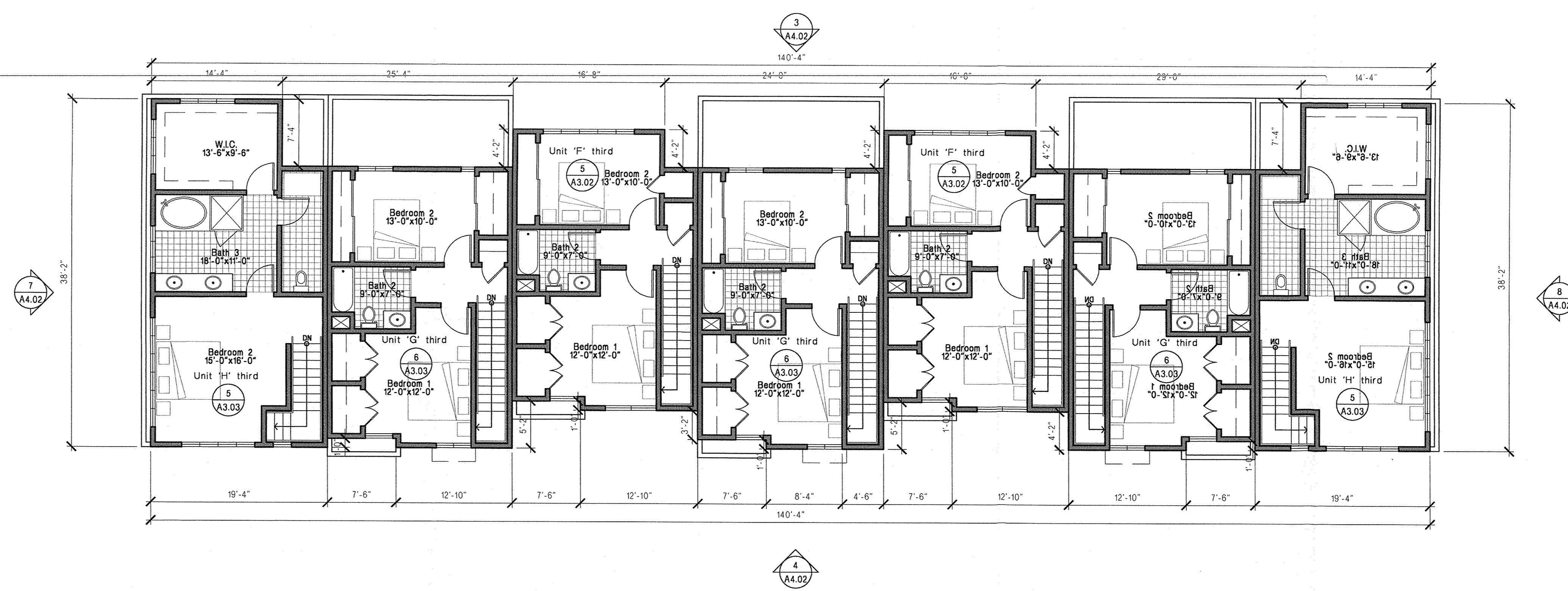
Building 'A2.1' 'A2.2' 'A2.3' 'A2.5' 'A2.6' Sim.



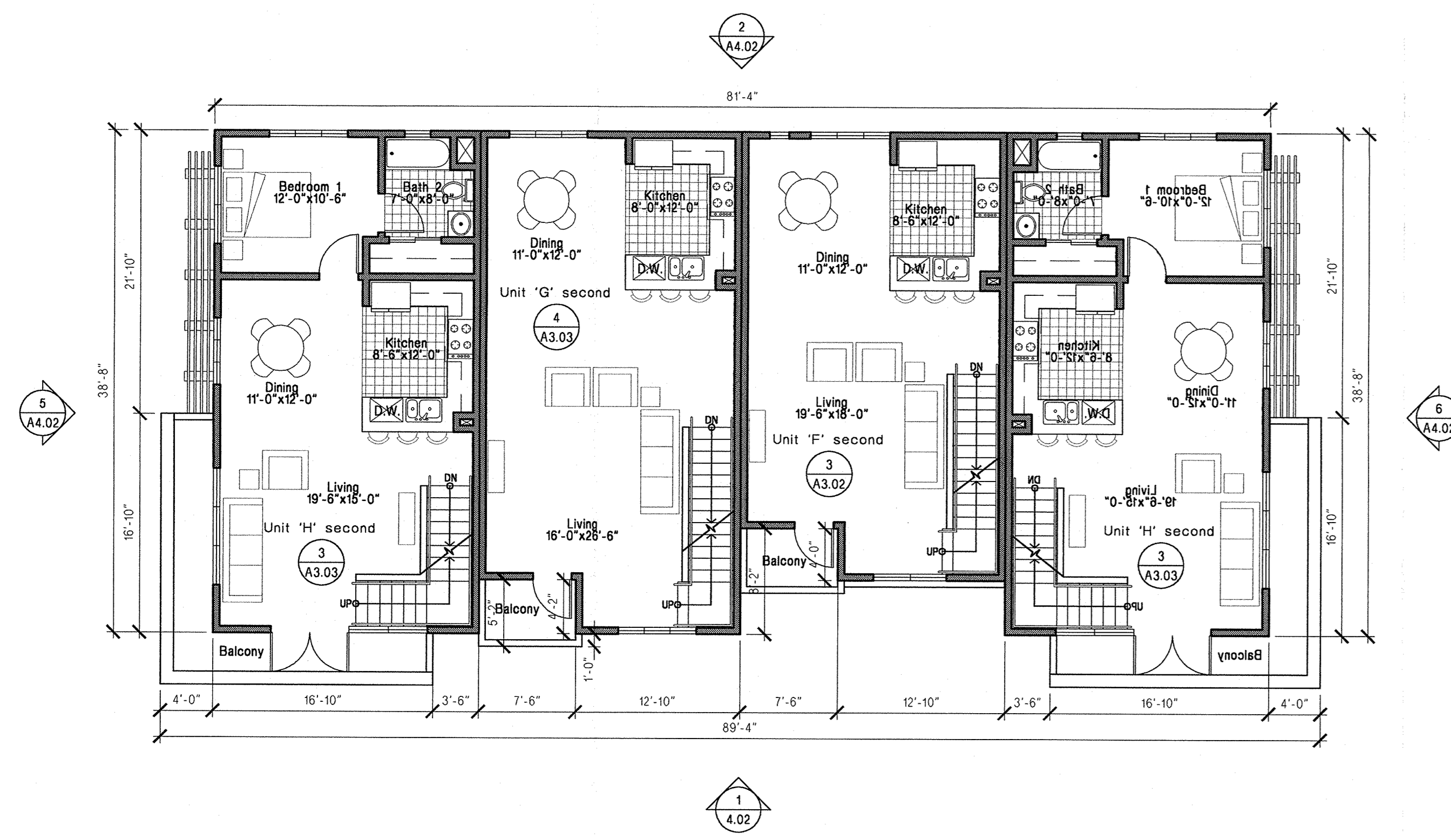


6 Building 'A3.2' Third Floor Plan  
scale: 1/8" = 1'-0"

Building 'A3.3' Sim.

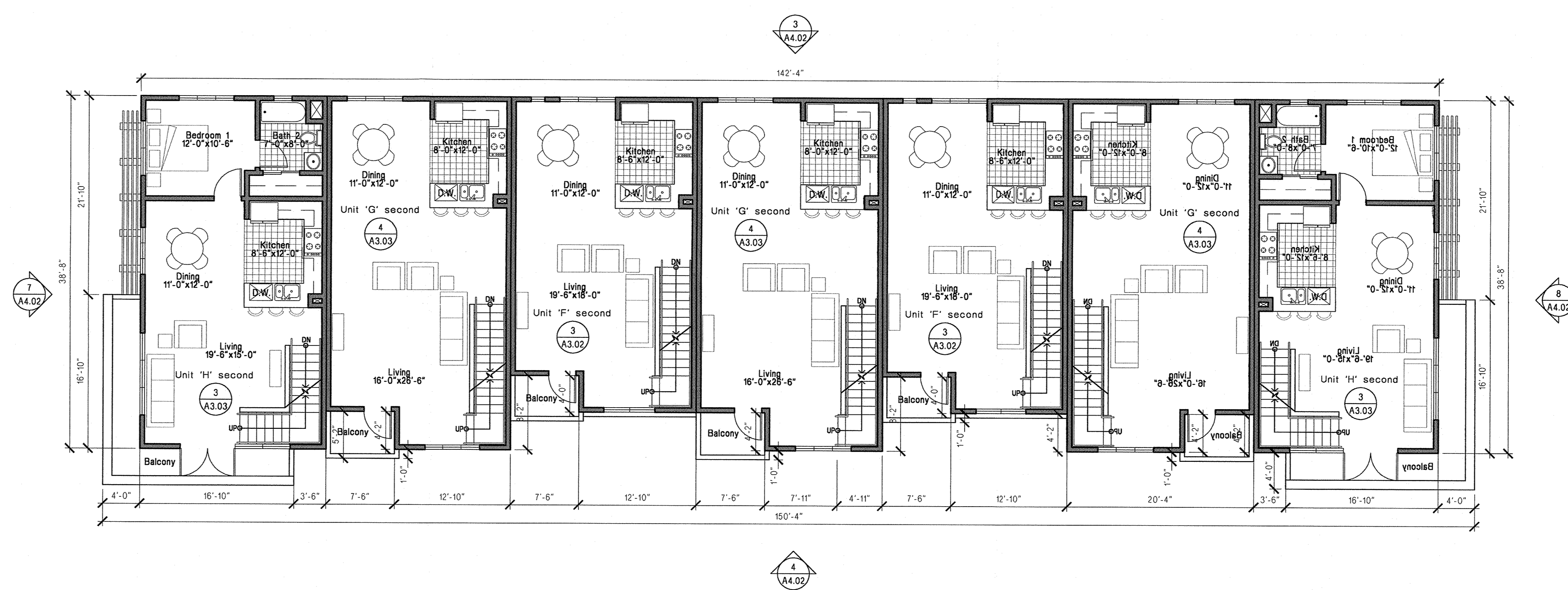


3 Building 'A3.1' Third Floor Plan  
scale: 1/8" = 1'-0"

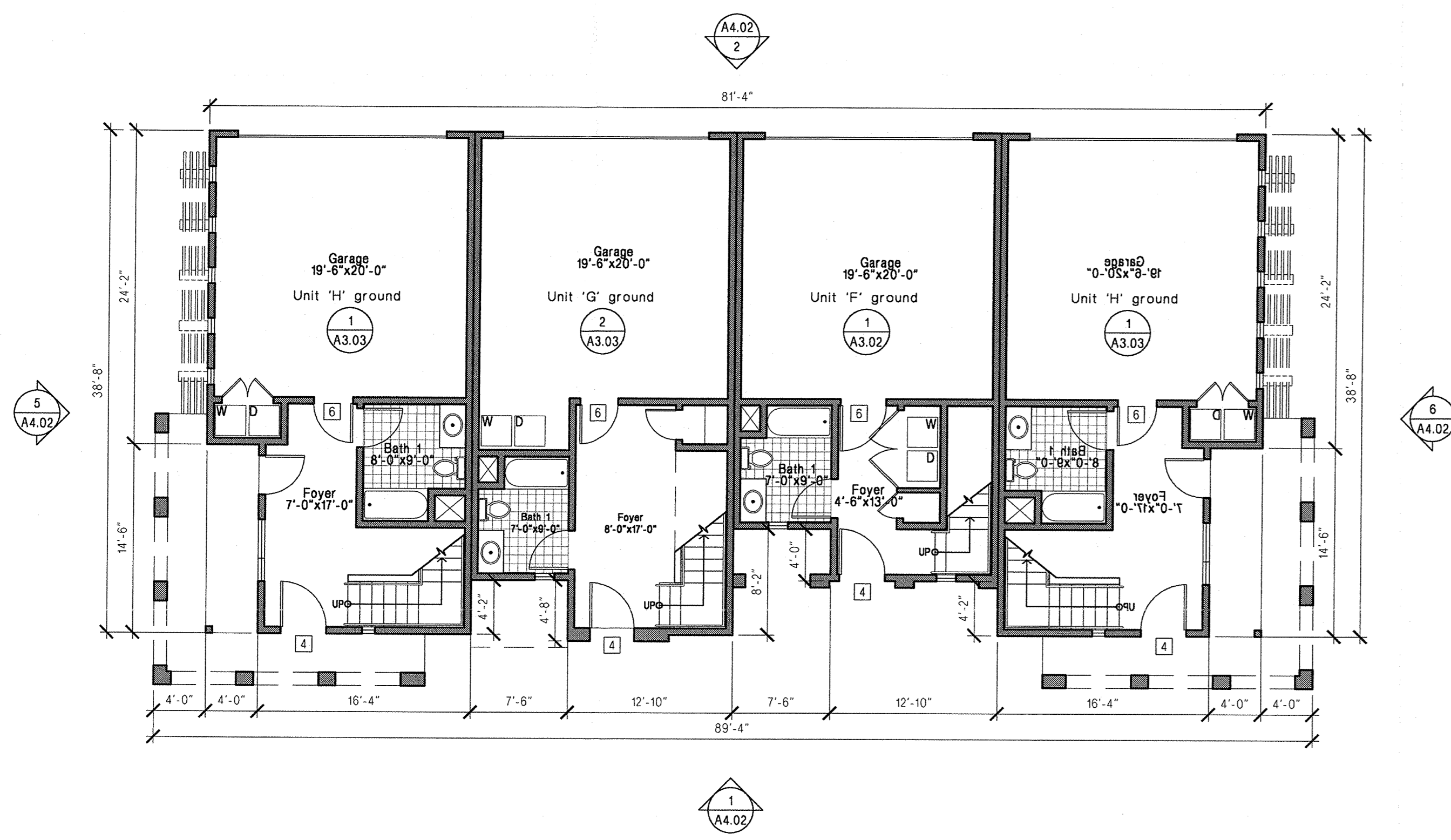


5 Building 'A3.2' Second Floor Plan  
scale: 1/8" = 1'-0"

Building 'A3.3' Sim.

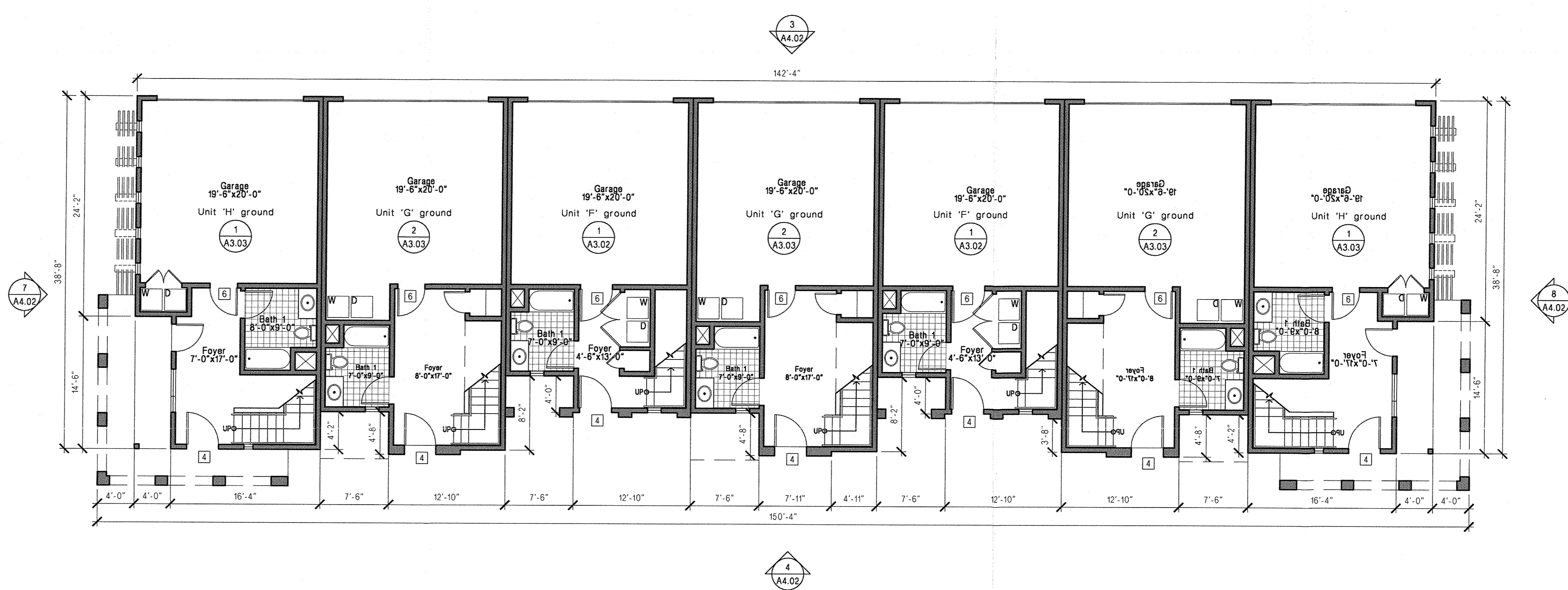


2 Building 'A3.1' Second Floor Plan  
scale: 1/8" = 1'-0"



4 Building 'A3.2' First Floor Plan  
scale: 1/8" = 1'-0"

Building 'A3.3' Sim.



1 Building 'A3.1' First Floor Plan  
scale: 1/8" = 1'-0"

Building Plan Notes

- 1 Exit stair shaft
- 2 Trash/Recycling Enclosure
- 3 Exit corridor
- 4 Unit Entry
- 5 Building Entry/Exit
- 6 Garage Access
- 7 Elevator
- 8 Exterior Corridor
- 9 Storage Unit
- 10 Bike Shower Location TBD

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27

**M.W. STEELE**  
GROUP, INC.  
ARCHITECTURE | URBAN DESIGN  
325 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619.230.0325  
FACSIMILE: 619.230.0335  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: zja  
Checked:

Revision 1: 02.17.06 Initial Submittal  
Revision 2: 08.11.06 second submittal  
Revision 3: 08.09.07 third submittal  
Revision 4: 08.17.07 fourth submittal  
Revision 5: \_\_\_\_\_  
Revision 6: \_\_\_\_\_  
Revision 7: \_\_\_\_\_  
Revision 8: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 12: \_\_\_\_\_

Ocean View Village

Legal Description:

The Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 29, Township 18 South Range 1 West, San Bernardino meridian, in the County of San Diego, State of California, according to official plat thereof.

NOT FOR CONSTRUCTION

Building 'A3.1' & 'A3.2'  
1st Floor Plan  
2nd Floor Plan  
3rd Floor Plan

Assessor's Parcel Number:

645-050 APPROVED EXHIBIT "A"

PROJECT NO. PTS# 96580  
APPROVAL NO(s): SDP# 326732  
VTM# 3/19/07 + A62046# 2/14/06  
APPROVED BY: HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON 12/11/08  
SIGNATURE: *Steve M...ch*

**A2.03**



Building Plan Notes	Roof Plan Notes
1 Exit stair shaft	1 Parapet
2 Trash/Recycling Enclosure	2 Built-up roofing
3 Exit corridor	3 Stair tower
4 Unit Entry	4 Eave
5 Building Entry/Exit	5 Trills/Sunshade Below
6 Garage Access	6 Deck below
7 Elevator	
8 Exterior Corridor	
9 Storage Unit	
10 Bike Shower Location TBD	

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27

M.W. STEELE  
GROUP, INC.  
ARCHITECTURE | URBAN DESIGN  
326 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619.230.0325  
FACSIMILE: 619.230.0335  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: ZJB  
Checked:

Revision 1: 02.17.06 initial submittal  
Revision 2: 08.11.06 second submittal  
Revision 3: 08.09.07 third submittal  
Revision 4: 08.17.07 fourth submittal  
Revision 5: ...  
Revision 6: ...  
Revision 7: ...  
Revision 8: ...  
Revision 9: ...  
Revision 10: ...  
Revision 11: ...  
Revision 12: ...

Ocean View Village

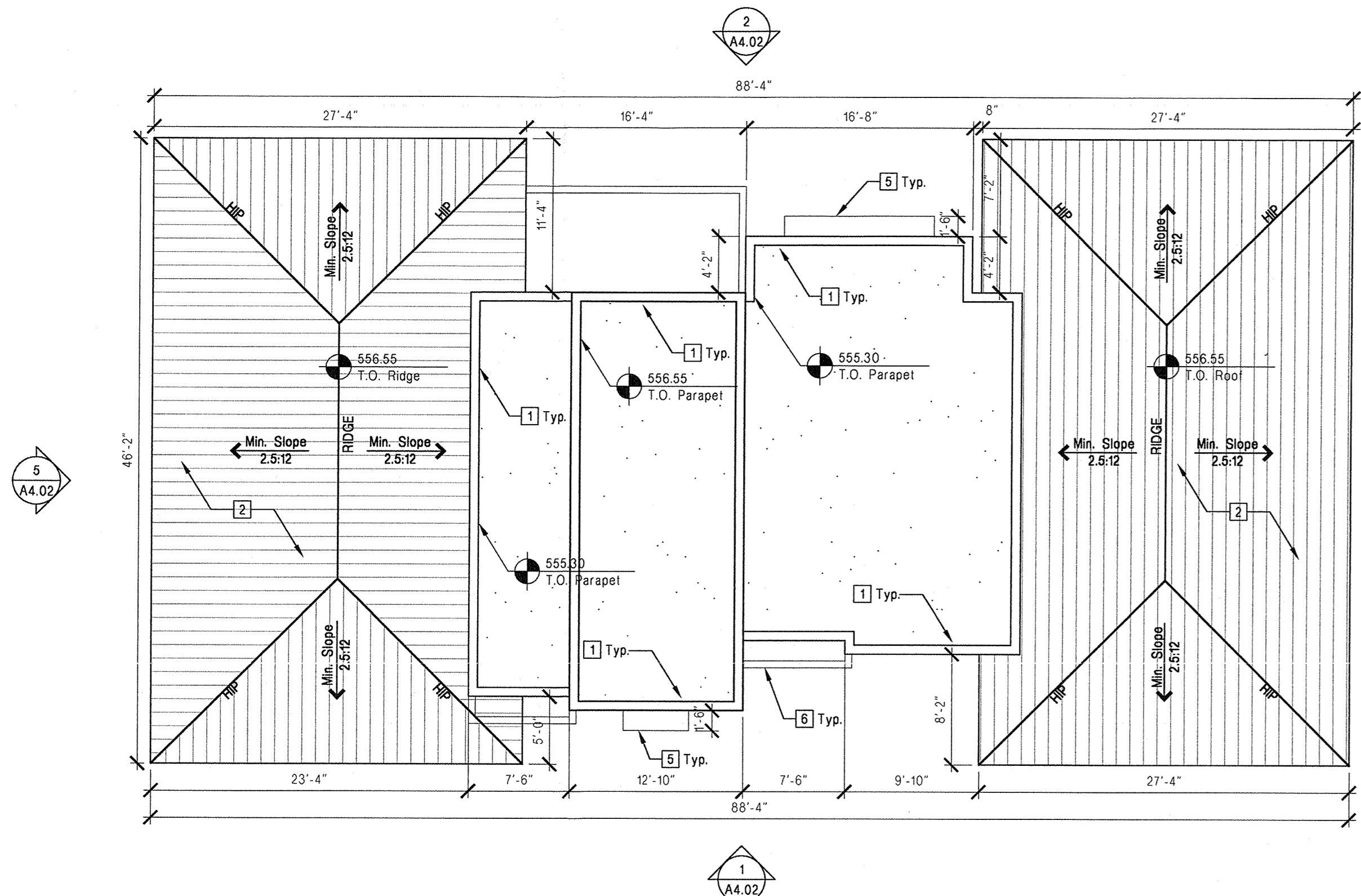
Legal Description:  
The Southeast Quarter of the Southwest Quarter  
of the Northeast Quarter of Section 29, Township 18 South  
Range 1 West, San Bernardino meridian, in the County of  
San Diego, State of California, according to official  
plat thereof.

**NOT FOR CONSTRUCTION**  
Building 'A3.1' & 'A3.2'  
Roof Plan

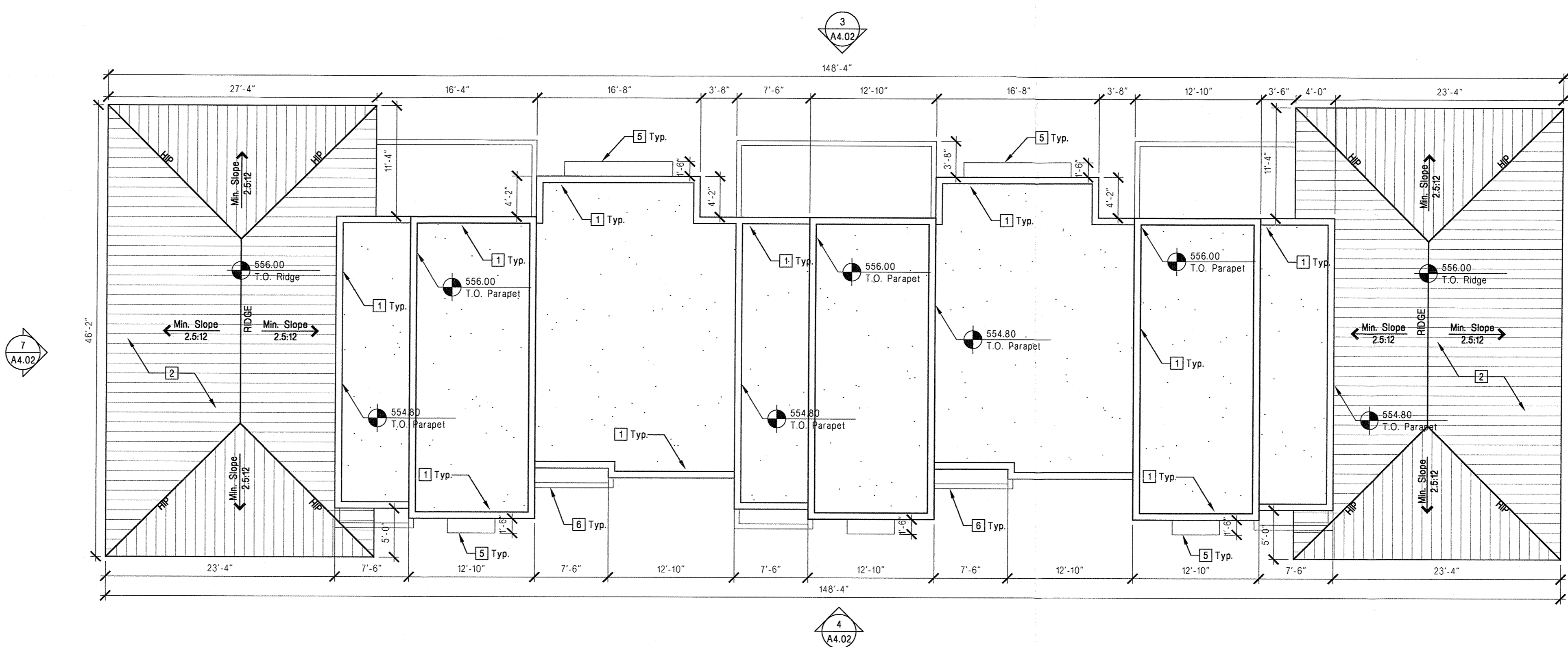
Assessor's Parcel Number:  
645-050-0000

APPROVED EXHIBIT "A"  
PROJECT NO. PTS# 76580  
APPROVAL NO(s) SDP# 320730  
VTM# 3/4 9/2/11 + REZONING# 3/19/10  
APPROVED BY: HEARING OFFICER, PLANNING  
COMMISSION/CITY COUNCIL ON 12/11/08  
SIGNATURE: *Steve M... ..*

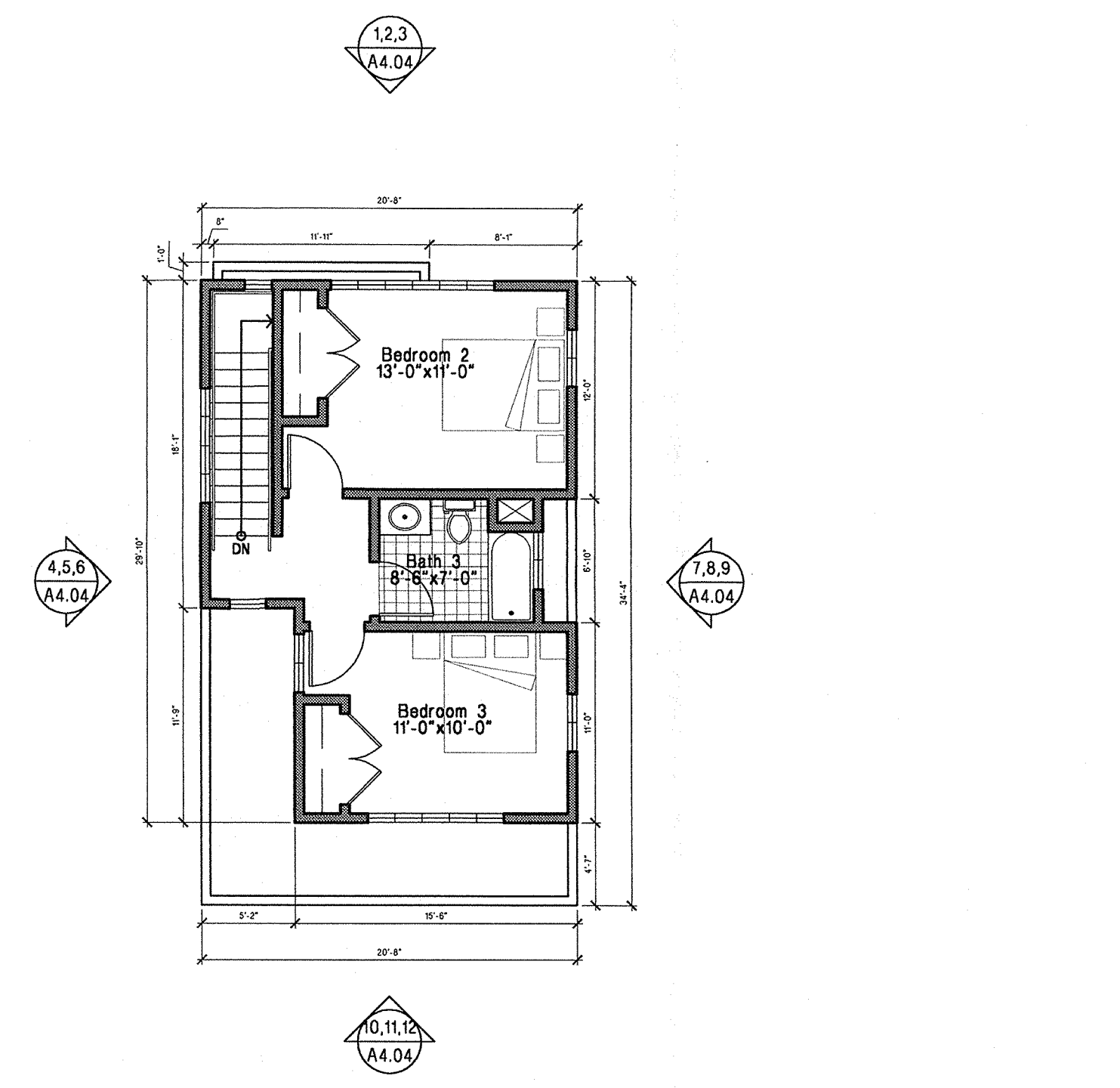
A2.04



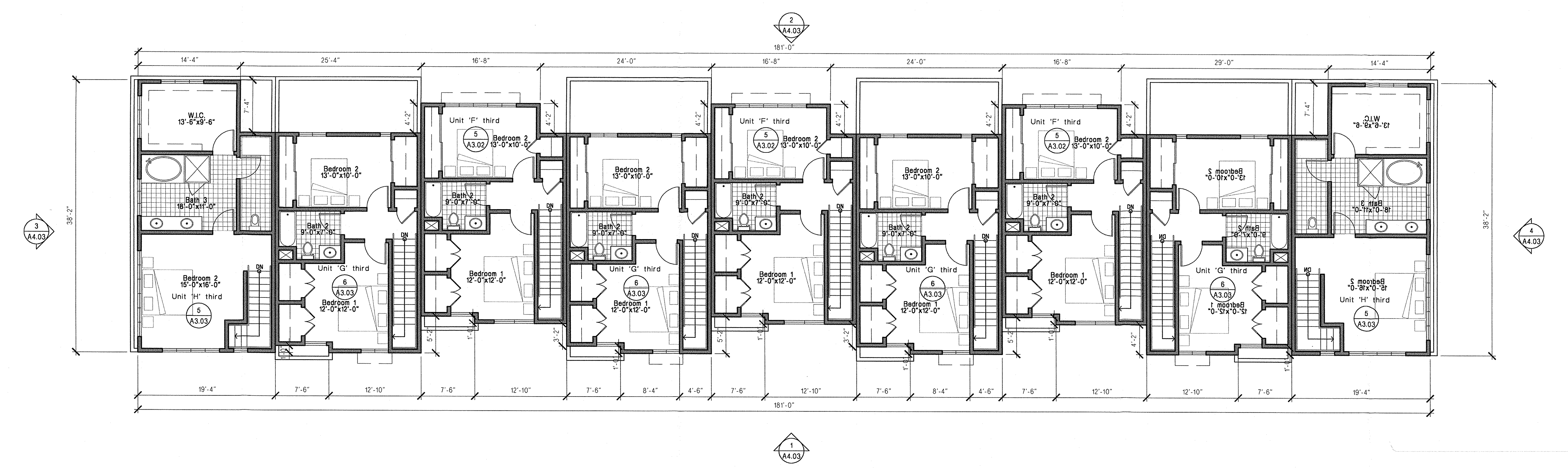
2 Building 'A3.2' Roof Plan  
scale: 1/8" = 1'-0"



1 Building 'A3.1' Roof Plan  
scale: 1/8" = 1'-0"



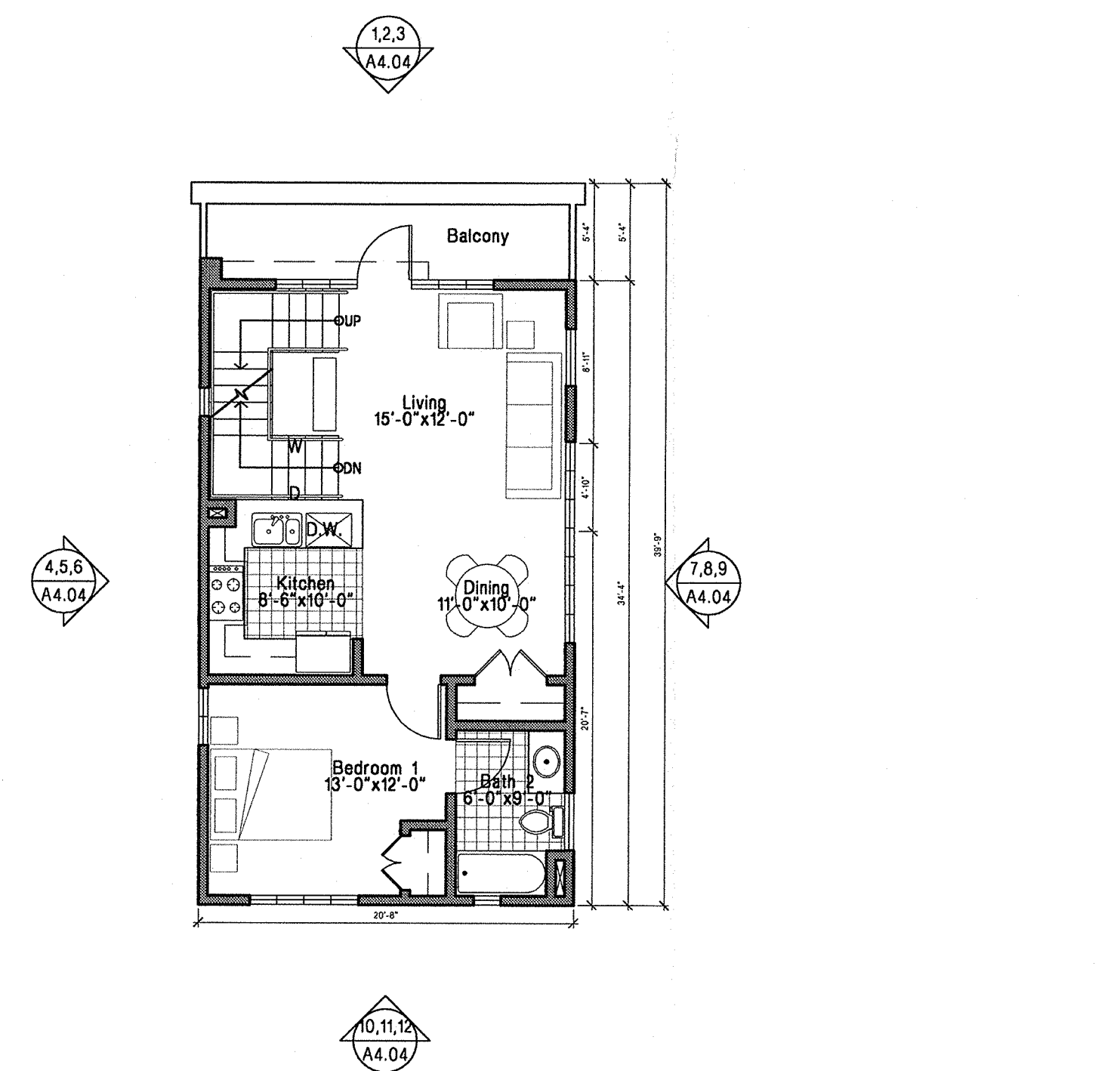
6 House Third Floor Plan  
scale: 1/8" = 1'-0"  
Bldgs. 'A1.1' - 'A1.13'



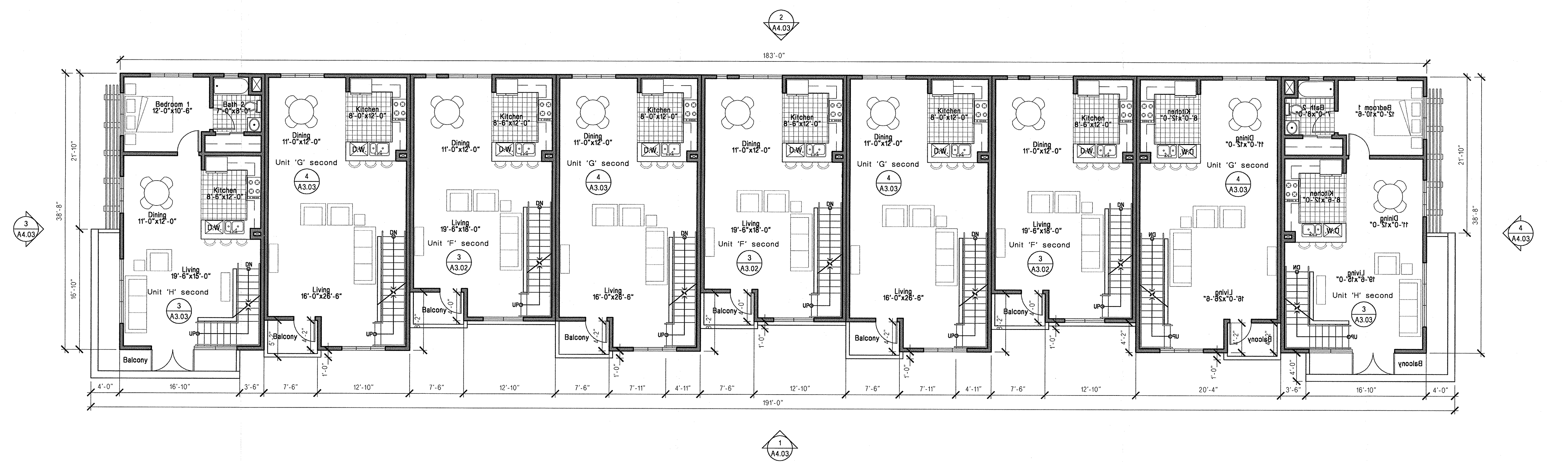
3 Building 'A3.4' Third Floor Plan  
scale: 1/8" = 1'-0"

**Building Plan Notes**

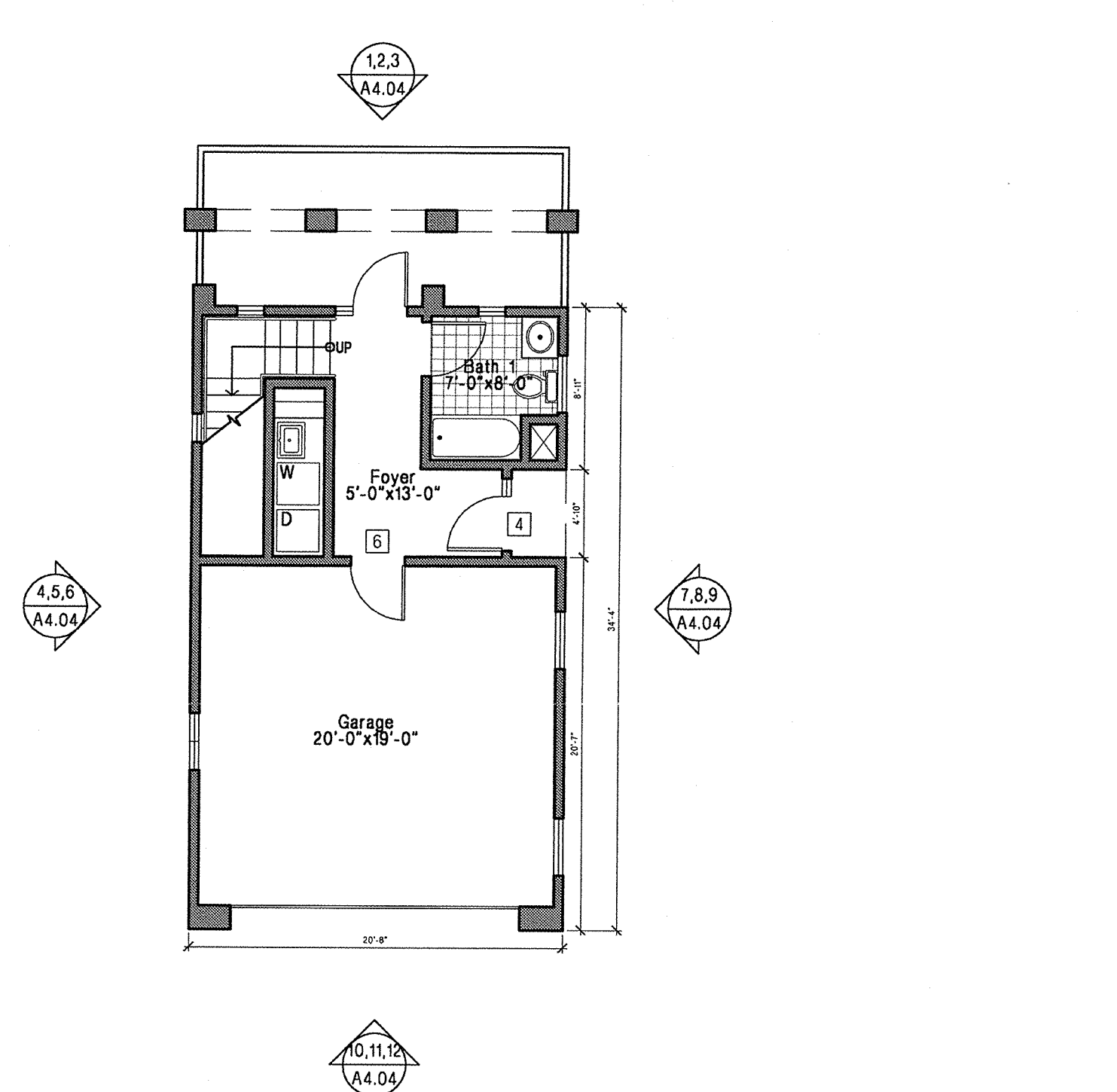
- 1 Exit stair shaft
- 2 Trash/Recycling Enclosure
- 3 Exit corridor
- 4 Unit Entry
- 5 Building Entry/Exit
- 6 Garage Access
- 7 Elevator
- 8 Exterior Corridor
- 9 Storage Unit
- 10 Bike Shower Location TBD



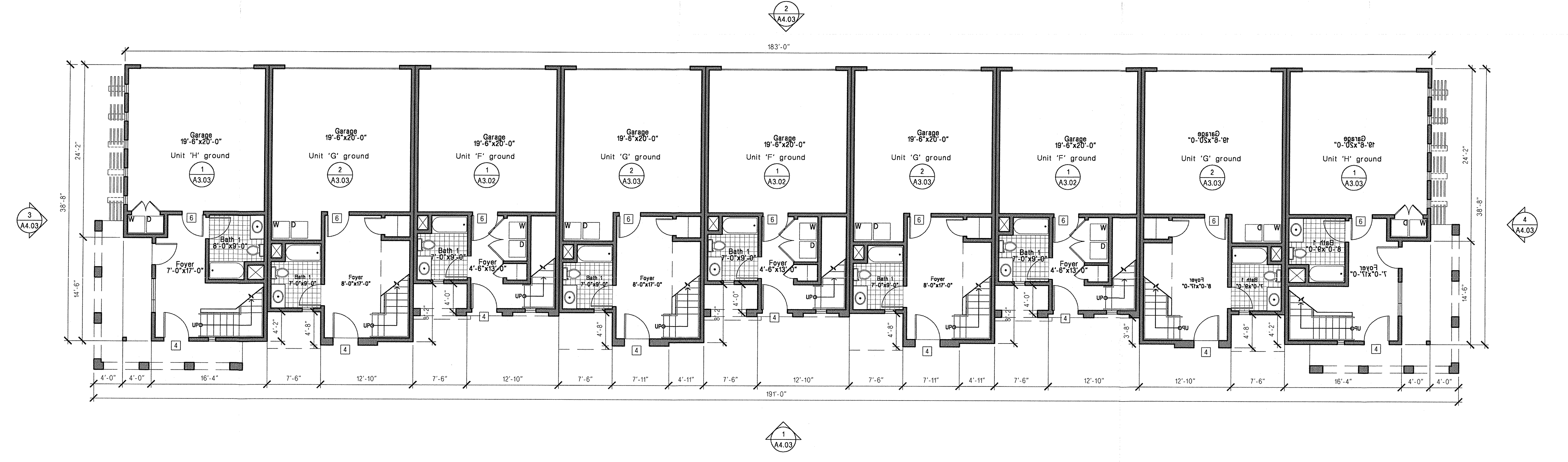
5 House Second Floor Plan  
scale: 1/8" = 1'-0"  
Bldgs. 'A1.1' - 'A1.13'



2 Building 'A3.4' Second Floor Plan  
scale: 1/8" = 1'-0"



4 House First Floor Plan  
scale: 1/8" = 1'-0"  
Bldgs. 'A1.1' - 'A1.13'



1 Building 'A3.4' First Floor Plan  
scale: 1/8" = 1'-0"

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**  
AUTHORIZED BY  
COUNCIL POLICY 600-27

**M.W. STEELE**  
GROUP, INC.  
ARCHITECTURE / URBAN DESIGN  
328 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619.230.9325  
FACSIMILE: 619.230.9335  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: ZJB  
Checked: -

Revision 1: 02.17.05 initial submittal  
Revision 2: 08.11.05 second submittal  
Revision 3: 06.08.07 third submittal  
Revision 4: 08.17.07 fourth submittal  
Revision 5: \_\_\_\_\_  
Revision 6: \_\_\_\_\_  
Revision 7: \_\_\_\_\_  
Revision 8: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 12: \_\_\_\_\_

**Ocean View Village**

Legal Description:  
The Southeast Quarter of the Southwest Quarter  
of the Northeast Quarter of Section 29, Township 18 South  
Range 1 West, San Bernardino meridian, in the County of  
San Diego, State of California, according to official  
plat thereof.

Assessor's Parcel Number:  
645-050-07

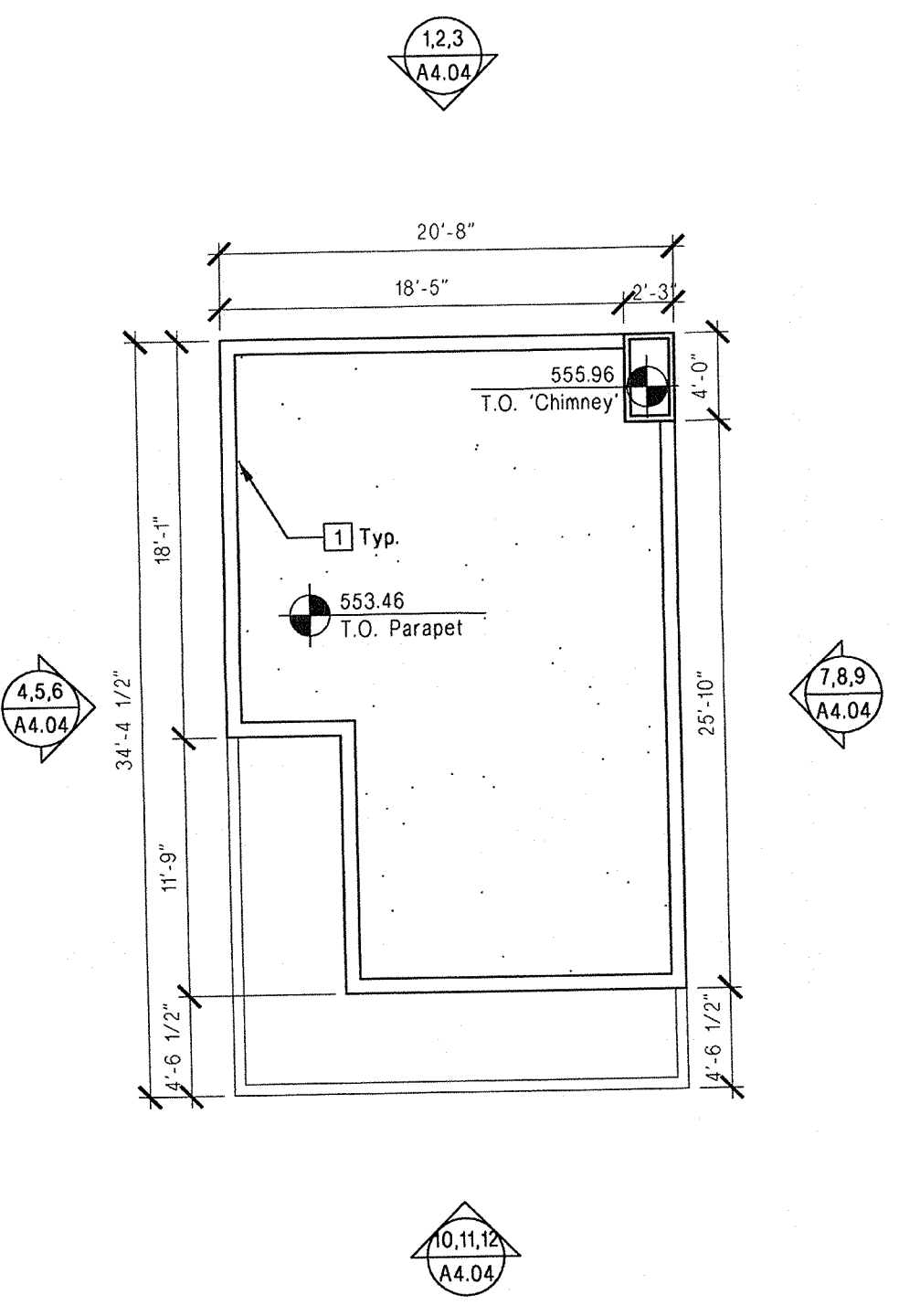
**APPROVED EXHIBIT "A"**

PROJECT NO. PTS# 96580  
APPROVAL NO. SDP# 320732  
VTM# 314839 - REZON# 314830  
APPROVED BY: HEARING OFFICER, PLANNING  
COMMISSION (CITY COUNCIL ON 12/11/08)  
SIGNATURE: [Signature]

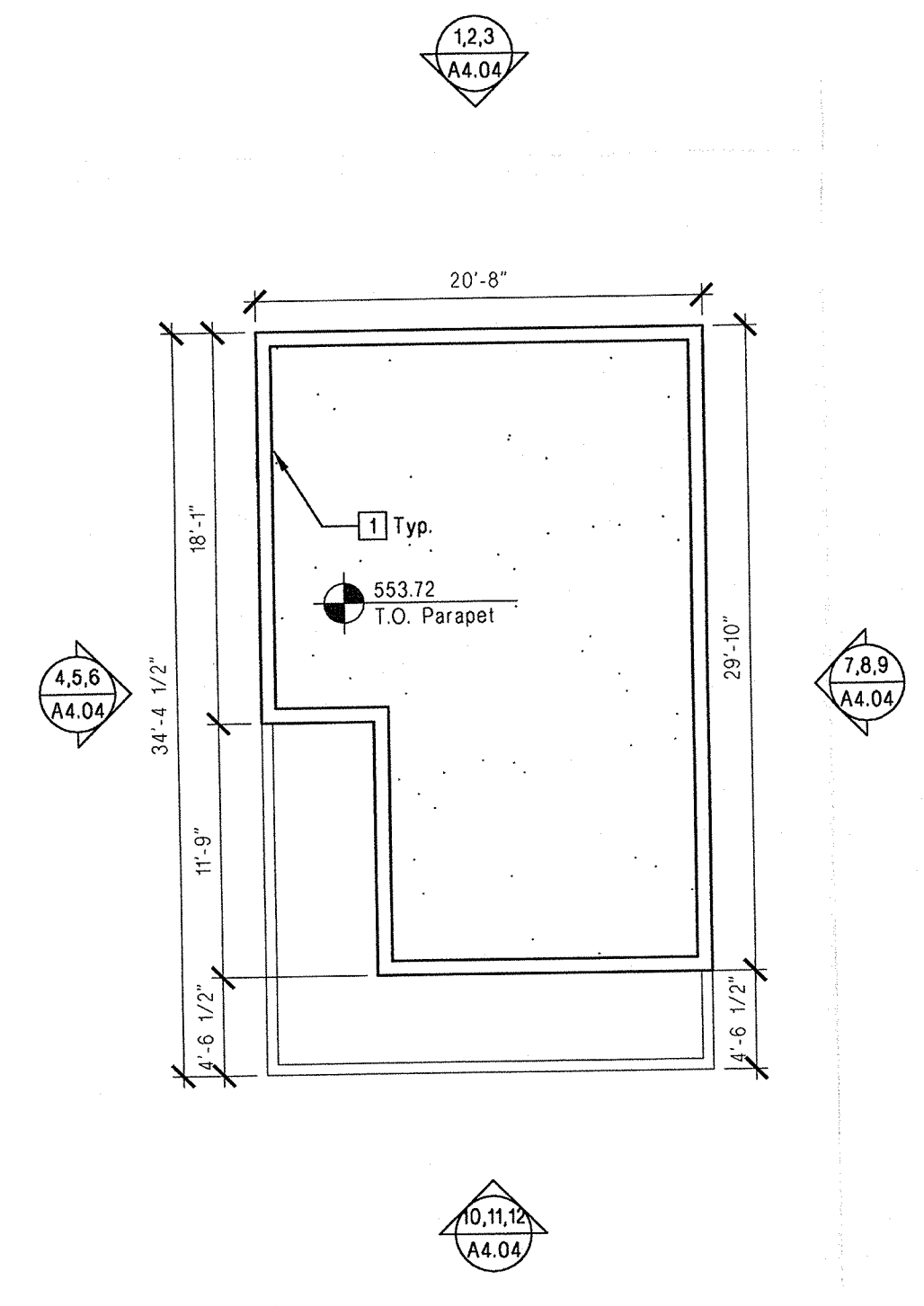
**NOT FOR CONSTRUCTION**

Building 'A3.4' & House  
1st Floor Plan  
2nd Floor Plan  
3rd Floor Plan

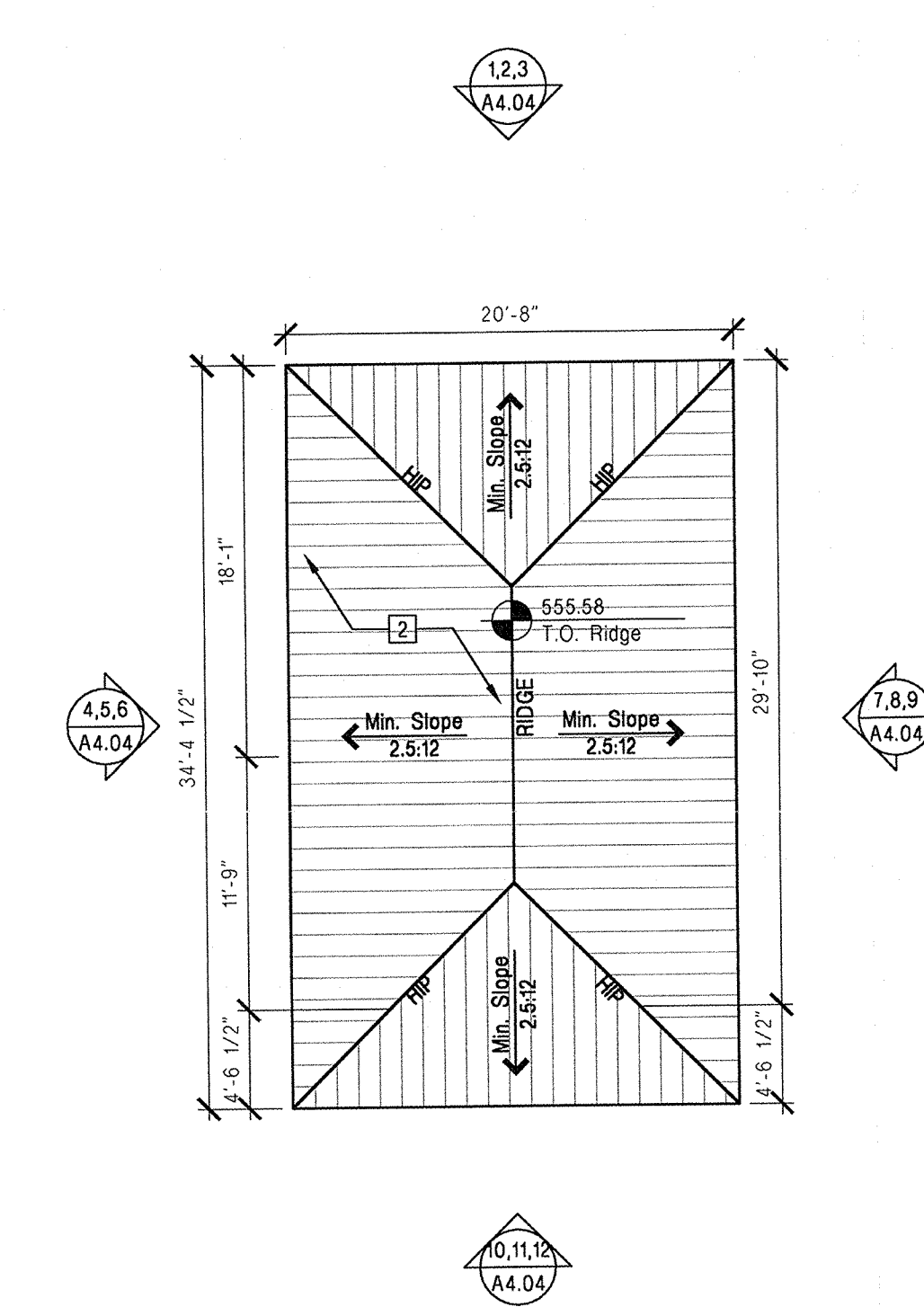
**A2.05**



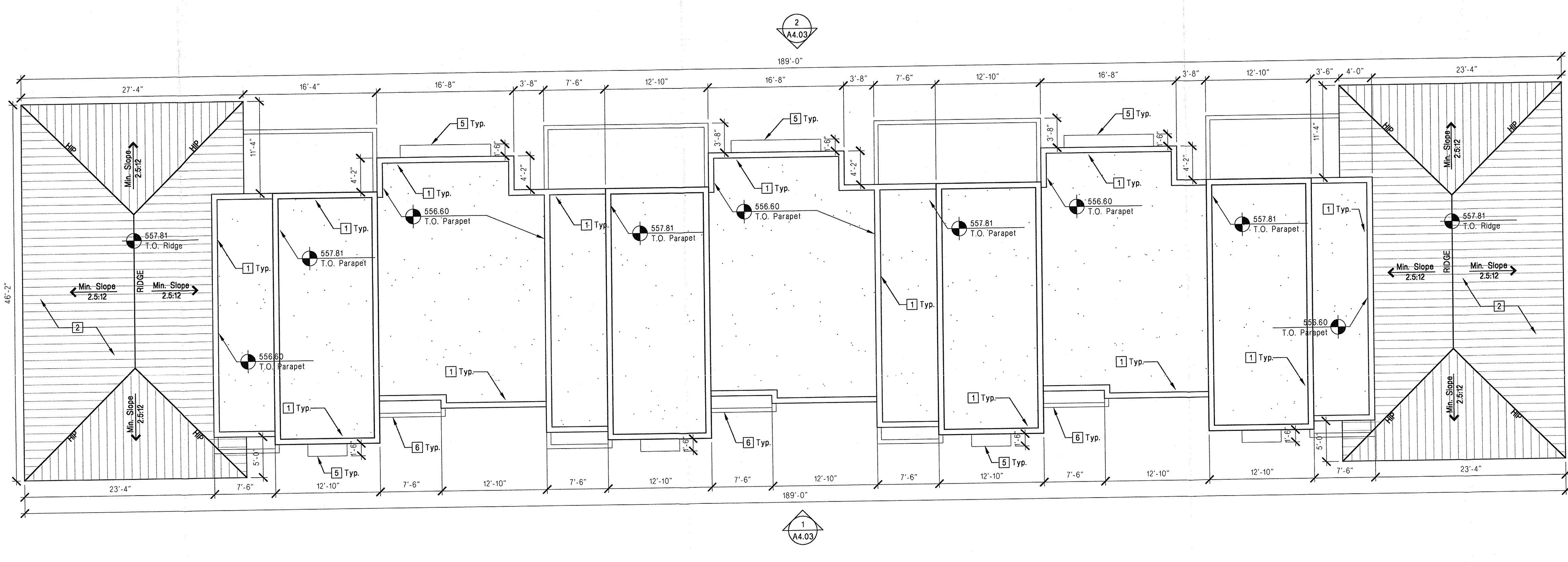
4 House - 'Type C' Roof Plan  
scale: 1/8" = 1'-0"  
Bldgs. 'A1.3' 'A1.6' '1.10' '1.13'



3 House - 'Type B' Roof Plan  
scale: 1/8" = 1'-0"  
Bldgs. 'A1.2' 'A1.5' '1.9' '1.12'



2 House - 'Type A' Roof Plan  
scale: 1/8" = 1'-0"  
Bldgs. 'A1.1' 'A1.4' '1.7' '1.8' '1.11'



1 Building 'A3.4' Roof Plan  
scale: 1/8" = 1'-0"

Building Plan Notes	Roof Plan Notes
1 Exit stair shaft	1 Parapet
2 Trash/ Recycling Enclosure	2 Built-up roofing
3 Exit corridor	3 Stair tower
4 Unit Entry	4 Elevator
5 Building Entry/Exit	5 Trench/Gratehole Below
6 Garage Access	6 Deck below
7 Elevator	
8 Exterior Corridor	
9 Storage Unit	
10 Bike Shower Location TBD	

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**  
AUTHORIZED BY  
COUNCIL POLICY 600-27

**M.W. STEELE**  
GROUP, INC.  
ARCHITECTURE / URBAN DESIGN  
325 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619.230.0325  
FACSIMILE: 619.230.0339  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number:	0470
Original Date:	September 01, 2005
Drawn:	ZJA
Checked:	-

Revision 1:	02.17.06 initial submittal
Revision 2:	08.11.06 second submittal
Revision 3:	06.09.07 third submittal
Revision 4:	08.17.07 fourth submittal
Revision 5:	-
Revision 6:	-
Revision 7:	-
Revision 8:	-
Revision 9:	-
Revision 10:	-
Revision 11:	-
Revision 12:	-

**Ocean View Village**

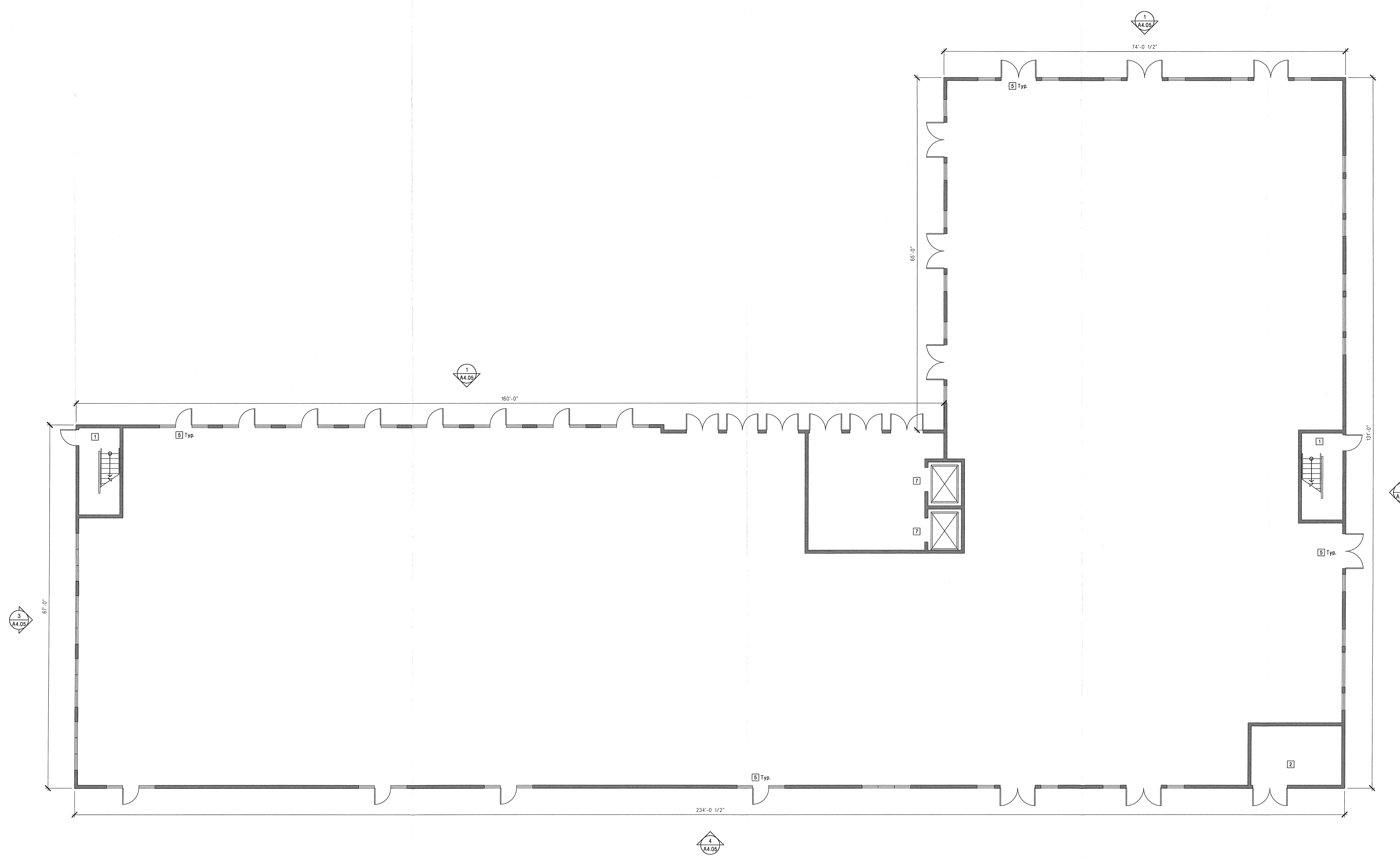
Legal Description:  
The Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 29, Township 18 South Range 1 West, San Bernardino meridian, in the County of San Diego, State of California, according to official plat thereof.

Assessor's Parcel Number:  
645-050-07

**APPROVED EXHIBIT "A"**  
PROJECT NO. PTS# 96580  
APPROVAL NO(s): SDP# 320732  
PTM# 34809 + REZONING 34830  
APPROVED BY: HEARING OFFICER, PLANNING COMMISSION/CITY COUNCIL ON 12/11/09  
SIGNATURE: Dianna Winters

NOT FOR CONSTRUCTION  
Roof Plan  
Building 'A3.4' & House 'Type A'  
House 'Type B'  
House 'Type C'

**A2.06**



Building Plan Notes

- 1 Exit stair shaft
- 2 Trash/ Recycling Enclosure
- 3 Exit corridor
- 4 Unit Entry
- 5 Building Entry/Exit
- 6 Garage Access
- 7 Elevator
- 8 Exterior Corridor
- 9 Storage Unit
- 10 Bike Shower Location TBD

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27

**M. W. STEELE**  
GROUP, INC.  
ARCHITECTURE | URBAN DESIGN  
325 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619 230 0325  
FACSIMILE: 619 230 0335  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: ZJB  
Checked: -

Revision 1: 02.17.06 initial submittal  
Revision 2: 08.11.06 second submittal  
Revision 3: 08.09.07 third submittal  
Revision 4: 08.17.07 fourth submittal  
Revision 5: -  
Revision 6: -  
Revision 7: -  
Revision 8: -  
Revision 9: -  
Revision 10: -  
Revision 11: -  
Revision 12: -

Ocean View Village

Legal Description:

The Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 29, Township 18 South Range 1 West, San Bernardino meridian, in the County of San Diego, State of California, according to official plat thereof.

NOT FOR CONSTRUCTION

Building 'B1.1'  
1st Floor Plan

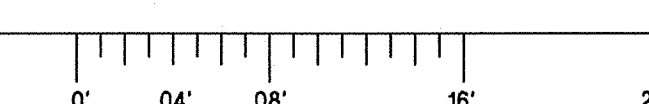
Assessor's Parcel Number:

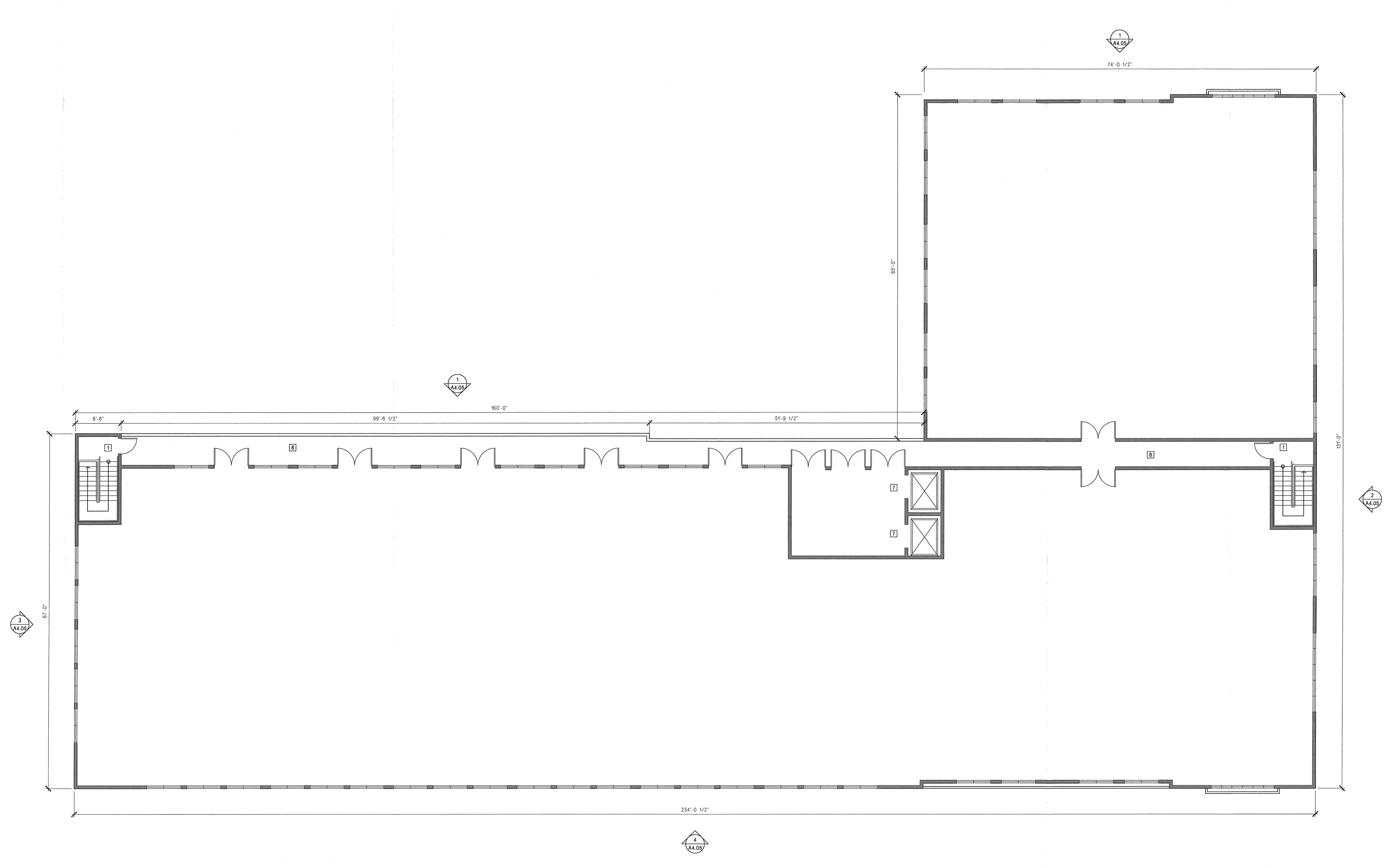
645-050-01 APPROVED EXHIBIT "A"

PROJECT NO. PTS# 96580  
APPROVAL NO(s). SDP# 320732  
VTM# 34829 + RESUME 34830  
APPROVED BY: HEARING OFFICER, PLANNING COMMISSION/CITY COUNCIL ON 08/11/08  
SIGNATURE: Alan M. [Signature]

**A2.07**

1 Building 'B1.1' First Floor Plan  
scale: 1/8" = 1'-0"





**Building Plan Notes**

- 1 Exit stair shaft
- 2 Trash/Recycling Enclosure
- 3 Elevator
- 4 Unit Entry
- 5 Building Entry/Exit
- 6 Garage Access
- 7 Elevator
- 8 Exterior Corridor
- 9 Storage Unit
- 10 Bike Shower Location TBD

**AFFORDABLE HOUSING  
 EXPEDITE PROGRAM**  
 AUTHORIZED BY  
 COUNCIL POLICY 600-27

**M. W. STEELE**  
 GROUP, INC.  
 ARCHITECTURE / URBAN DESIGN  
 325 FIFTEENTH STREET  
 SAN DIEGO, CA 92101  
 TELEPHONE: 619.230.0328  
 FACSIMILE: 619.230.0335  
 WEBSITE: www.mwsteele.com

Site Development Permit  
 Vesting Tentative Map  
 Affordable Housing Expedite Program  
 Re-Zone

Project Number:	0470
Original Date:	September 01, 2005
Case:	ZB
Checked:	-

Revision 1:	02.17.06 Initial submittal
Revision 2:	08.11.06 second submittal
Revision 3:	08.09.07 third submittal
Revision 4:	08.17.07 fourth submittal
Revision 5:	-
Revision 6:	-
Revision 7:	-
Revision 8:	-
Revision 9:	-
Revision 10:	-
Revision 11:	-
Revision 12:	-

**Ocean View Village**

Legal Description:  
 The Southeast Quarter of the Southwest Quarter  
 of the Northeast Quarter of Section 29, Township 18 South  
 Range 1 West, San Bernardino meridian, in the County of  
 San Diego, State of California, according to official  
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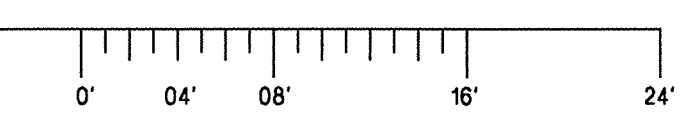
**NOT FOR CONSTRUCTION**  
 Building 'B1.1'  
 2nd Floor Plan

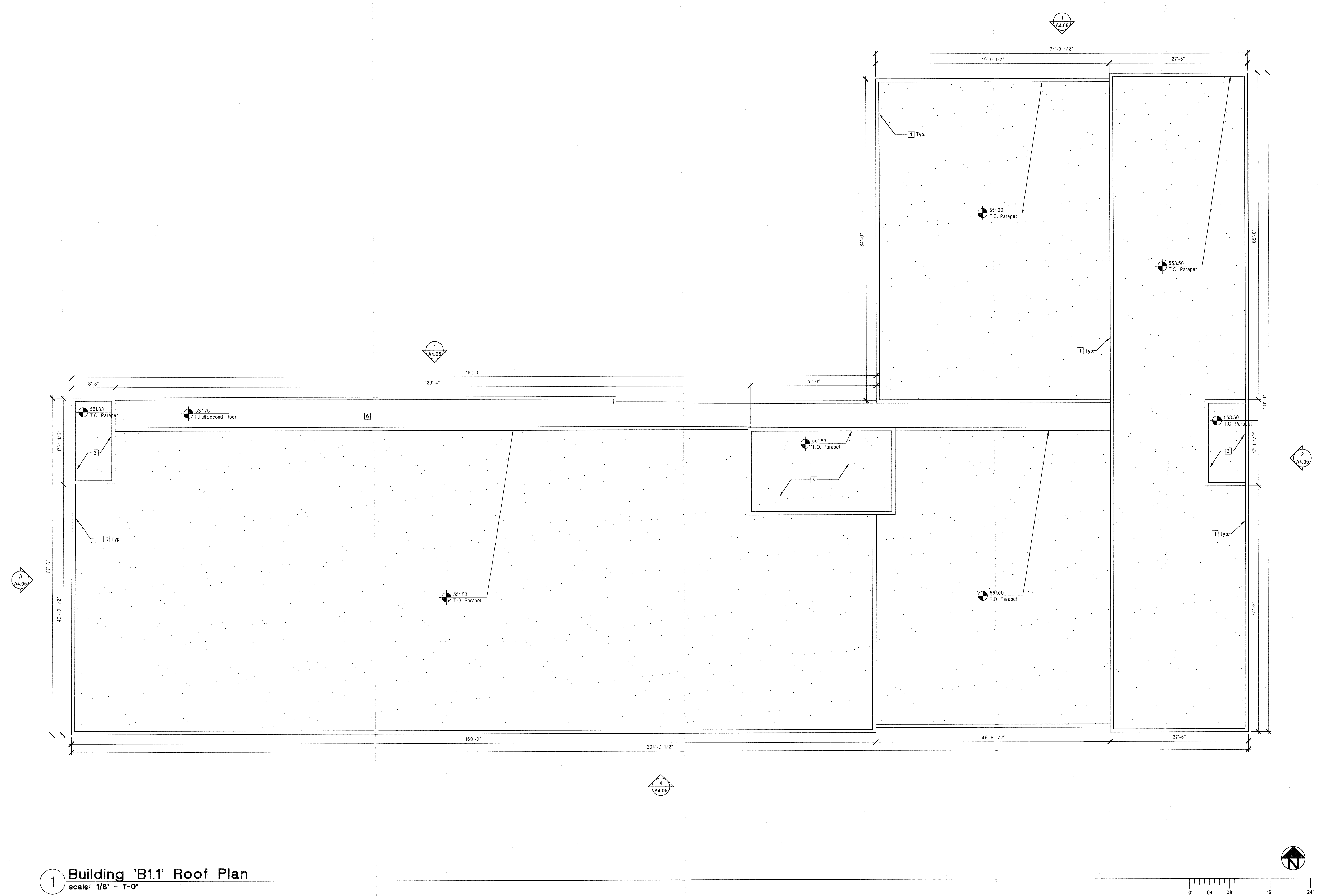
Assessor's Parcel Number:  
 645-050-07

**APPROVED EXHIBIT "A"**  
 PROJECT NO. PTS# 96580  
 APPROVAL NO(s) SDP# 320732  
VTM# 314829 + REC2006# 314830  
 APPROVED BY: HEARING OFFICER, PLANNING  
 COMMISSION/CITY COUNCILS ON 02/11/08  
 SIGNATURE [Signature]

**A2.08**

**1 Building 'B1.1' Second Floor Plan**  
 scale: 1/8" = 1'-0"





Building Plan Notes	Roof Plan Notes
<ul style="list-style-type: none"> <li>1 Exit stair shaft</li> <li>2 Trash/ Recycling Enclosure</li> <li>3 Exit corridor</li> <li>4 Unit Entry</li> <li>5 Building Entry/Exit</li> <li>6 Garage Access</li> <li>7 Elevator</li> <li>8 Exterior Corridor</li> <li>9 Storage Unit</li> <li>10 Bike Shower Location TBD</li> </ul>	<ul style="list-style-type: none"> <li>1 Parapet</li> <li>2 Built-up roofing</li> <li>3 Stair tower</li> <li>4 Elevator</li> <li>5 Trellis/Sunshade Below</li> <li>6 Deck below</li> </ul>

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**  
AUTHORIZED BY  
COUNCIL POLICY 600-27

**M. W. STEELE**  
GROUP, INC.  
ARCHITECTURE URBAN DESIGN  
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SAN DIEGO, CA 92101  
TELEPHONE: 619.230.0325  
FACSIMILE: 619.230.0335  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number	0470
Original Date	September 01, 2005
Drawn	zja
Checked	-
Revision 1:	02.17.06 initial submittal
Revision 2:	08.11.06 second submittal
Revision 3:	05.09.07 third submittal
Revision 4:	08.17.07 fourth submittal
Revision 5:	-
Revision 6:	-
Revision 7:	-
Revision 8:	-
Revision 9:	-
Revision 10:	-
Revision 11:	-
Revision 12:	-

**Ocean View Village**

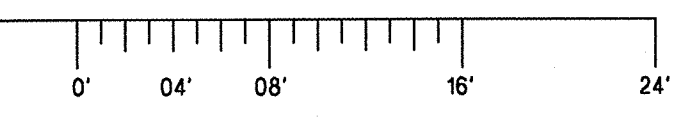
Legal Description:  
The Southeast Quarter of the Southwest Quarter  
of the Northeast Quarter of Section 29, Township 18 South  
Range 1 West, San Bernardino meridian, in the County of  
San Diego, State of California, according to official  
plat thereof.

**NOT FOR CONSTRUCTION**  
Building 'B1.1'  
Roof Plan

Assessor's Parcel Number:  
645-050-07  
**APPROVED EXHIBIT "A"**  
PROJECT NO. PTS # 96580  
APPROVAL NO(s) SDP # 320730  
1770 # 31480 # 4-REZONE # 314830  
APPROVED BY HEARING OFFICER, PLANNING  
COMMISSION (CITY COUNCIL) ON 12/1/08  
SIGNATURE Clare D. Pusch

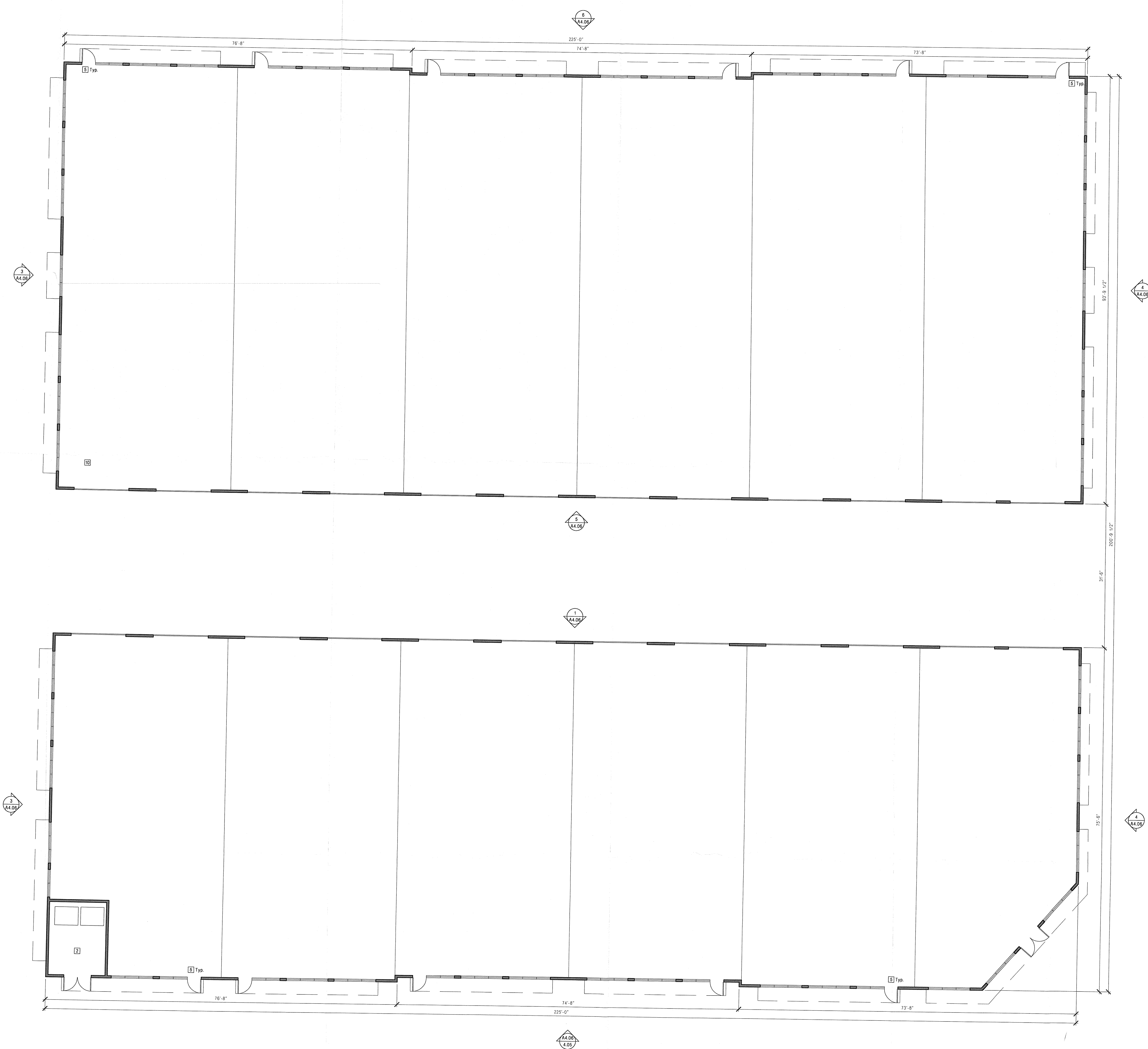
**A2.09**

1 Building 'B1.1' Roof Plan  
scale: 1/8" = 1'-0"



Ocean View Village

Site Development Permit  
 Vesting Tentative Map  
 Affordable Housing Expedite Program  
 Re-Zone



Building Plan Notes

- 1 Exit stair shaft
- 2 Trash/Recycling Enclosure
- 3 Exit corridor
- 4 Unit Entry
- 5 Building Entry/Exit
- 6 Garage Access
- 7 Elevator
- 8 Exterior Corridor
- 9 Storage Unit
- 10 Bike Shower Location TRD

**AFFORDABLE HOUSING  
 EXPEDITE PROGRAM**

AUTHORIZED BY  
 COUNCIL POLICY 600-27

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 ARCHITECTURE | URBAN DESIGN  
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Site Development Permit  
 Vesting Tentative Map  
 Affordable Housing Expedite Program  
 Re-Zone

Project Number: 0470  
 Original Date: September 01, 2005  
 Drawn: JJB  
 Checked: -

Revision 1: 02.17.06 initial submittal  
 Revision 2: 08.11.06 second submittal  
 Revision 3: 08.03.07 third submittal  
 Revision 4: 08.17.07 fourth submittal  
 Revision 5: -  
 Revision 6: -  
 Revision 7: -  
 Revision 8: -  
 Revision 9: -  
 Revision 10: -  
 Revision 11: -  
 Revision 12: -

Ocean View Village

Legal Description:

The Southeast Quarter of the Southwest Quarter  
 of the Northeast Quarter of Section 29, Township 18 South  
 Range 1 West, San Bernardino meridian, in the County of  
 San Diego, State of California, according to official  
 plat thereof.

NOT FOR CONSTRUCTION

Building 'C1.1' & 'C1.2'  
 1st Floor Plan

Assessor's Parcel Number:

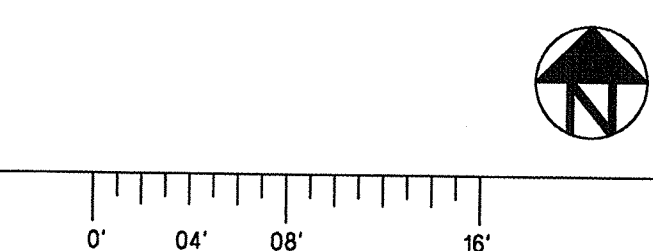
645-050-07

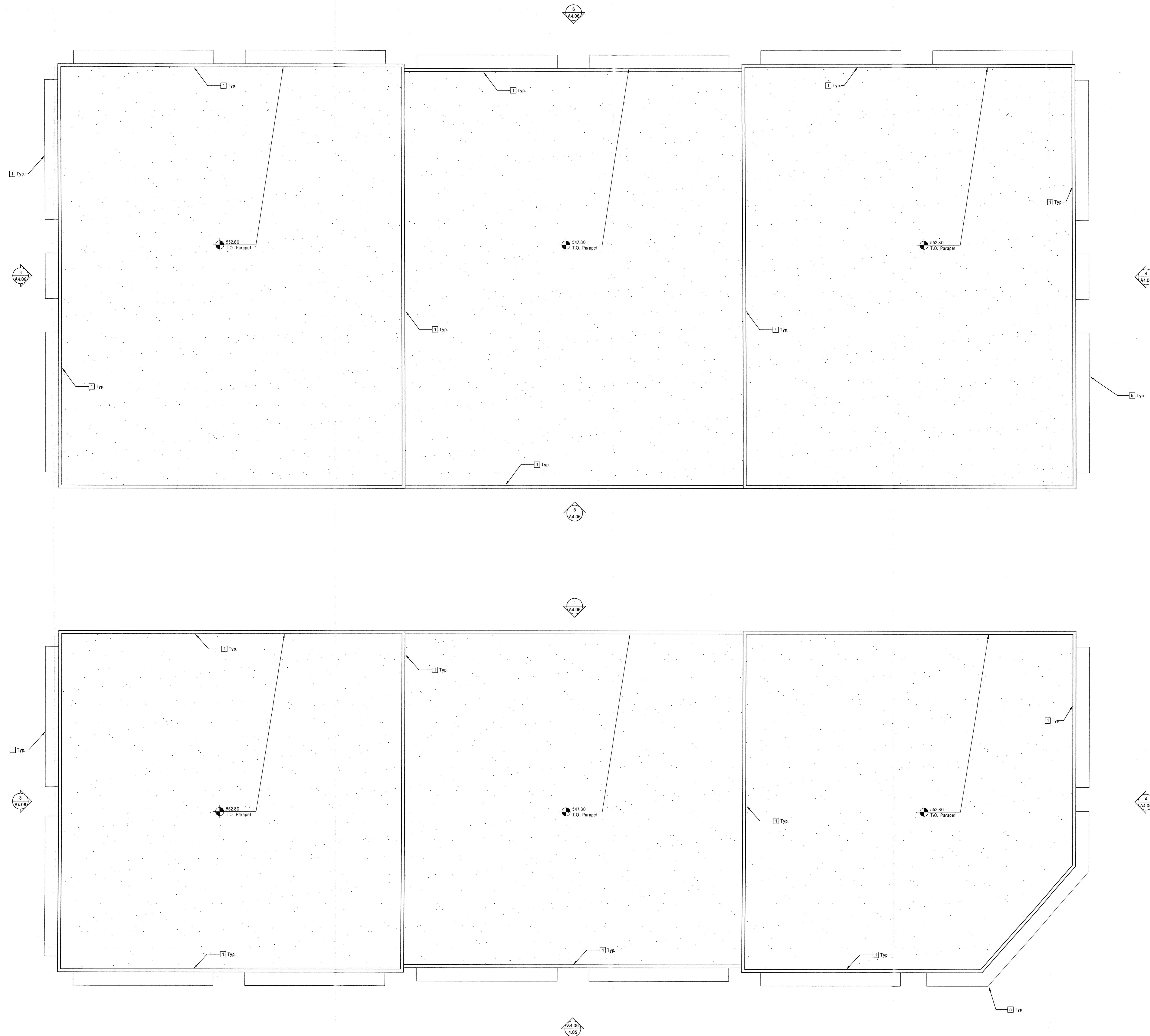
APPROVED EXHIBIT "A"

PROJECT NO. PJS# 96580  
 APPROVAL NO. SDP# 320732  
 1/21/08 3:14:30 PM - APPROVED  
 APPROVED BY: HEARING OFFICER, PLANNING  
 COMMISSION (CITY COUNCIL) ON 12/1/08  
 SIGNATURE *Chae M. Muebach*

A2.10

1 Building 'C1.1' & 'C1.2' First Floor Plan  
 scale: 1/8" = 1'-0"





Building Plan Notes	Roof Plan Notes
1 Exit stair shaft	1 Parapet
2 Trash/Recycling Enclosure	2 Built-up roofing
3 Exit corridor	3 Stair tower
4 Unit Entry	4 Elevator
5 Building Entry/Exit	5 Traffic/Sunshade Below
6 Garage Access	6 Deck below
7 Elevator	
8 Exterior Corridor	
9 Storage Unit	
10 Bike Shower Location TBD	

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27

**M.W. STEELE**  
GROUP, INC.  
ARCHITECTURE | URBAN DESIGN  
326 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619.230.0326  
FACSIMILE: 619.230.0335  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: ZJB  
Checked: -

Revision 1: 02.17.06 Initial submittal  
Revision 2: 08.11.06 second submittal  
Revision 3: 08.09.07 third submittal  
Revision 4: 08.17.07 fourth submittal  
Revision 5: \_\_\_\_\_  
Revision 6: \_\_\_\_\_  
Revision 7: \_\_\_\_\_  
Revision 8: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 12: \_\_\_\_\_

**Ocean View Village**

**Legal Description:**

The Southeast Quarter of the Southwest Quarter  
of the Northeast Quarter of Section 29, Township 18 South  
Range 1 West, San Bernardino meridian, in the County of  
San Diego, State of California, according to official  
plat thereof.

**NOT FOR CONSTRUCTION**

Building 'C1.1' & 'C1.2'  
Roof Plan

Assessor's Parcel Number:

645-050-07

**APPROVED EXHIBIT "A"**

PROJECT NO. PTS# 96580

APPROVAL NO(s) SDD# 320733

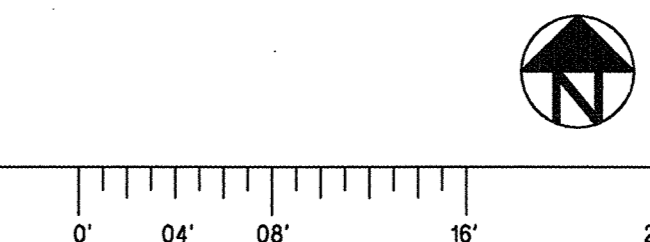
APPROVED BY HEARING OFFICER, PLANNING

COMMISSION/CITY COUNCIL ON 12/11/06

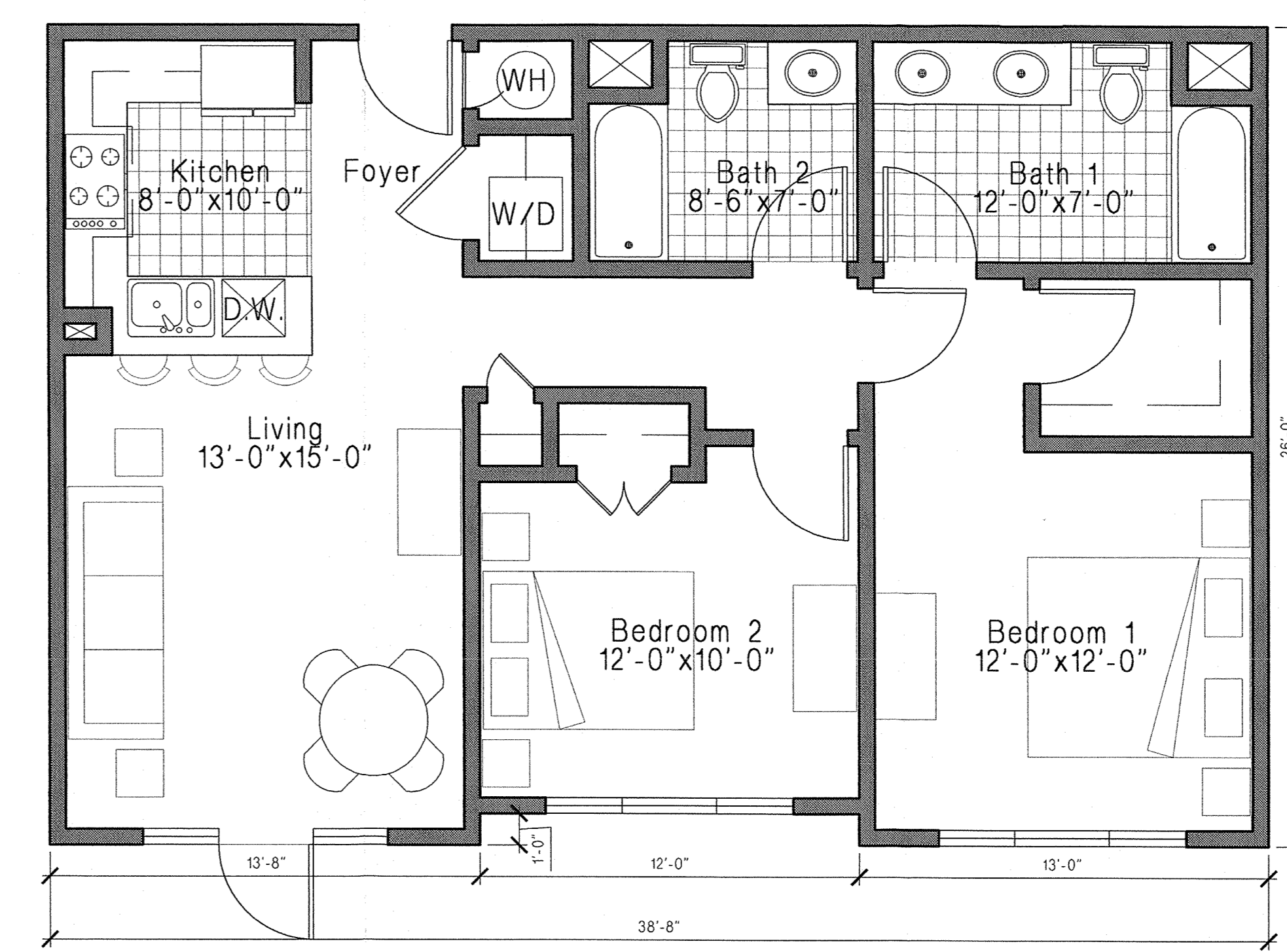
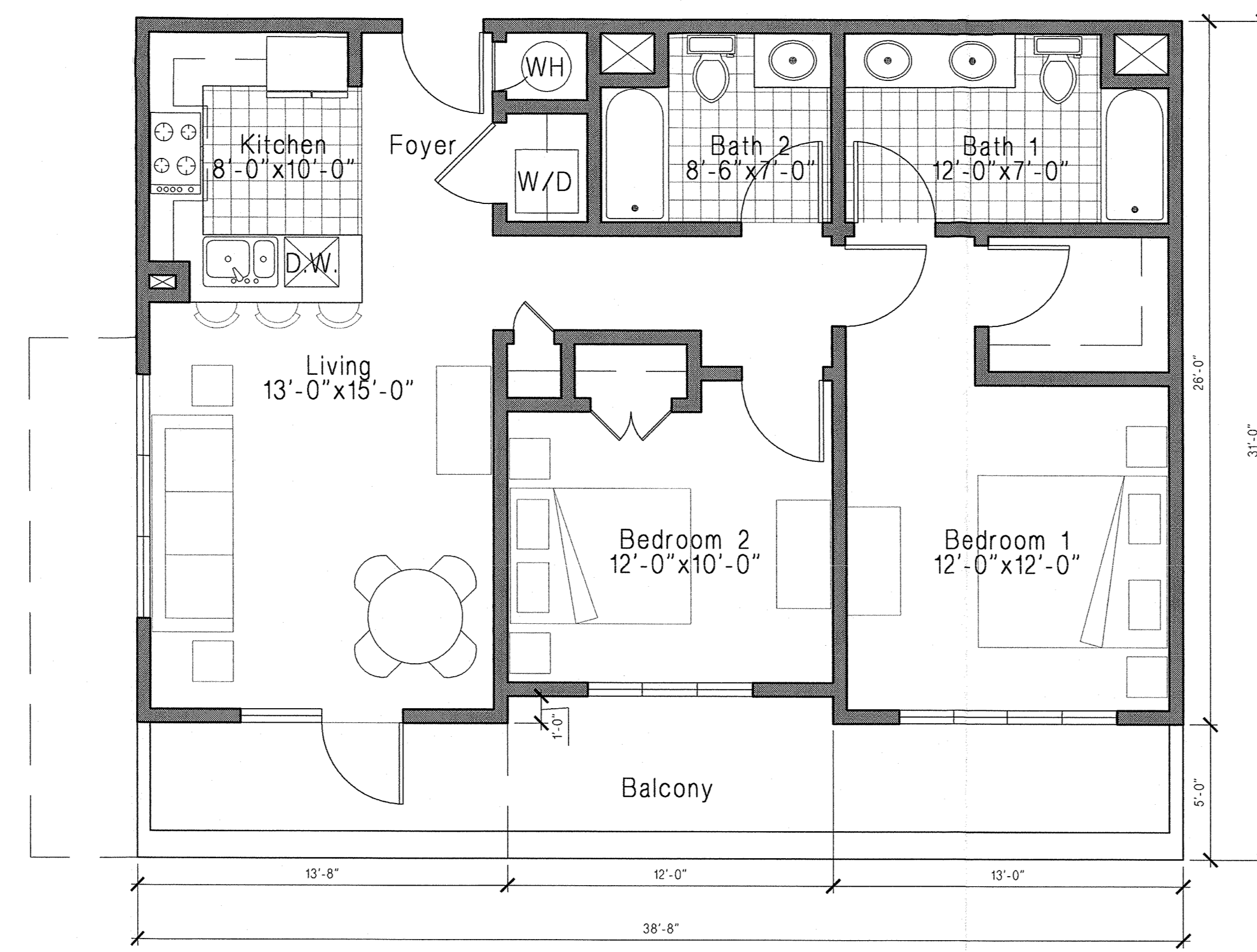
SIGNATURE *Deane M. Muebach*

**A2.11**

1 Building 'C1.1' & 'C1.2' Roof Plan  
scale: 1/8" = 1'-0"







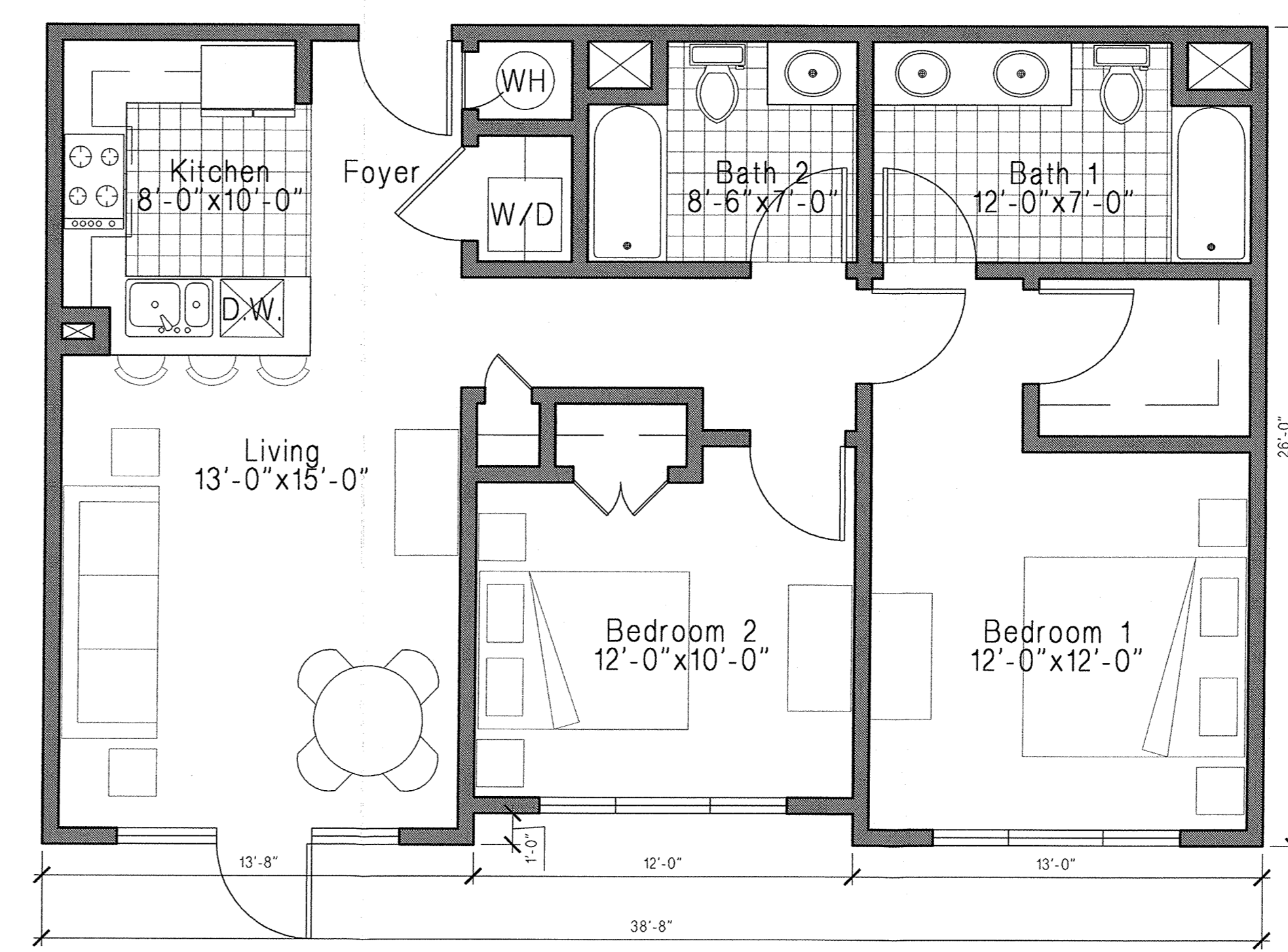
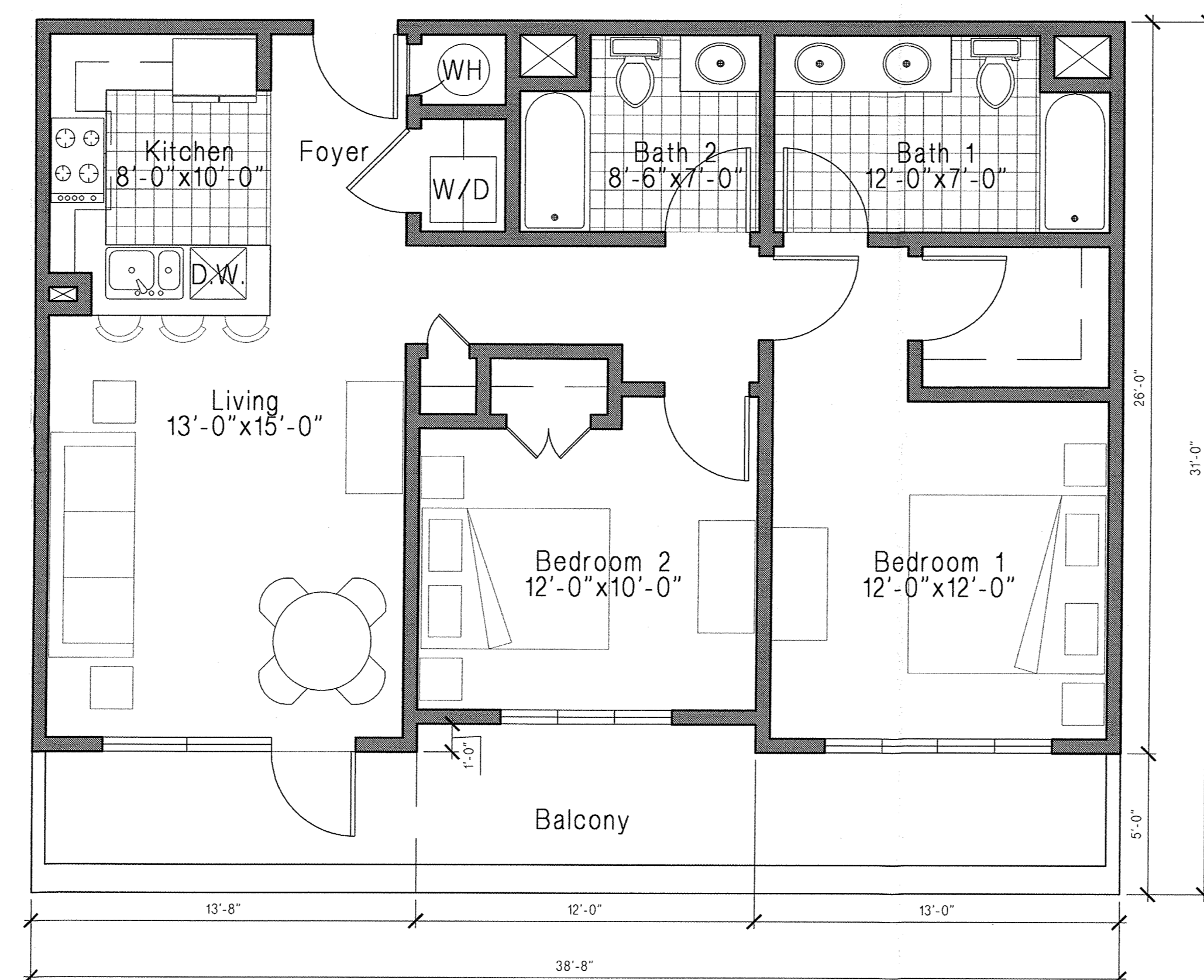
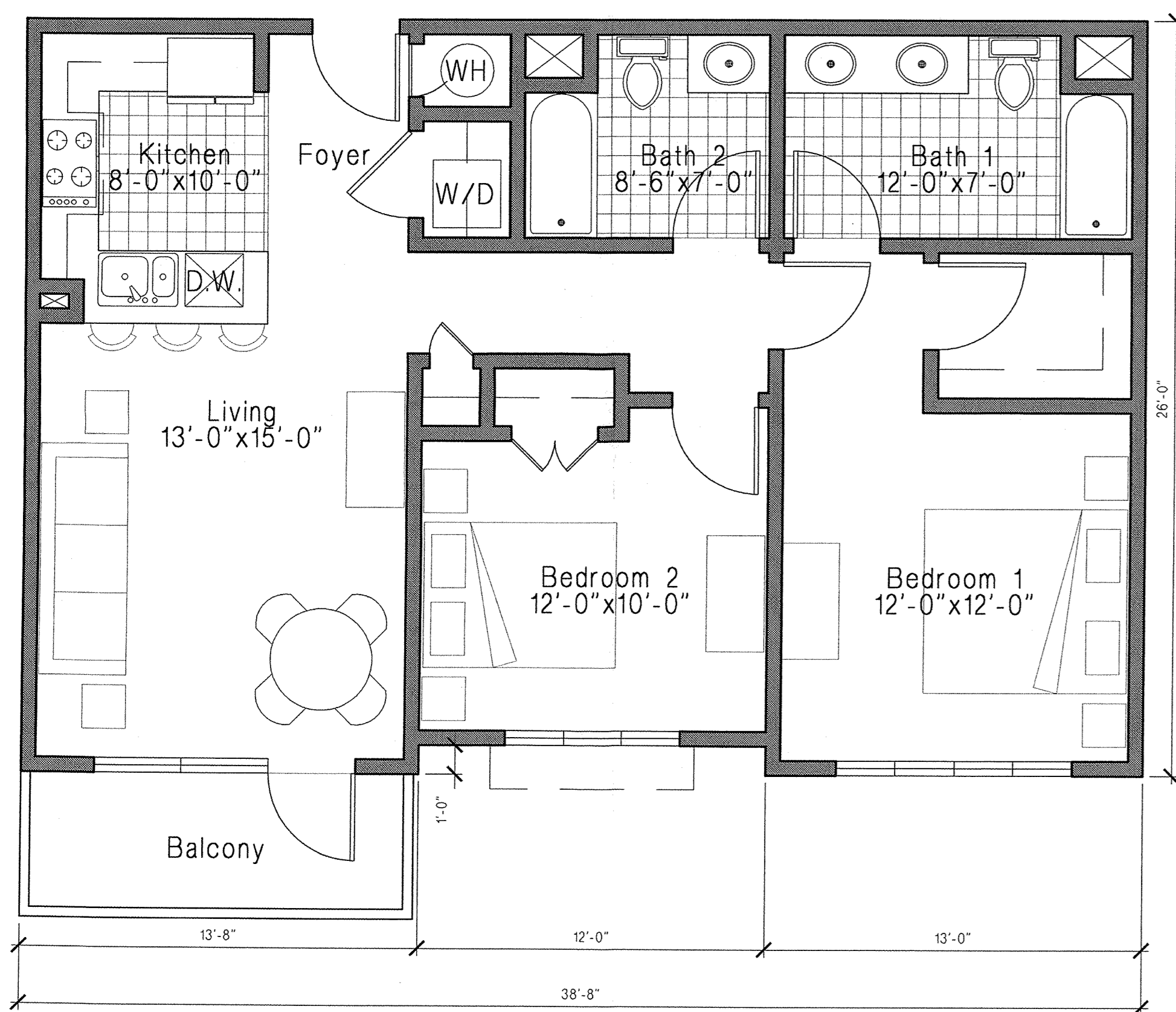
6 Unit Plan - A - third  
scale: 1/4" = 1'-0"

4 Unit Plan - A - second  
scale: 1/4" = 1'-0"

2 Unit Plan - A - ground  
scale: 1/4" = 1'-0"

Space	Area	Balcony Area	Balcony Dimension
Unit A - ground	993 sf	205 sf	6'-0" x 38'-6"
Unit A - second	993 sf	205 sf	6'-0" x 38'-6"
Unit A - third	993 sf	152 sf	4'-8" x 28'-0"
Unit B - ground	993 sf	205 sf	6'-0" x 38'-6"
Unit B - second	993 sf	205 sf	6'-0" x 38'-6"
Unit B - third	993 sf	67 sf	13'-6" x 5'-0"
Unit C	806 sf	97 sf	7'-9" x 12'-6"
Unit D	806 sf	97 sf	7'-9" x 12'-6"
Unit E	806 sf	97 sf	7'-9" x 12'-6"
Unit F (ML)	1,948 sf	75 total - yard	Varies
Unit G (ML)	2,132 sf	75 total - yard	Varies
Unit H (ML)	2,215 sf	308 total - yard	Varies
Unit House (ML)	1,977 sf	110 total - yard	Varies

Note: (ML) = Multi-Level Unit



5 Unit Plan - B - third  
scale: 1/4" = 1'-0"

3 Unit Plan - B - second  
scale: 1/4" = 1'-0"

1 Unit Plan - B - ground  
scale: 1/4" = 1'-0"

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27

**M.W. STEELE**  
GROUP, INC.  
ARCHITECTURE | URBAN DESIGN  
325 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619.230.0325  
FACSIMILE: 619.230.0330  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: zjb  
Checked: -

Revision 1: 02.17.06 initial submittal  
Revision 2: 08.11.06 second submittal  
Revision 3: 08.09.07 third submittal  
Revision 4: 08.17.07 fourth submittal  
Revision 5: -  
Revision 6: -  
Revision 7: -  
Revision 8: -  
Revision 9: -  
Revision 10: -  
Revision 11: -  
Revision 12: -

**Ocean View Village**

Legal Description:  
The Southeast Quarter of the Southwest Quarter  
of the Northeast Quarter of Section 29, Township 18 South  
Range 1 West, San Bernardino meridian, in the County of  
San Diego, State of California, according to official  
plat thereof.

NOT FOR CONSTRUCTION

Unit Plan - A  
Unit Plan - B

Assessor's Parcel Number:

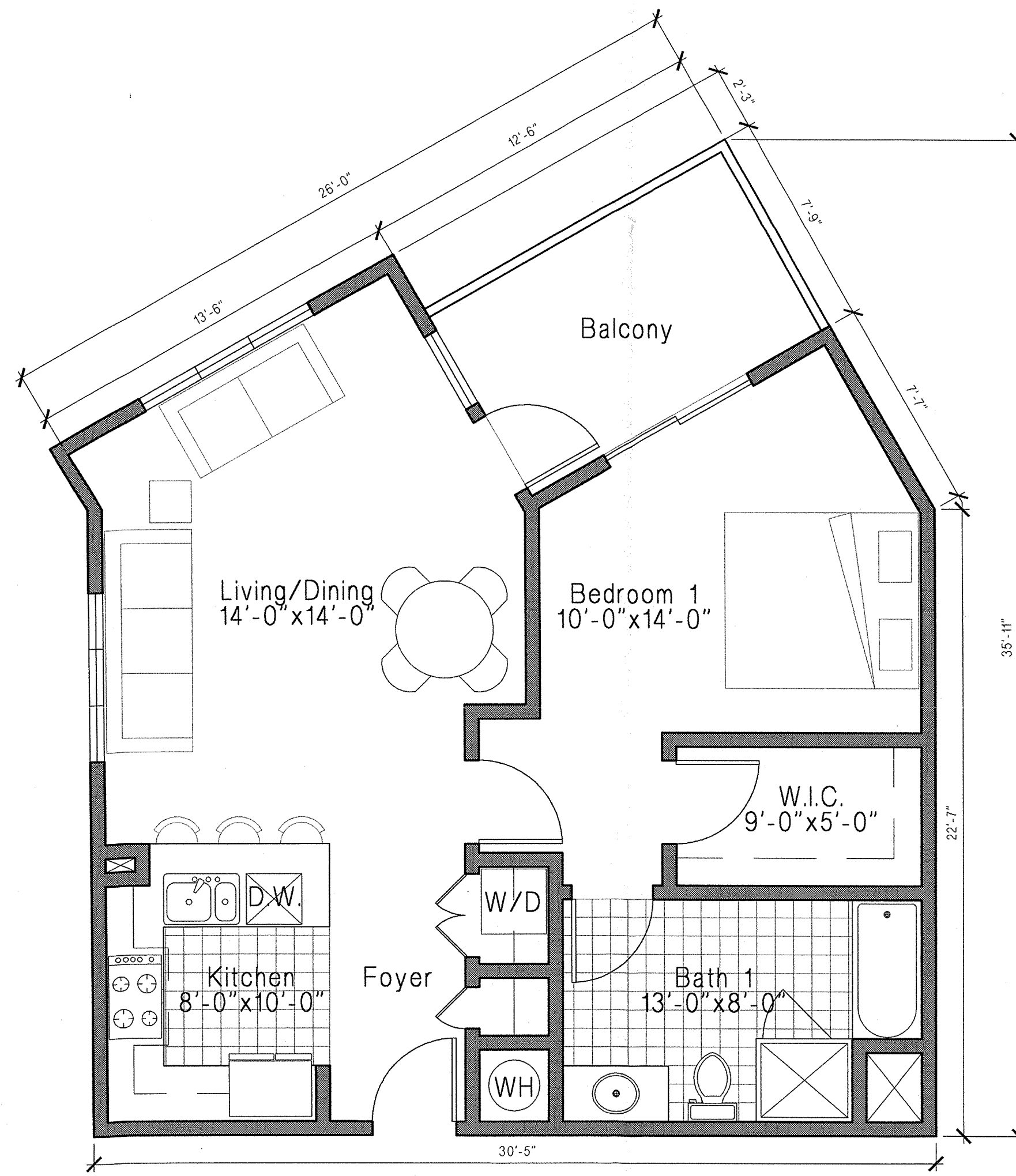
645-050 APPROVED EXHIBIT "A"

PROJECT NO. PTS# 96580  
APPROVAL NO(S) SDP# 320732  
UPPIN# 3/4/02-1 - REC# 2005-374/030  
APPROVED BY HEARING OFFICER, PLANNING  
COMMISSION/CITY COUNCIL ON 12/1/08  
SIGNATURE *Deane Muebach*

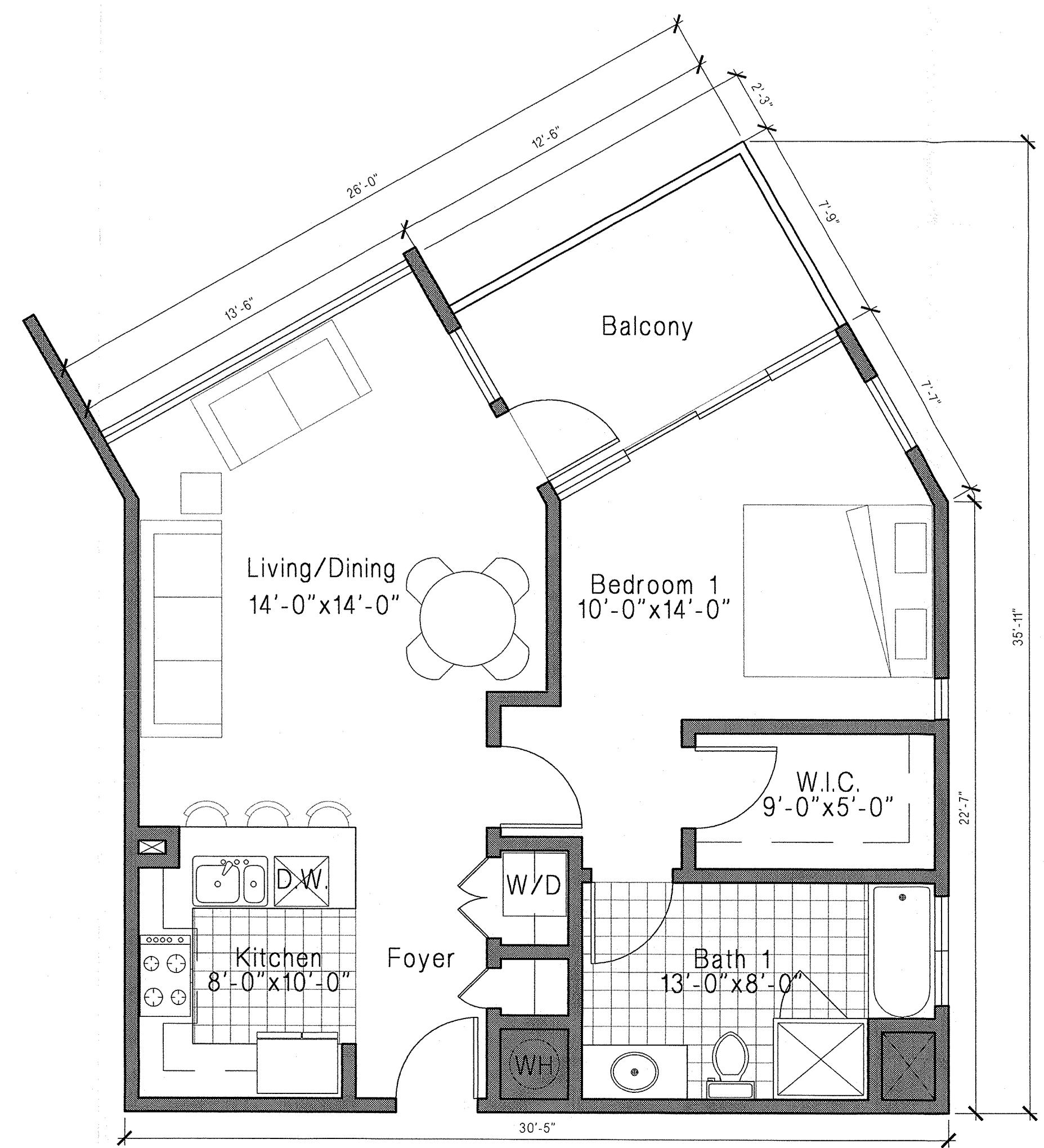
**A3.01**

Ocean View Village

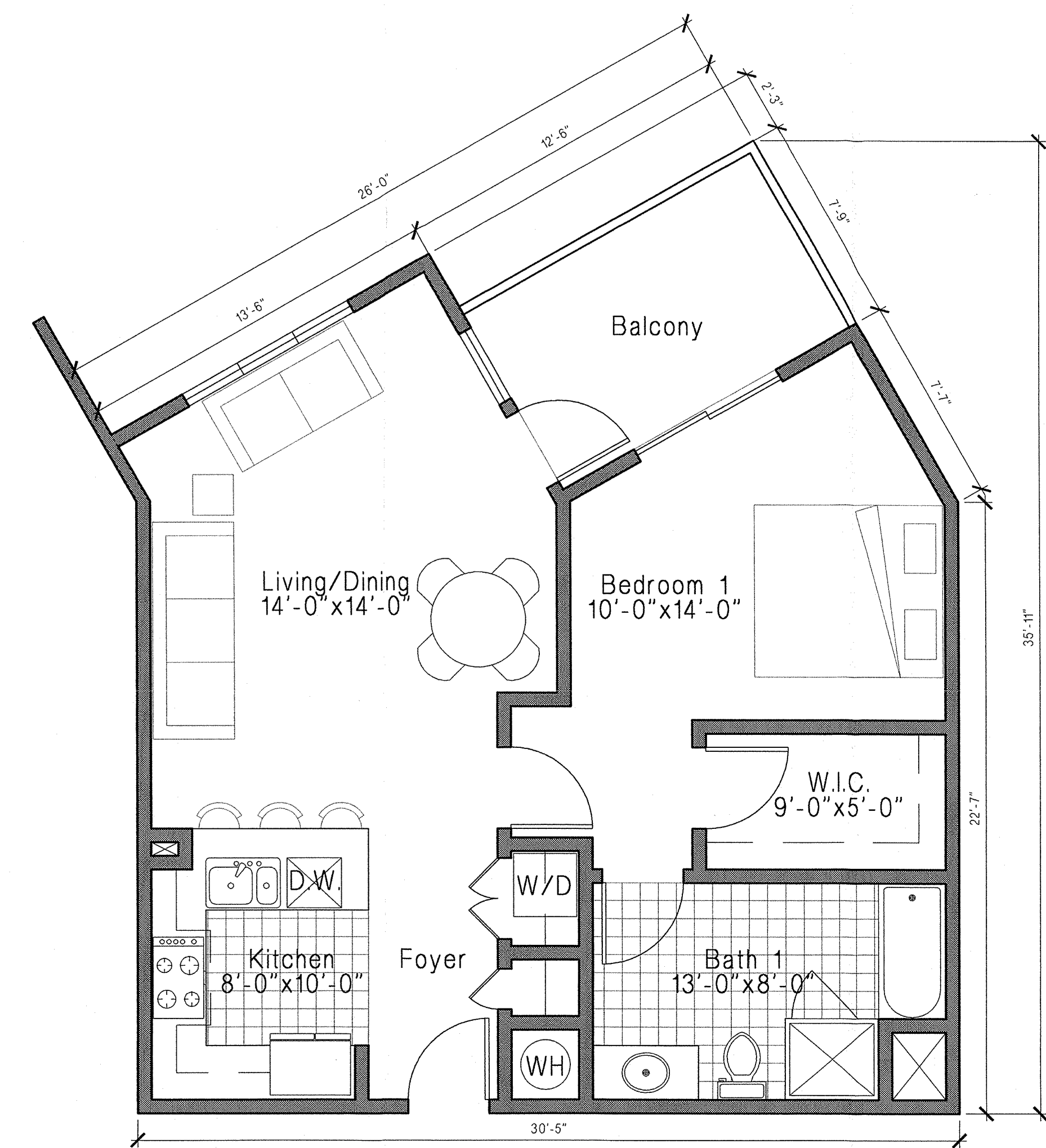
Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone



6 Unit Plan - E  
scale: 1/4" = 1'-0"



4 Unit Plan - D  
scale: 1/4" = 1'-0"

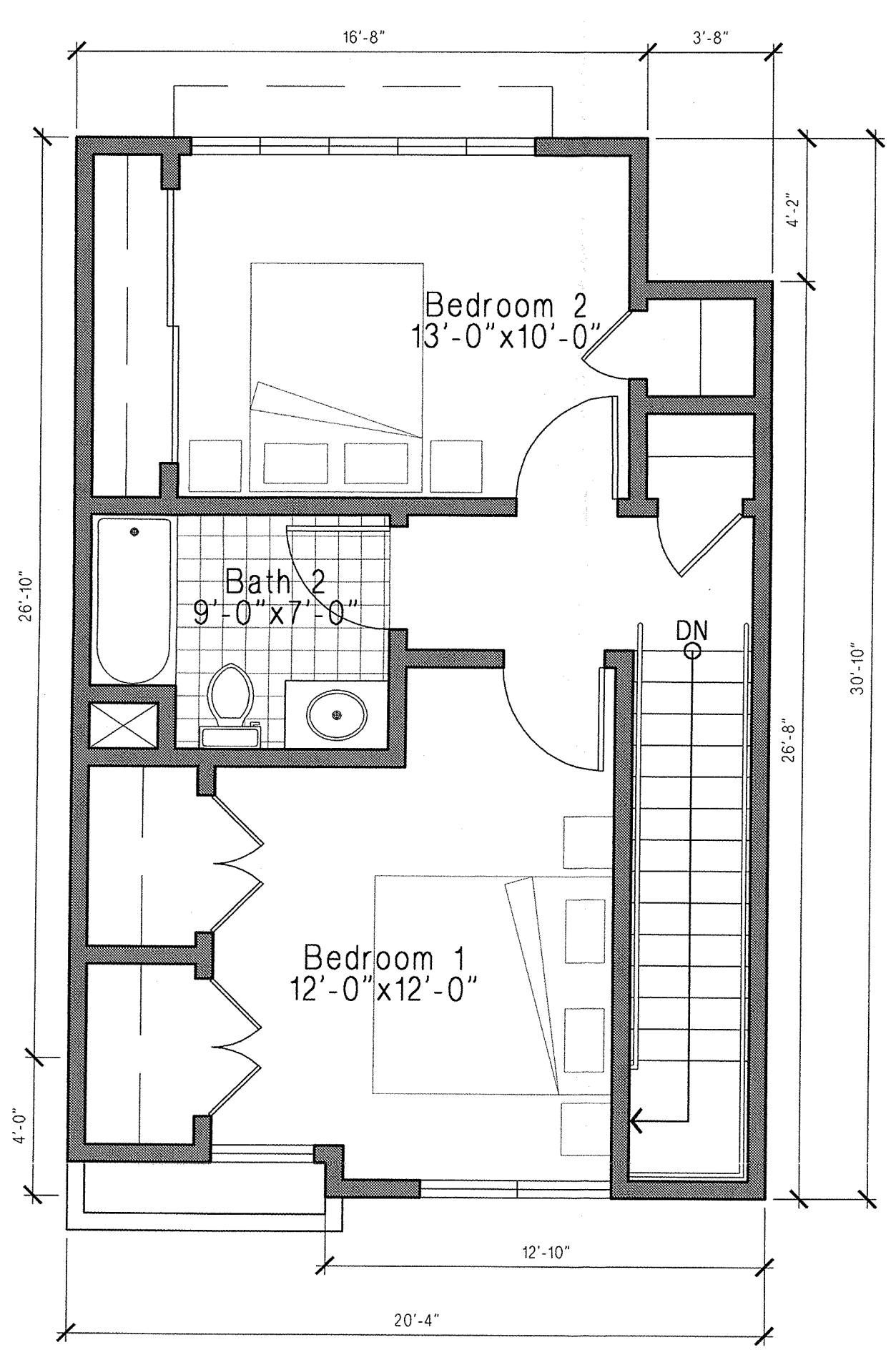


2 Unit Plan - C  
scale: 1/4" = 1'-0"

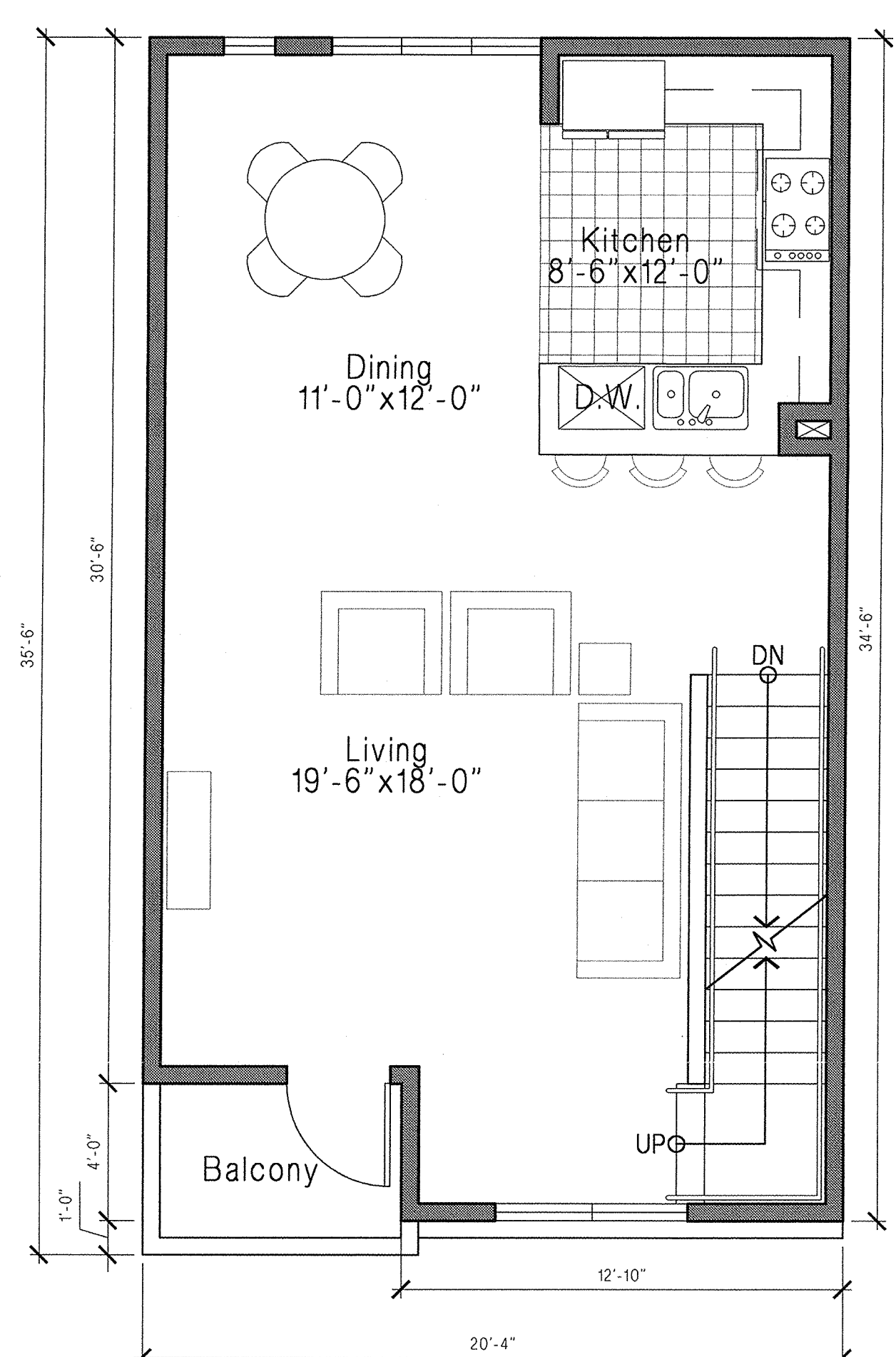
Unit Type Area Summary

Space	Area	Balcony Area	Balcony Dimension
Unit A - ground	993 sf	205 sf	6'-0" x 38'-6"
Unit A - second	993 sf	205 sf	6'-0" x 38'-6"
Unit A - third	993 sf	132 sf	4'-0" x 28'-0"
Unit B - ground	993 sf	205 sf	6'-0" x 38'-6"
Unit B - second	993 sf	205 sf	6'-0" x 38'-6"
Unit B - third	993 sf	97 sf	15'-0" x 5'-0"
Unit C	993 sf	97 sf	7'-0" x 12'-6"
Unit D	826sf	97 sf	7'-0" x 12'-6"
Unit E	826 sf	97 sf	7'-0" x 12'-6"
Unit F - (ML)	1,948 sf	75 total = yard	Varies
Unit G - (ML)	2,132 sf	75 total = yard	Varies
Unit H - (ML)	2,212 sf	188 total = yard	Varies
Unit House - (ML)	1,977 sf	110 total = yard	Varies

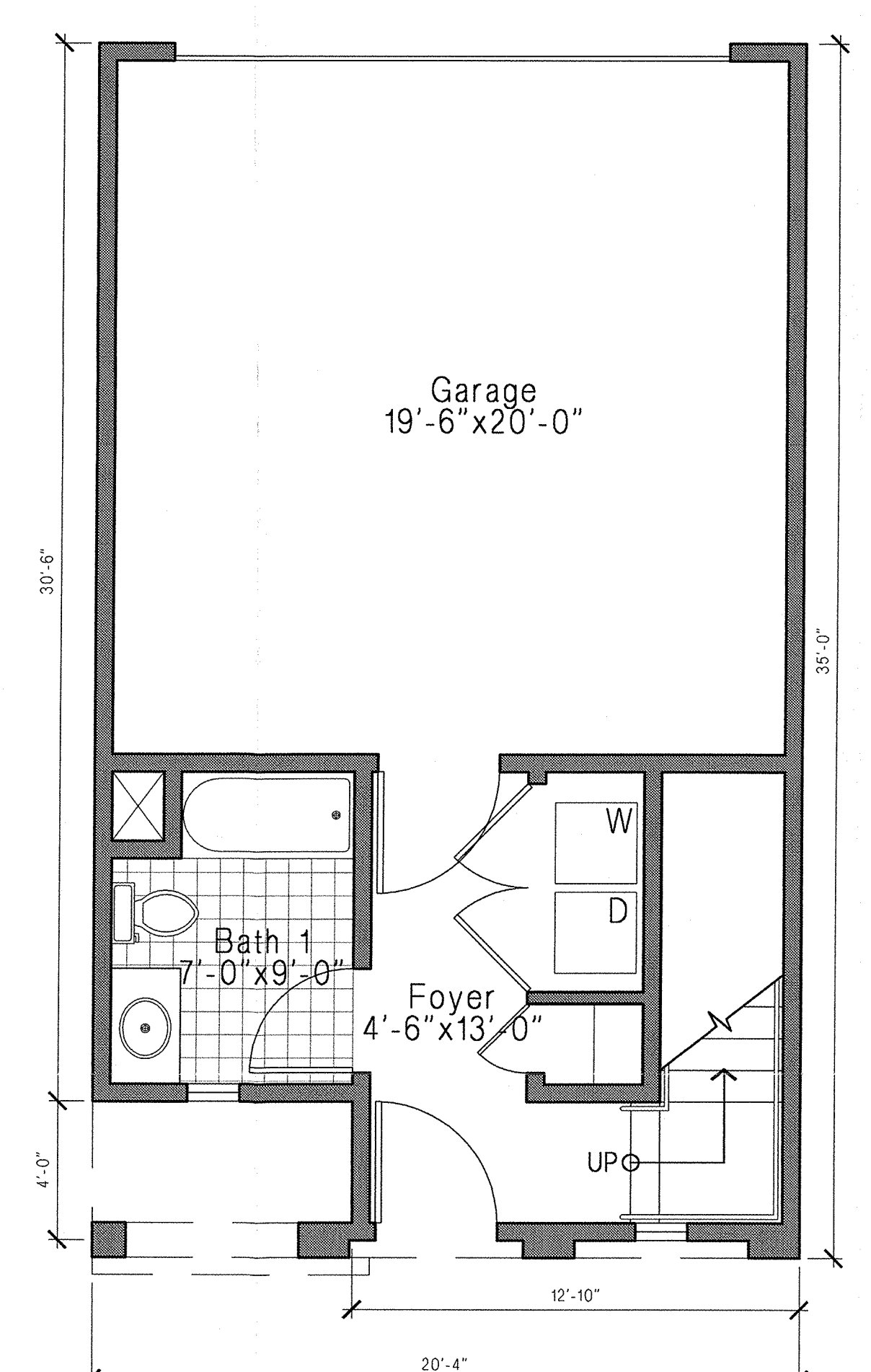
Note: (ML) = Multi-Level Unit



5 Unit Plan - F - third  
scale: 1/4" = 1'-0"



3 Unit Plan - F - second  
scale: 1/4" = 1'-0"



1 Unit Plan - F - ground  
scale: 1/4" = 1'-0"

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27

**M.W. STEELE**  
GROUP, INC.  
ARCHITECTURE / URBAN DESIGN  
325 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619.230.0325  
FACSIMILE: 619.230.0333  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number:	0470
Original Date:	September 01, 2005
Drawn:	zja
Checked:	-

Revision 1:	02.17.06 initial submittal
Revision 2:	08.11.08 second submittal
Revision 3:	06.09.07 third submittal
Revision 4:	08.17.07 fourth submittal
Revision 5:	-
Revision 6:	-
Revision 7:	-
Revision 8:	-
Revision 9:	-
Revision 10:	-
Revision 11:	-
Revision 12:	-

Ocean View Village

Legal Description:  
The Southeast Quarter of the Southwest Quarter  
of the Northeast Quarter of Section 29, Township 18 South  
Range 1 West, San Bernardino meridian, in the County of  
San Diego, State of California, according to official  
plat thereof.

- NOT FOR CONSTRUCTION**
- Unit Plan - C
  - Unit Plan - D
  - Unit Plan - E
  - Unit Plan - F

Assessor's Parcel Number:  
645-050-01

**APPROVED EXHIBIT "A"**

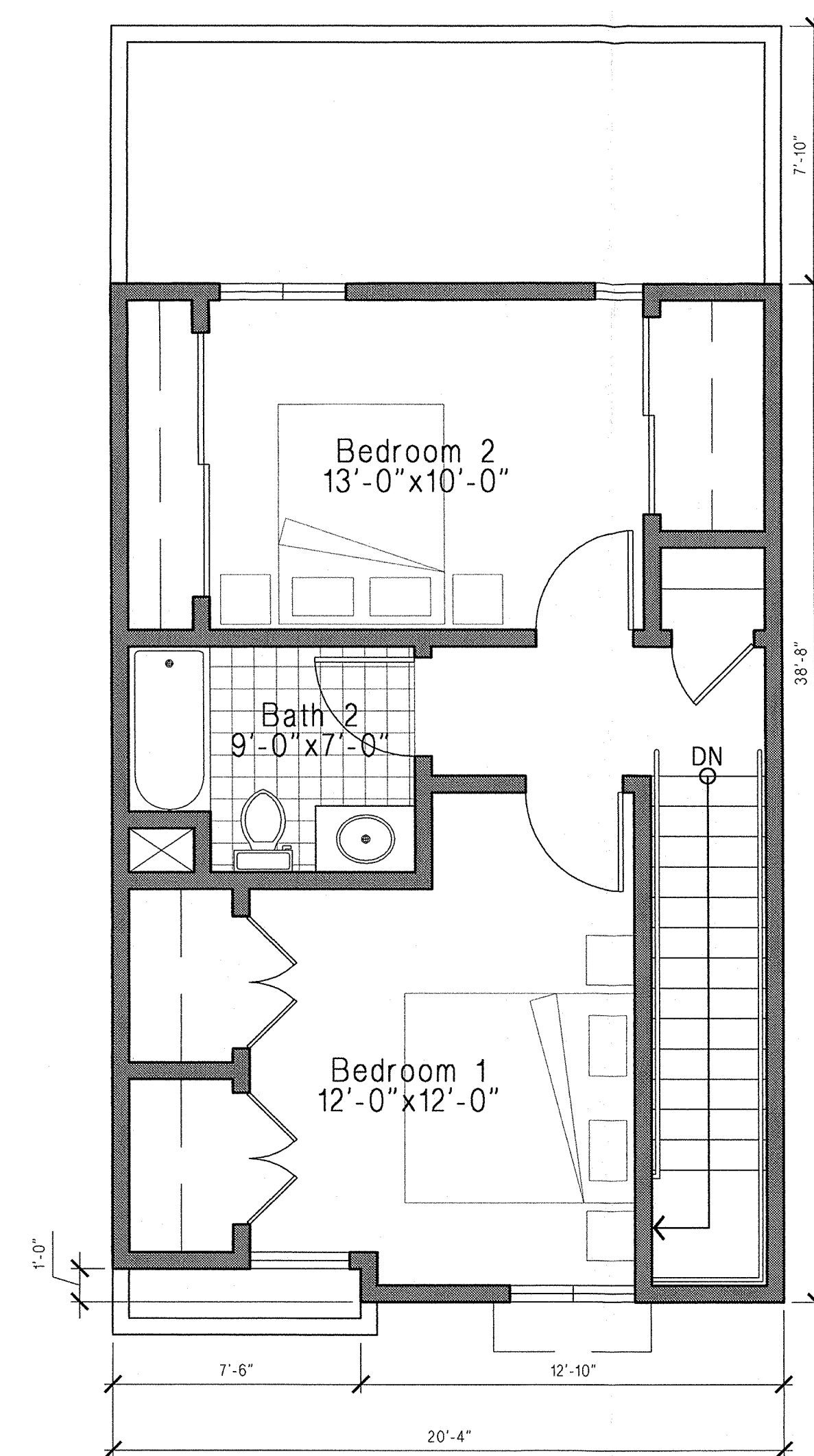
PROJECT NO. PTS# 96580

APPROVAL NO. (S) SDP# 320732  
W/M# 3/1/12/05 - REVISED # 3/14/05

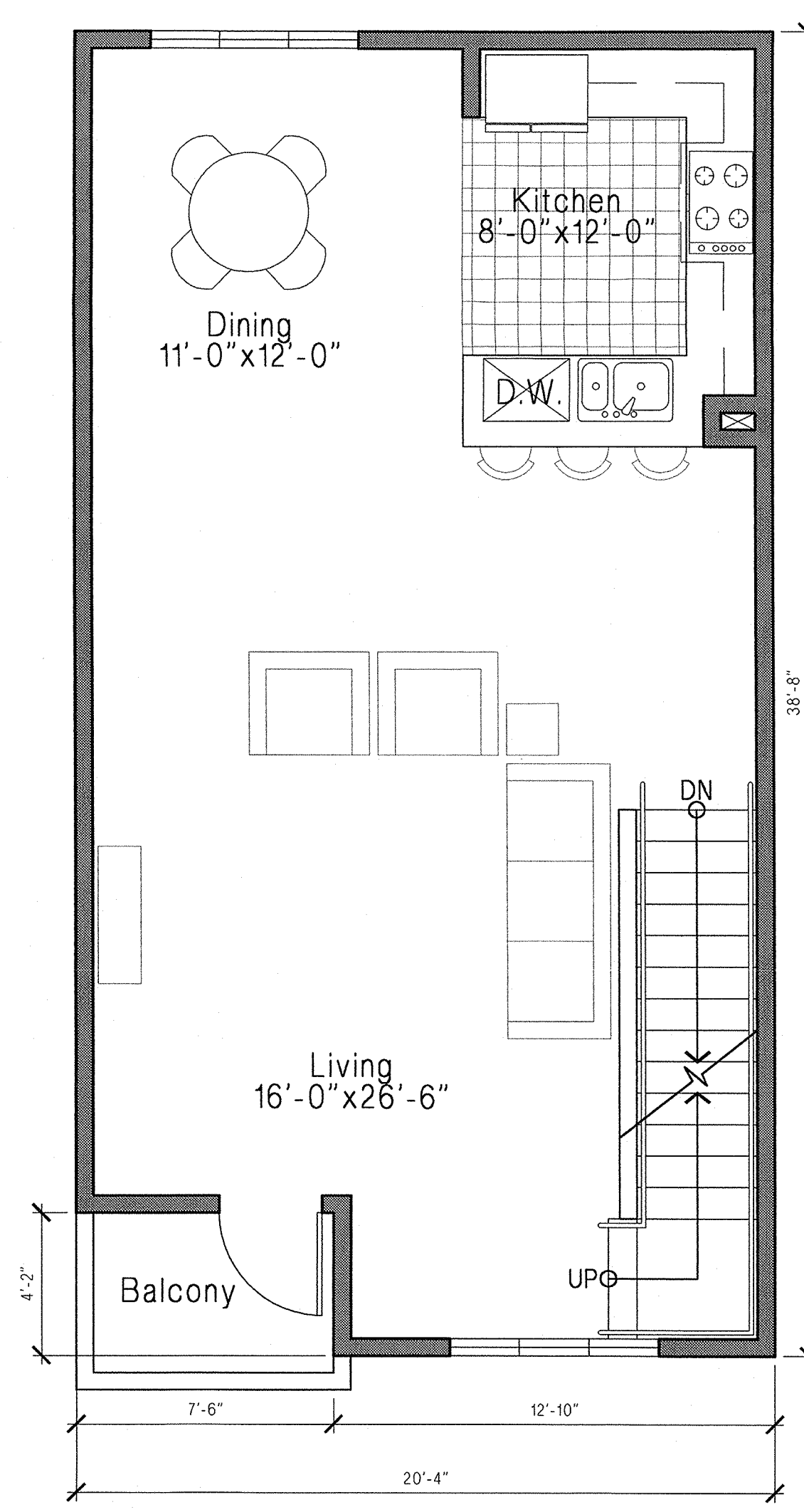
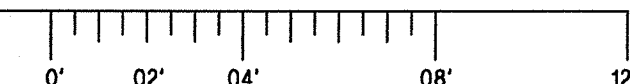
APPROVED BY: HEARING OFFICER, PLANNING  
COMMISSION, CITY COUNCIL ON 12/1/08

SIGNATURE Glenn W. Mubach

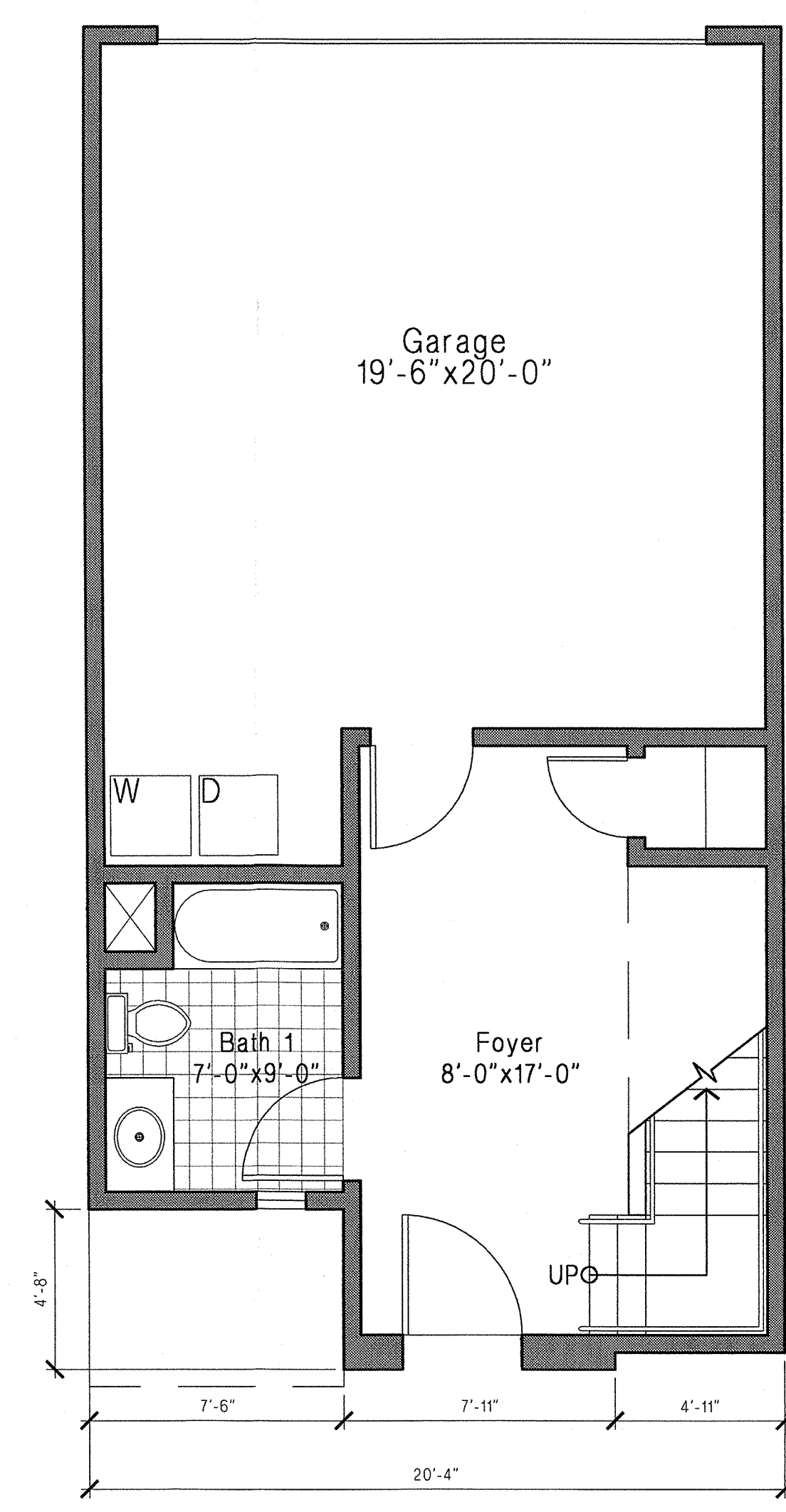
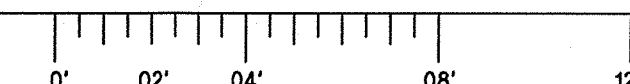
**A3.02**



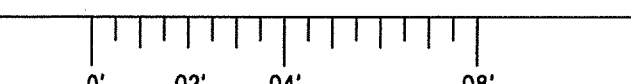
6 Unit Plan - G - third  
scale: 1/4" = 1'-0"



4 Unit Plan - G - second  
scale: 1/4" = 1'-0"



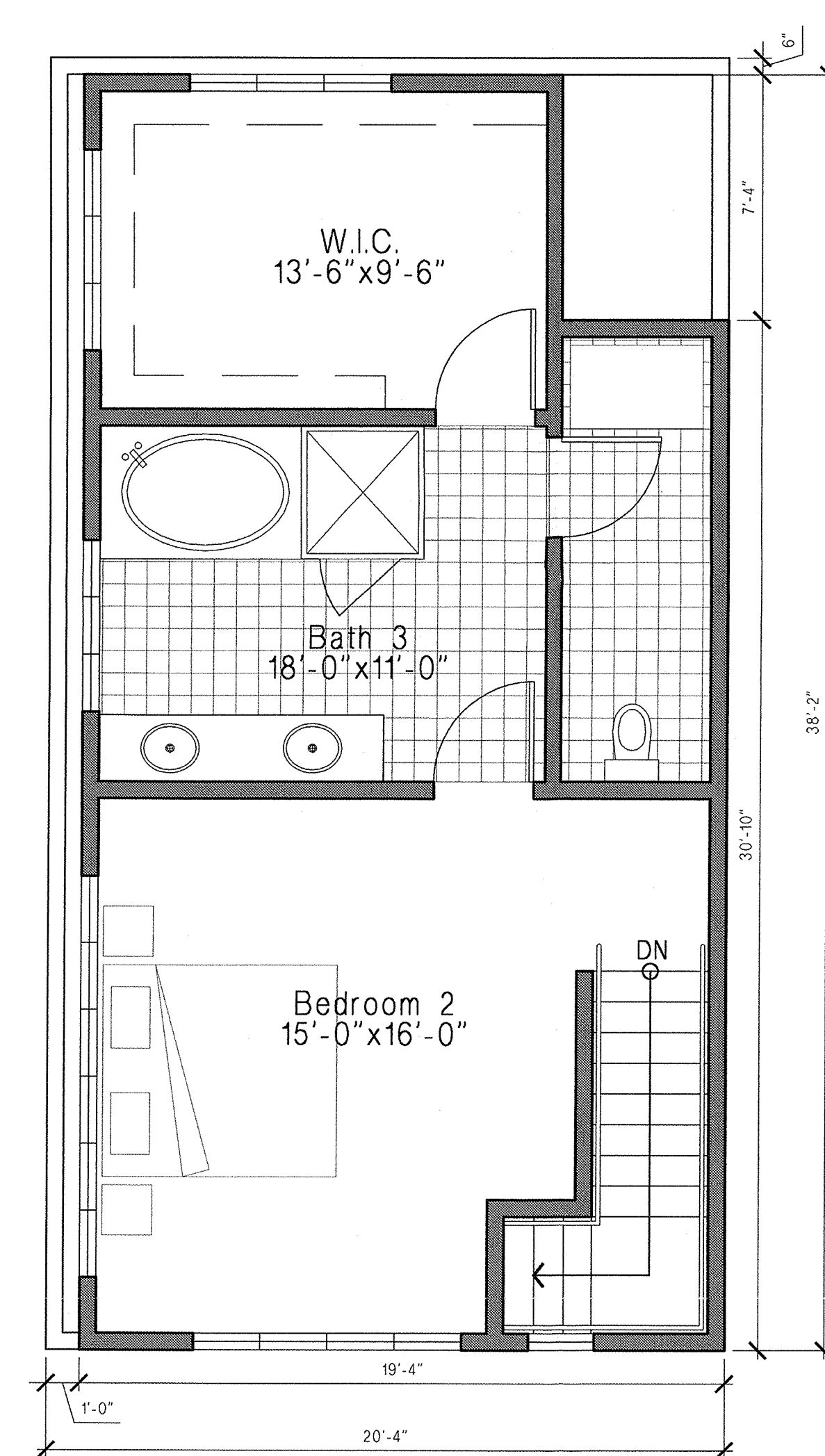
2 Unit Plan - G - ground  
scale: 1/4" = 1'-0"



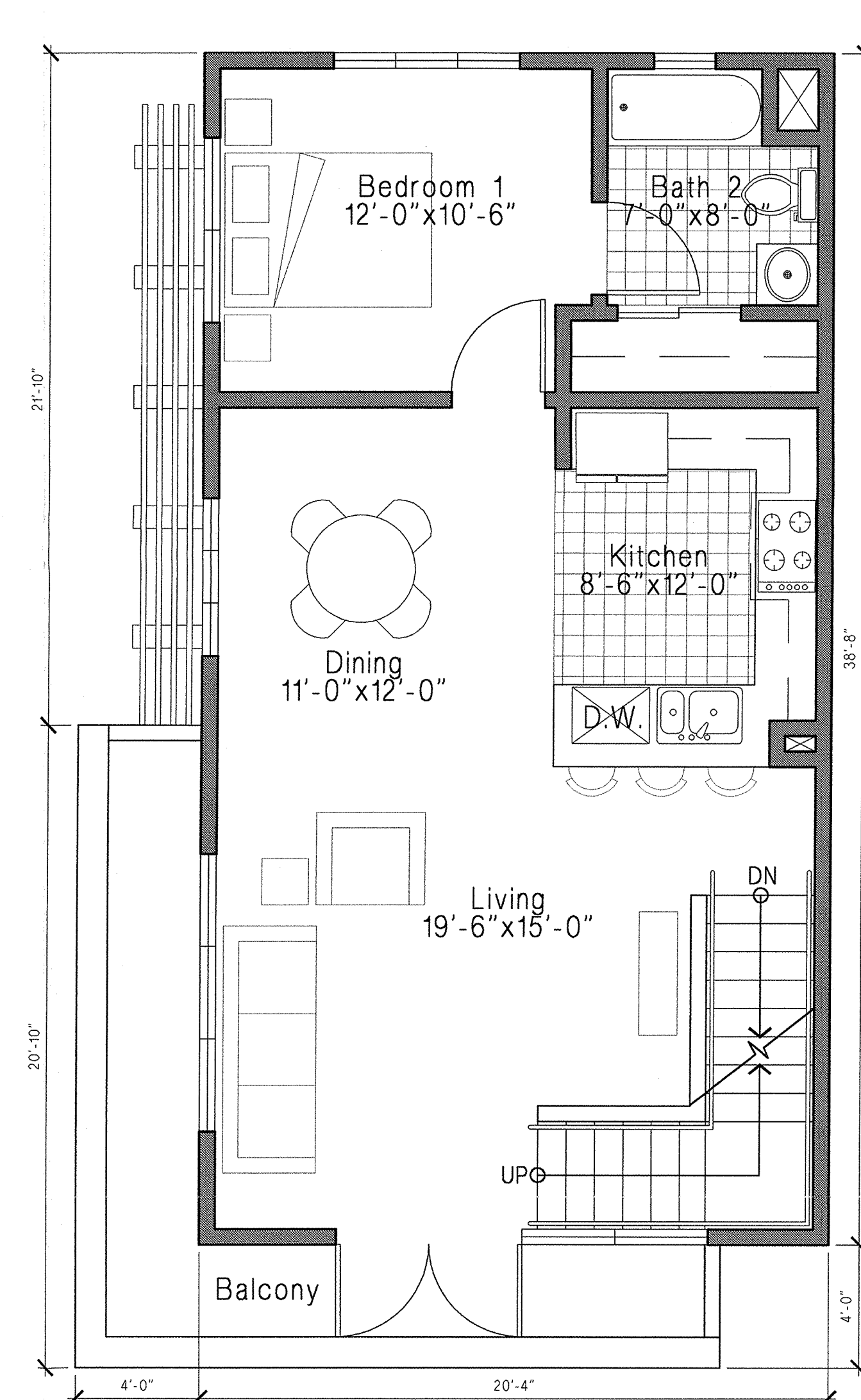
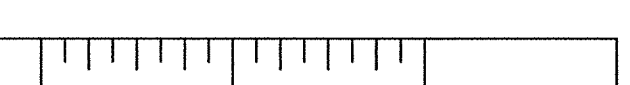
Unit Type Area Summary

Space	Area	Balcony Area	Balcony Dimension
Unit A - ground	993 sf	205 sf	6'-0" x 38'-6"
Unit A - second	993 sf	205 sf	6'-0" x 38'-6"
Unit A - third	993 sf	152 sf	4'-6" x 38'-6"
Unit B - ground	993 sf	205 sf	6'-0" x 38'-6"
Unit B - second	993 sf	205 sf	6'-0" x 38'-6"
Unit B - third	993 sf	67 sf	15'-0" x 5'-0"
Unit C	608 sf	97 sf	7'-0" x 12'-0"
Unit D	806 sf	97 sf	7'-0" x 12'-0"
Unit E	806 sf	97 sf	7'-0" x 12'-0"
Unit F (ML)	1,948 sf	75 total + yard	Varies
Unit G (ML)	2,132 sf	75 total + yard	Varies
Unit H (ML)	2,215 sf	108 total + yard	Varies
Unit House (ML)	1,977 sf	110 total + yard	Varies

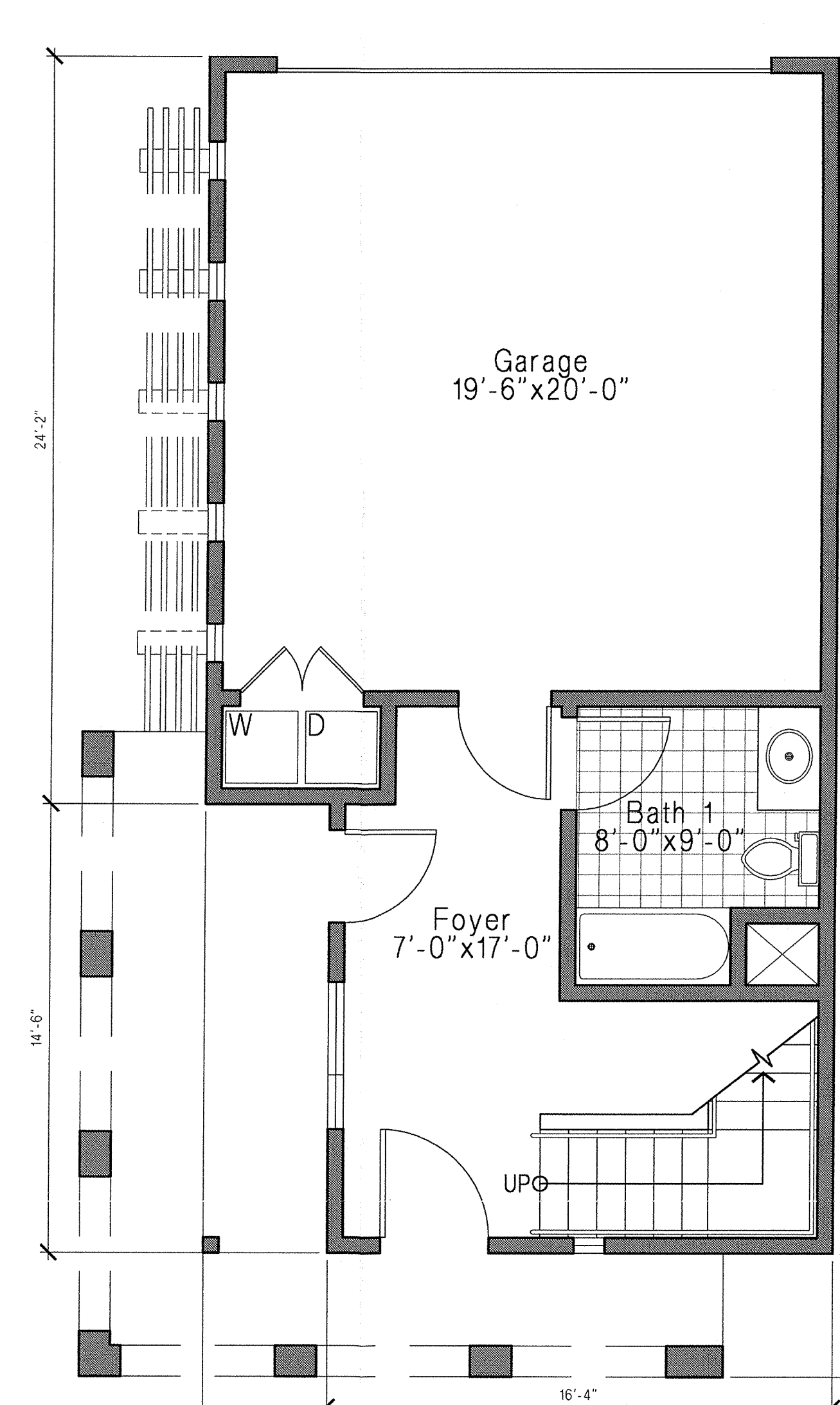
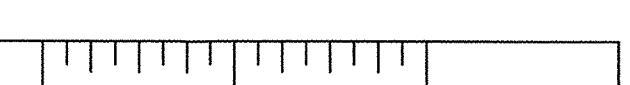
Note: (ML) = Multi-Level Unit



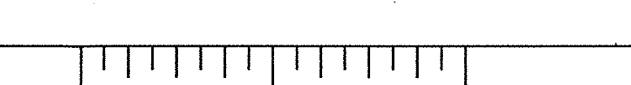
5 Unit Plan - H - third  
scale: 1/4" = 1'-0"



3 Unit Plan - H - second  
scale: 1/4" = 1'-0"



1 Unit Plan - H - ground  
scale: 1/4" = 1'-0"



**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27

**M.W. STEELE**  
GROUP, INC.  
ARCHITECTURE | URBAN DESIGN  
325 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619.230.0325  
FACSIMILE: 619.230.0335  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: zja  
Checked: \_\_\_\_\_

Revision 1: 02.17.06 initial submittal  
Revision 2: 08.11.06 second submittal  
Revision 3: 06.03.07 third submittal  
Revision 4: 08.17.07 fourth submittal  
Revision 5: \_\_\_\_\_  
Revision 6: \_\_\_\_\_  
Revision 7: \_\_\_\_\_  
Revision 8: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 12: \_\_\_\_\_

**Ocean View Village**

Legal Description:  
The Southeast Quarter of the Southwest Quarter  
of the Northeast Quarter of Section 29, Township 18 South  
Range 1 West, San Bernardino meridian, in the County of  
San Diego, State of California, according to official  
plat thereof.

**NOT FOR CONSTRUCTION**  
Unit Plan - G  
Unit Plan - H

Assessor's Parcel Number:  
645-050-07  
**APPROVED EXHIBIT "A"**  
PROJECT NO. PTS # 96580  
APPROVAL NO(s) SDP# 320732  
1/27/14 # 201403-01 # Rezoning # 147830  
APPROVED BY: HEARING OFFICER, PLANNING  
COMMISSION (CITY COUNCIL) ON 12/1/12  
SIGNATURE Deane M. J. Beach

**A3.03**

Unit Type Area Summary

Space	Area	Balcony Area	Balcony Dimension
Unit A - ground	993 sf	205 sf	6'-0" x 38'-0"
Unit A - second	993 sf	205 sf	6'-0" x 38'-0"
Unit A - third	993 sf	152 sf	4'-6" x 28'-0"
Unit B - ground	993 sf	205 sf	6'-0" x 38'-0"
Unit B - second	993 sf	205 sf	6'-0" x 38'-0"
Unit B - third	993 sf	67 sf	13'-0" x 5'-0"
Unit C	826 sf	97 sf	7'-9" x 12'-0"
Unit D	826 sf	97 sf	7'-9" x 12'-0"
Unit E	826 sf	97 sf	7'-9" x 12'-0"
Unit F (ML)	1,348 sf	75 total + yard	Varies
Unit G (ML)	2,132 sf	75 total + yard	Varies
Unit H (ML)	2,215 sf	368 total + yard	Varies
Unit House (ML)	1,577 sf	110 total + yard	Varies

Note: (ML) = Multi-Level Unit

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27

**M.W. STEELE**  
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SAN DIEGO, CA 92101  
TELEPHONE: 619.230.0826  
FACSIMILE: 619.230.0335  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: zja  
Checked: -

Revision 1: 02.17.06 initial submittal  
Revision 2: 08.13.06 second submittal  
Revision 3: 03.09.07 third submittal  
Revision 4: 08.17.07 fourth submittal  
Revision 5: \_\_\_\_\_  
Revision 6: \_\_\_\_\_  
Revision 7: \_\_\_\_\_  
Revision 8: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 12: \_\_\_\_\_

Ocean View Village

Legal Description:

The Southeast Quarter of the Southwest Quarter of the Southeast Quarter of Section 29, Township 18 South Range 1 West, San Bernardino meridian, in the County of San Diego, State of California, according to official plat thereof.

NOT FOR CONSTRUCTION  
House Plan

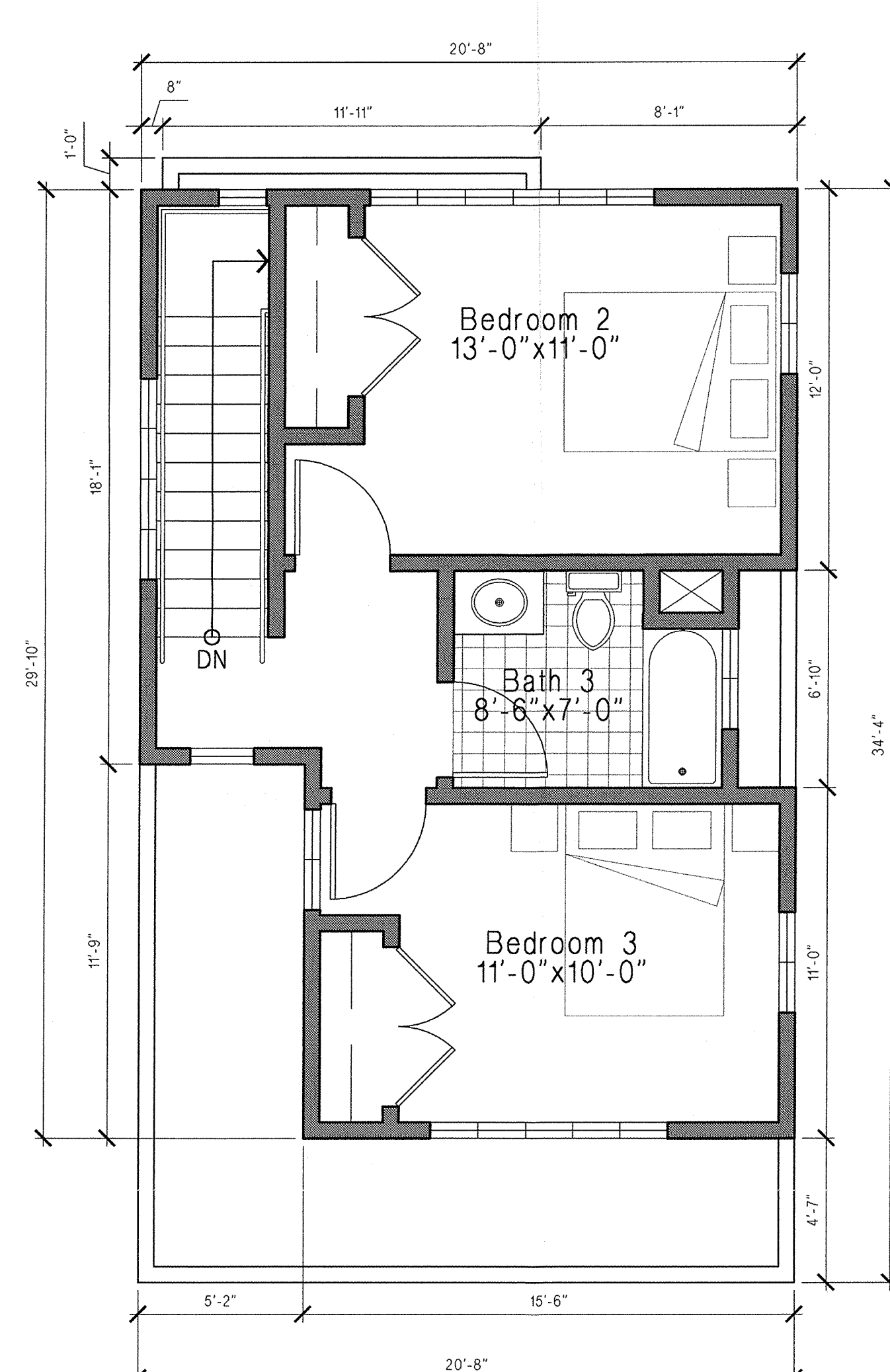
Assessor's Parcel Number:

645-050-07

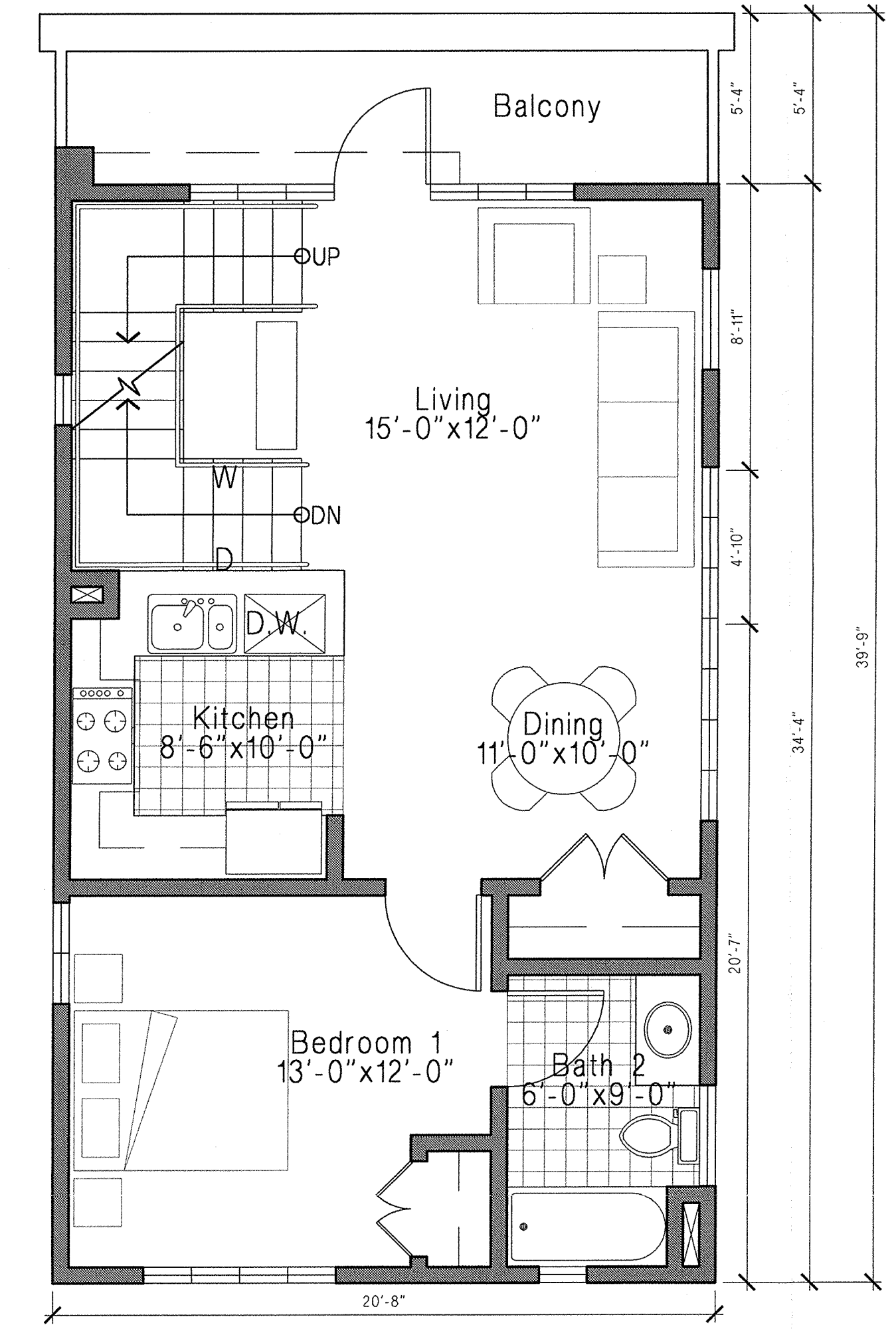
APPROVED EXHIBIT "A"

PROJECT NO. PTS # 96580  
APPROVAL NO(s) SDP # 320732  
1/11/08 3/16/07 + REVISE # 3/1/08  
APPROVED BY HEARING OFFICER, PLANNING COMMISSION/CITY COUNCIL ON 12/11/08  
SIGNATURE Alan W. Muebs

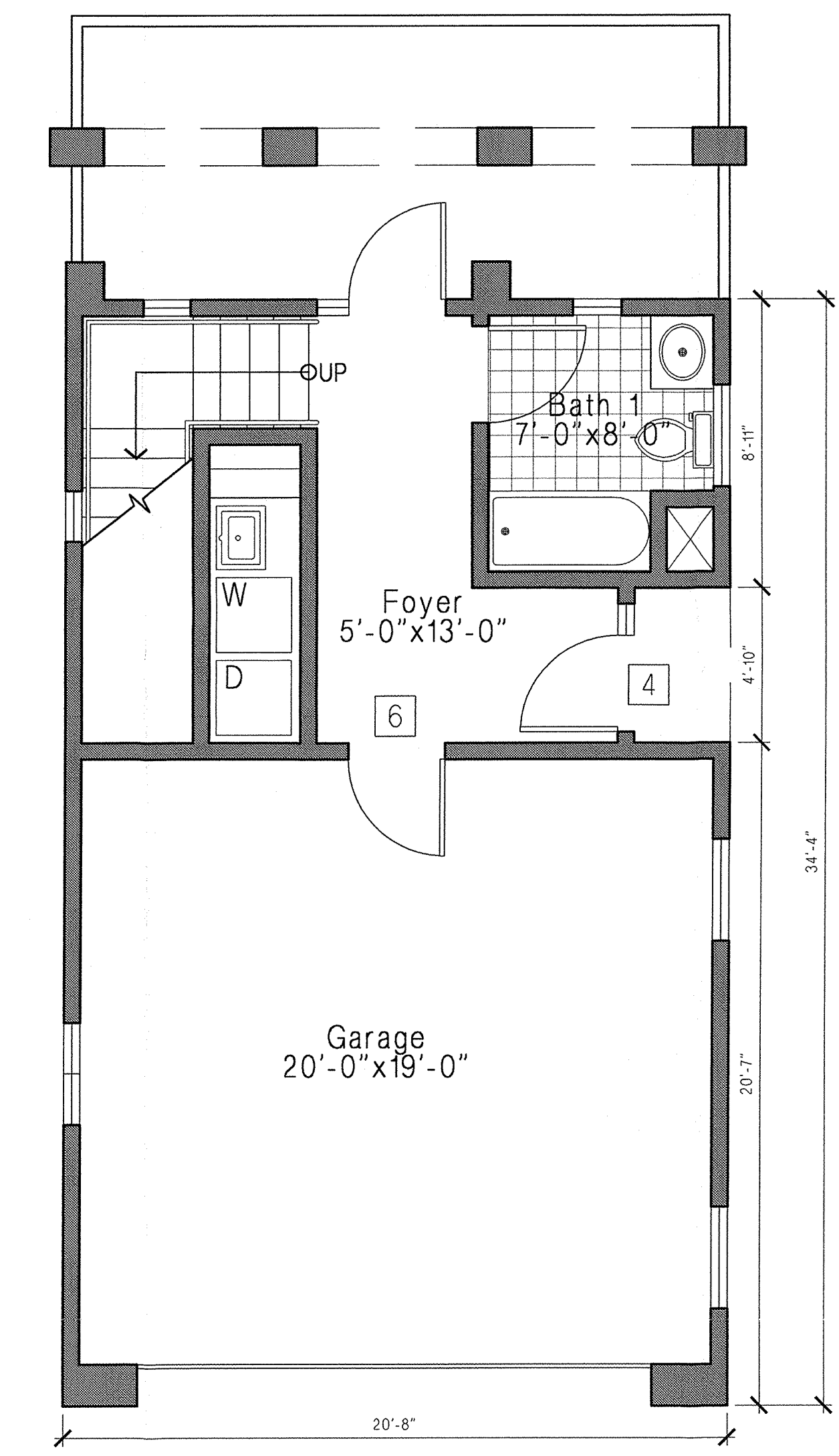
A3.04



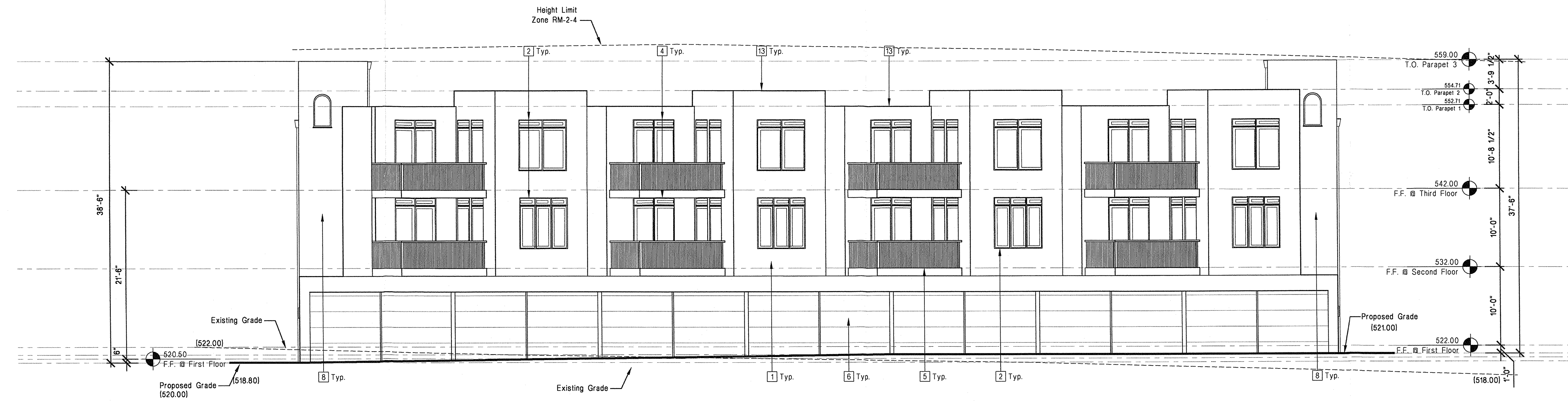
3 House Plan - third  
scale: 1/4" = 1'-0"



2 House Plan - second  
scale: 1/4" = 1'-0"

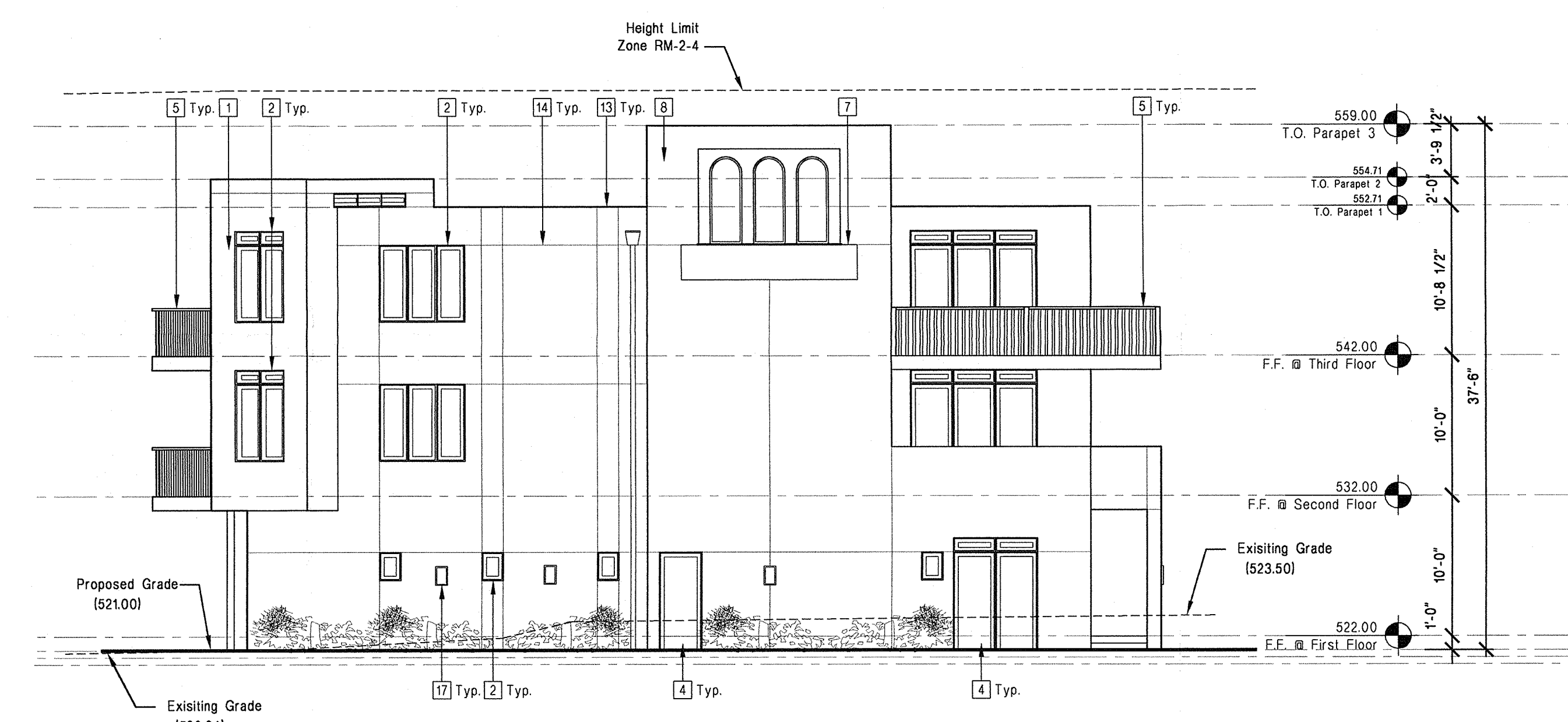


1 House Plan - ground  
scale: 1/4" = 1'-0"



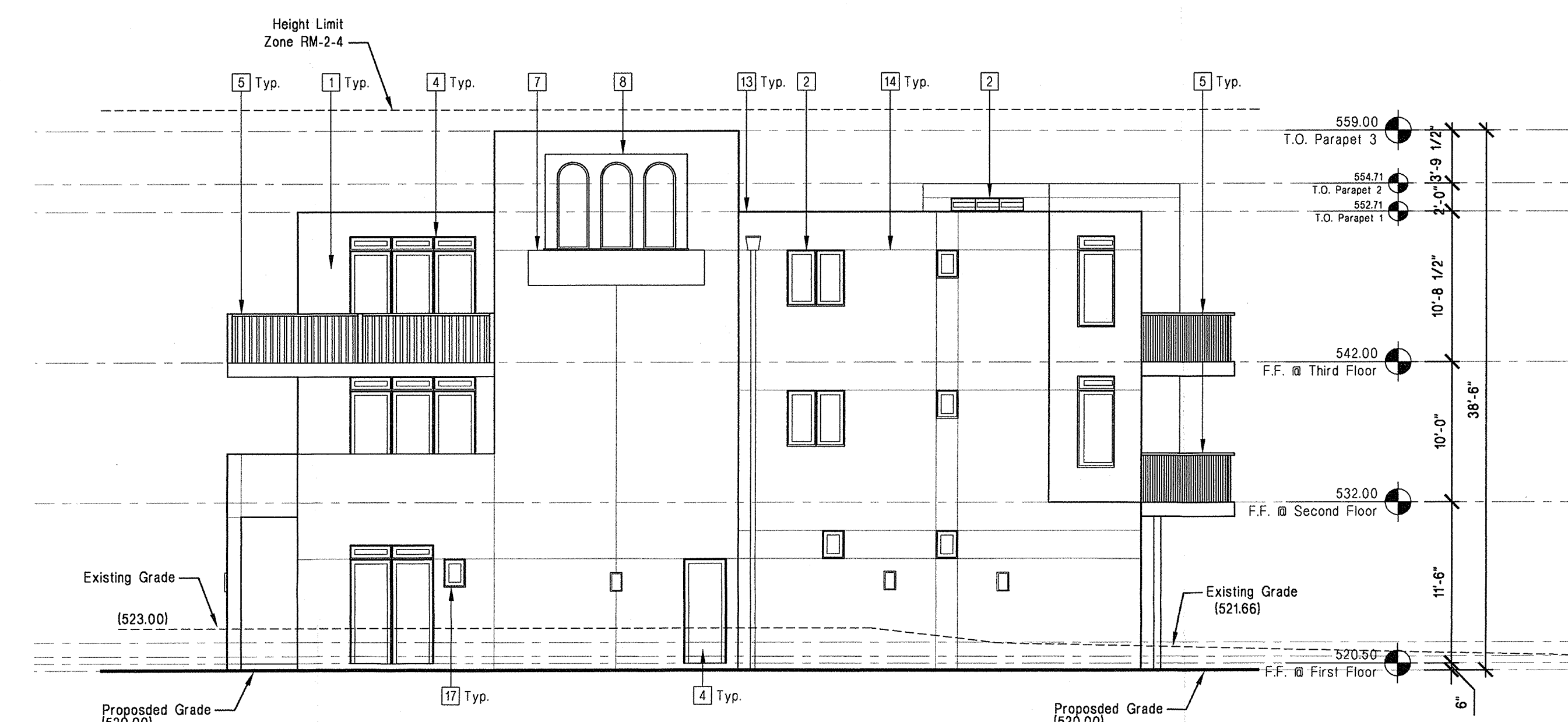
4 Building 'A2.4' East Elevation  
scale: 1/8" = 1'-0"

Building 'A2.1' 'A2.2' 'A2.3' 'A2.5' 'A2.6' Sim.



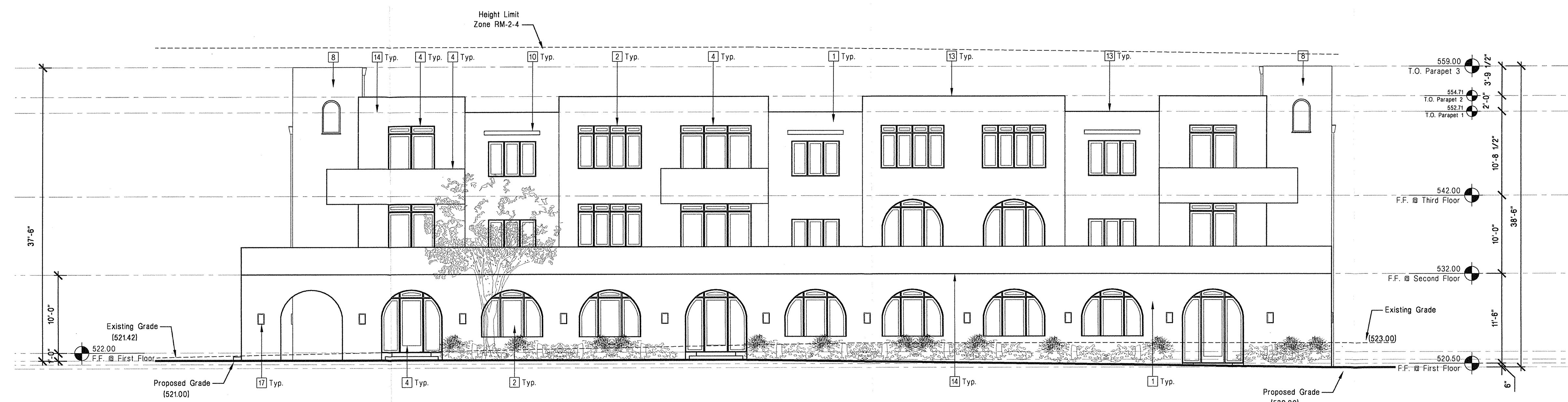
3 Building 'A2.4' North Elevation  
scale: 1/8" = 1'-0"

Building 'A2.1' 'A2.2' 'A2.3' 'A2.5' 'A2.6' Sim.



2 Building 'A2.4' South Elevation  
scale: 1/8" = 1'-0"

Building 'A2.1' 'A2.2' 'A2.3' 'A2.5' 'A2.6' Sim.



1 Building 'A2.4' West Elevation  
scale: 1/8" = 1'-0"

Building 'A2.1' 'A2.2' 'A2.3' 'A2.5' 'A2.6' Sim.

Legend	
Property Line	---
Zone Boundary	---
Setback Line	---
Old Property Line	---
Elevation Datum	⊕
Grid lines	---
existing grade line	---
proposed/new grade line	---
Height limit line	---

Elevation Notes	
1	Wall finish-Material such as: Stucco, lap siding, CMU block-concrete.
2	Window
3	Storefront system
4	Door-Material such as: Wood, metal, glass.
5	Railing-Material such as: Wood, steel, wrought iron, glass, stucco.
6	Garage door
7	Trailer/ Planter. Refer to landscape drawings for all enhanced paving and plant material.
8	Stairs
9	Elevator
10	Sunshade/ Overhang-Material such as: Wood, steel, wrought iron.
11	Built up roof-Material such as: Tile, Metal.
12	Privacy wall
13	Parapet
14	Expansion joint, typ.
15	"Knock-out panels" for future window location.
16	Roll-up loading doors
17	Exterior lighting
18	Suggested signage location

NOTE: All keynote callouts typical for all elevations.

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27

**M. W. STEELE**  
GROUP, INC.  
ARCHITECTURE • URBAN DESIGN  
325 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619.230.0335  
FACSIMILE: 619.230.0335  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: zjb  
Checked: -

Revision 1: 02.17.05 initial submittal  
Revision 2: 08.11.06 second submittal  
Revision 3: 08.09.07 third submittal  
Revision 4: 08.17.07 fourth submittal  
Revision 5: -  
Revision 6: -  
Revision 7: -  
Revision 8: -  
Revision 9: -  
Revision 10: -  
Revision 11: -  
Revision 12: -

**Ocean View Village**

Legal Description:  
The Southeast Quarter of the Southwest Quarter  
of the Northeast Quarter of Section 29, Township 18 South  
Range 1 West, San Bernardino meridian, in the County of  
San Diego, State of California, according to official  
plat thereof.

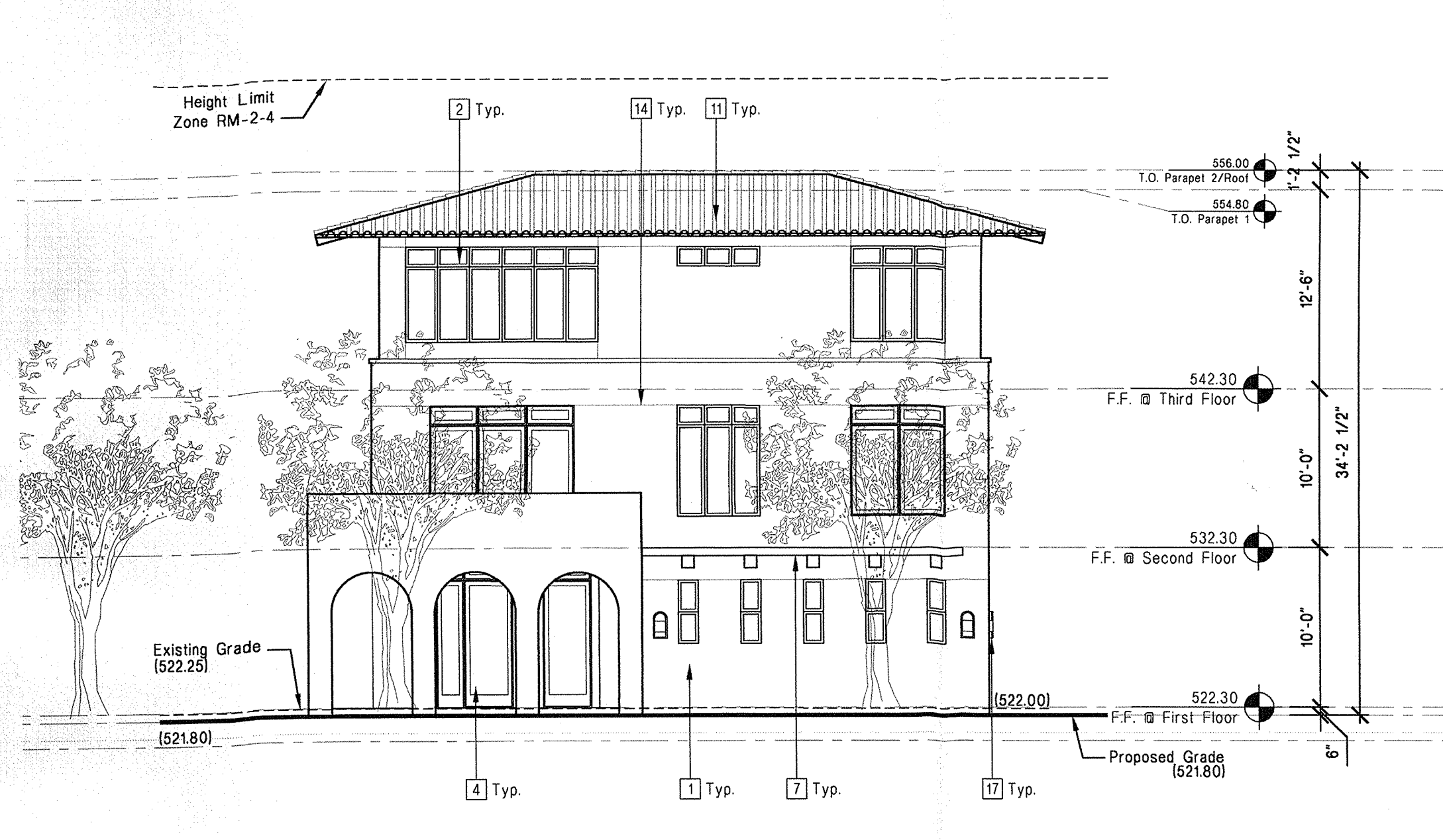
NOT FOR CONSTRUCTION

Building 'A2.4' Elevations

Assessor's Parcel Number:  
645-050-07

APPROVED EXHIBIT "A"  
PROJECT NO. P13 # 96580  
APPROVAL NO(s) SDP # 320733  
APPROVED BY HEARING OFFICER, PLANNING  
COMMISSION CITY COUNCIL ON 12/1/08  
SIGNATURE *Deane Johnson*

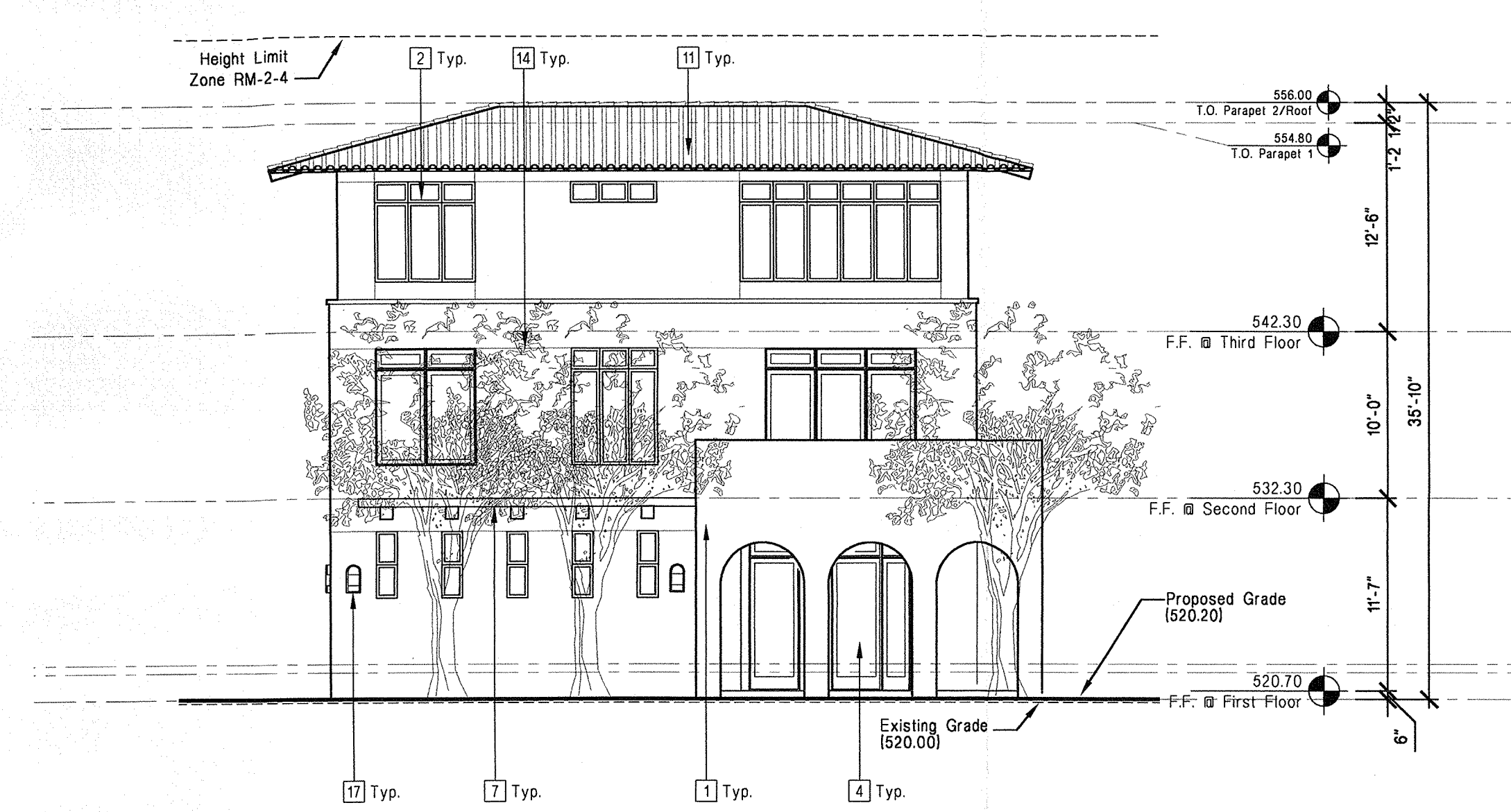
**A4.01**



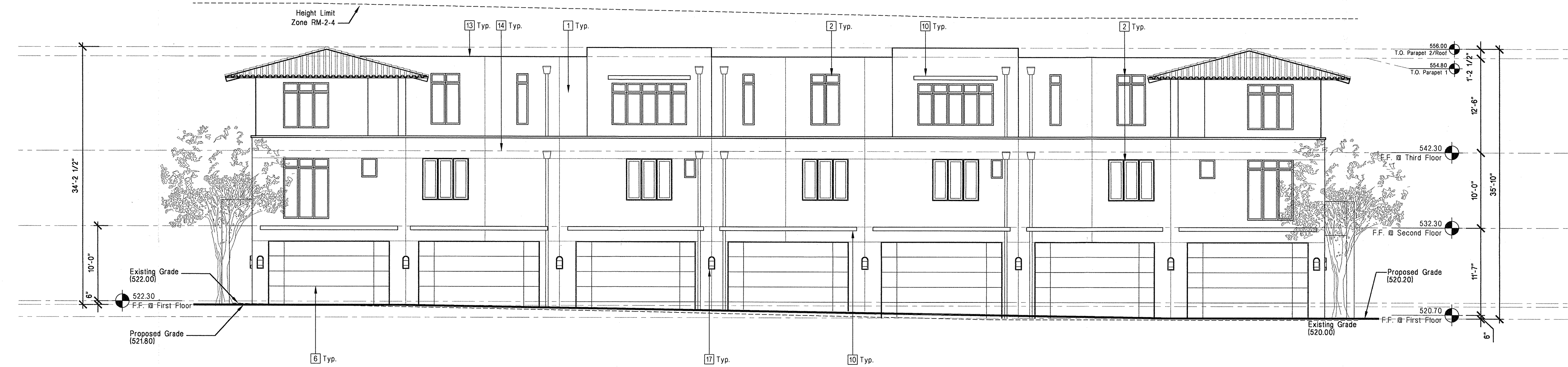
8 Building 'A3.1' East Elevation  
scale: 1/8" = 1'-0"



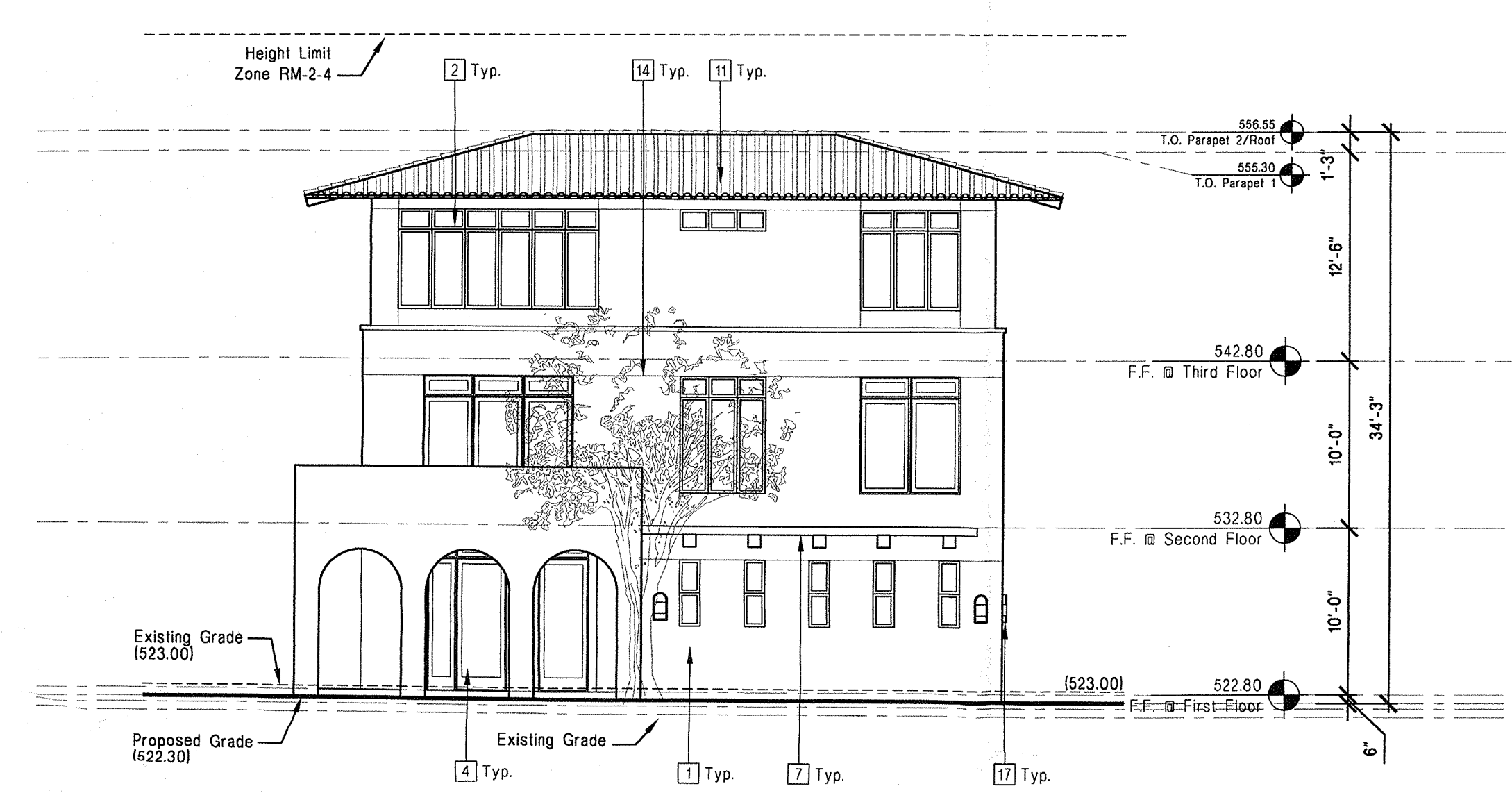
4 Building 'A3.1' South Elevation  
scale: 1/8" = 1'-0"



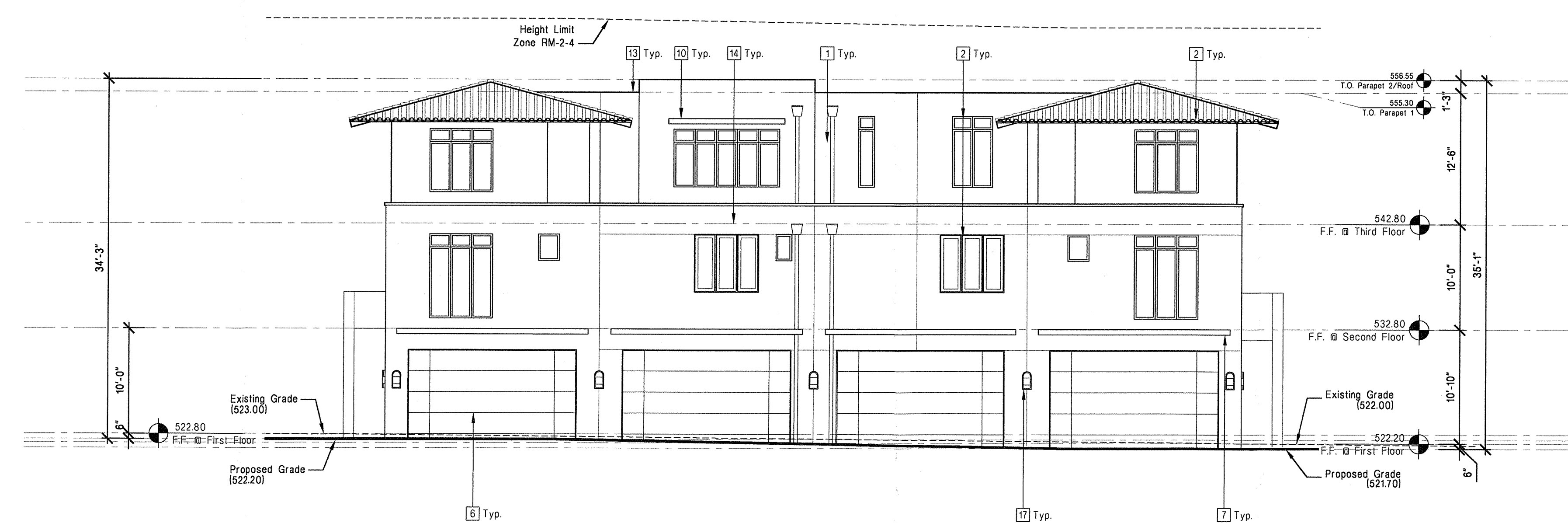
7 Building 'A3.1' West Elevation  
scale: 1/8" = 1'-0"



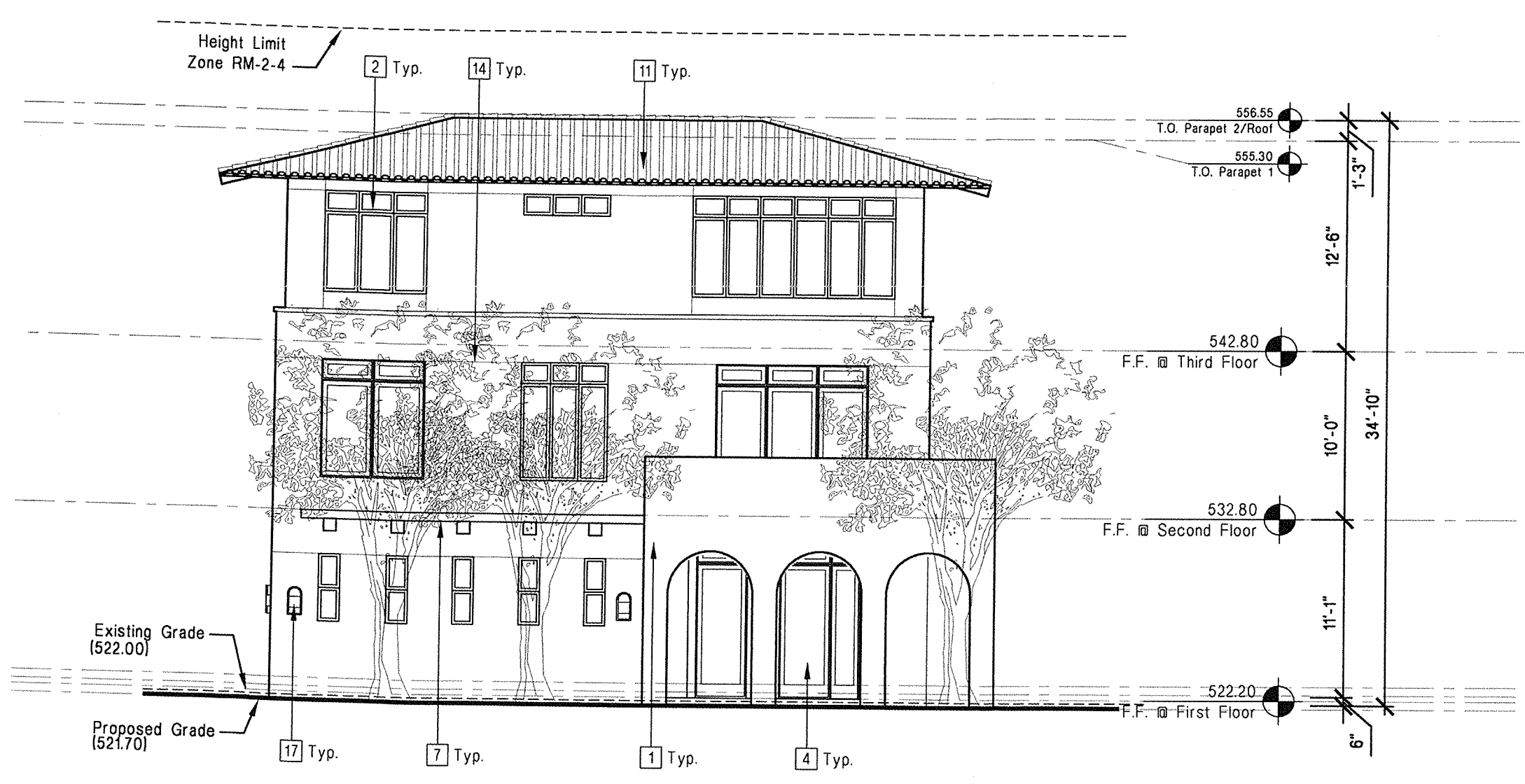
3 Building 'A3.1' North Elevation  
scale: 1/8" = 1'-0"



6 Building 'A3.2' East Elevation  
scale: 1/8" = 1'-0"



2 Building 'A3.2' North Elevation  
scale: 1/8" = 1'-0"



5 Building 'A3.2' West Elevation  
scale: 1/8" = 1'-0"



1 Building 'A3.2' South Elevation  
scale: 1/8" = 1'-0"

Legend	
Property Line	---
Zone Boundary	---
Setback Line	---
Old Property Line	---
Elevation Datum	◆
Grid lines	---
existing grade line	---
proposed/new grade line	---
Height limit line	---

Elevation Notes	
1	Wall finish-Material such as: Stucco, lap siding, CMU block, concrete.
2	Window
3	Storefront system
4	Door-Material such as: Wood, metal, glass.
5	Railing-Material such as: Wood, steel, wrought iron, glass, stucco.
6	Garage door
7	Traffic/ Planter. Refer to landscape drawings for all enhanced paving and plant material
8	Stairs
9	Elevator
10	Sunshade/ Overhang-Material such as: Wood, steel, wrought iron
11	Built up roof-Material such as: Tile, Metal.
12	Privacy wall
13	Parapet
14	Expansion joint, typ.
15	'Knock-out panels' for future window location.
16	Roll-up loading doors
17	Exterior lighting
18	Suggested signage location

NOTE: All keynote callouts typical for all elevations.

**EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27

**M.W. STEELE**  
GROUP, INC.  
ARCHITECTURE | URBAN DESIGN  
325 FIFTEENTH STREET  
SAN DIEGO | CA | 92101  
TELEPHONE: 619.230.0325  
FACSIMILE: 619.230.9335  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number:	0470
Original Date:	September 01, 2005
Drawn:	zjb
Checked:	-

Revision 1:	02.17.06 initial submittal
Revision 2:	08.11.08 second submittal
Revision 3:	06.09.07 third submittal
Revision 4:	08.17.07 fourth submittal
Revision 5:	-
Revision 6:	-
Revision 7:	-
Revision 8:	-
Revision 9:	-
Revision 10:	-
Revision 11:	-
Revision 12:	-

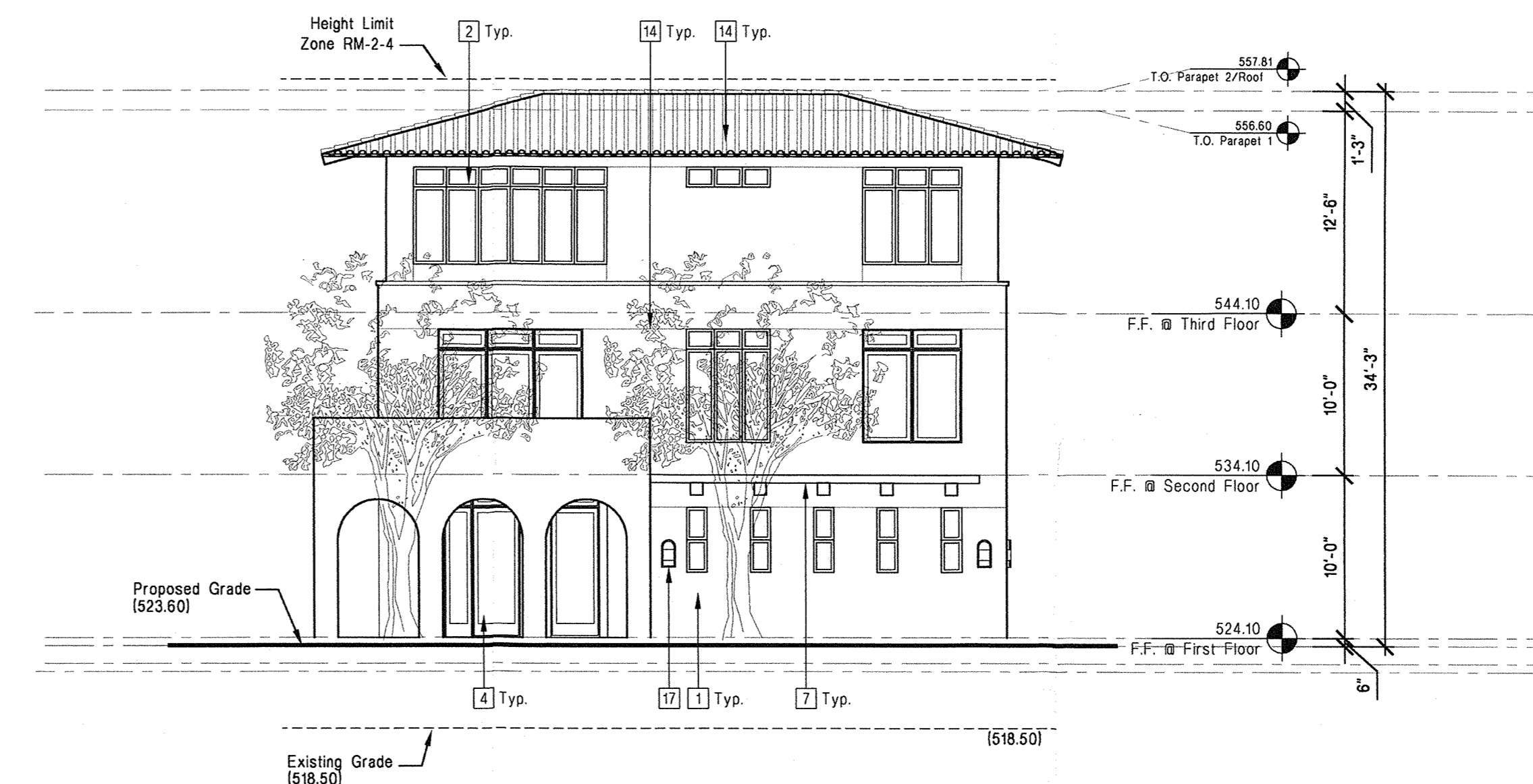
Ocean View Village

Legal Description:  
The Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 29, Township 18 South Range 1 West, San Bernardino meridian, in the County of San Diego, State of California, according to official plat thereof.

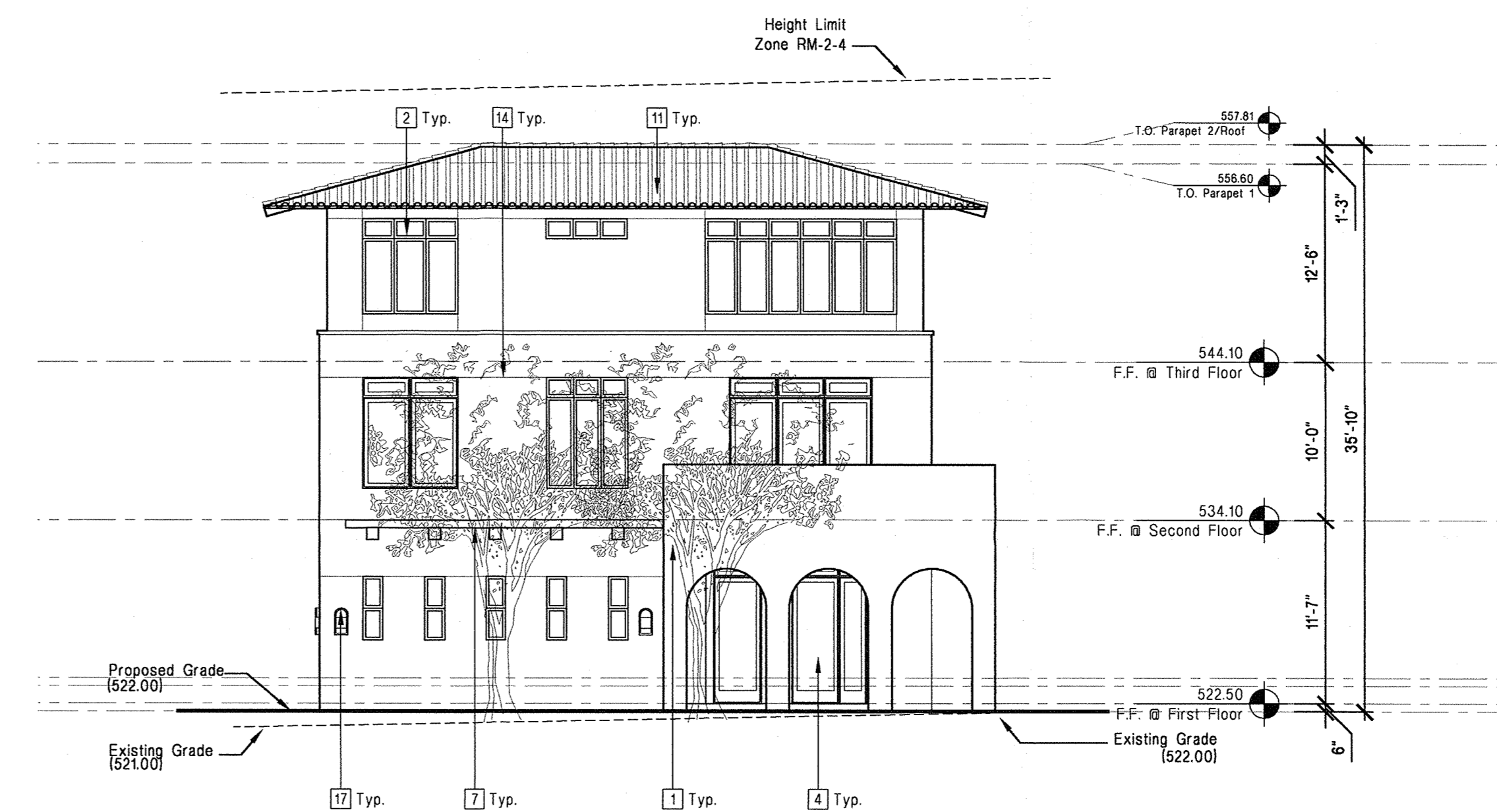
Assessor's Parcel Number:  
645-050-07

**APPROVED EXHIBIT "A"**  
PROJECT NO. *PTS # 26580*  
APPROVAL NO(s) *SDP# 326733*  
VTM# *31804* + REZONE # *31803*  
APPROVED BY: HEARING OFFICER, PLANNING COMMISSION/CITY COUNCIL ON *12/11/08*  
SIGNATURE *Deane W. Wambach*

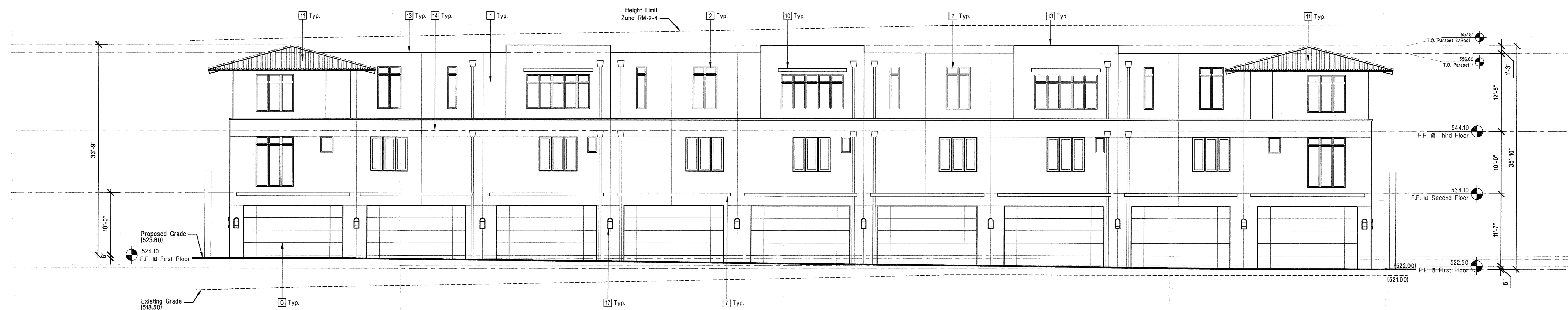
**A4.02**



4 Building 'A3.4' East Elevation  
scale: 1/8" = 1'-0"



3 Building 'A3.4' West Elevation  
scale: 1/8" = 1'-0"



2 Building 'A3.4' North Elevation  
scale: 1/8" = 1'-0"



1 Building 'A3.4' South Elevation  
scale: 1/8" = 1'-0"

Legend	
Property Line	---
Zone Boundary	---
Setback Line	---
Old Property Line	---
Elevation Datum	+
Grid lines	---
existing grade line	---
proposed/new grade line	---
Height limit line	---

Elevation Notes	
1	Wall Finish Material such as: Stucco, lap siding, CMU block, concrete.
2	Window
3	Storefront system
4	Door-Material such as: Wood, metal, glass.
5	Railing-Material such as: Wood, steel, wrought iron, glass, stucco
6	Garage door
7	Trellis/Planter: Refer to landscape drawings for all enhanced paving and plant material
8	Stairs
9	Elevator
10	Sunshade/Overhang-Material such as: Wood, steel, wrought iron.
11	Built up roof-Material such as: Tile, Metal.
12	Privacy wall
13	Parapet
14	Expansion joint, typ.
15	"Knock-out panels" for future window location.
16	Roll-up loading doors
17	Exterior lighting
18	Suggested signage location

NOTE: All keynote callouts typical for all elevations.

**EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27

M.W. STEELE GROUP, INC.  
ARCHITECTURE | URBAN DESIGN  
325 FIFTEENTH STREET  
SAN DIEGO, CA | 92101  
TELEPHONE: 619.239.0329  
FACSIMILE: 619.239.0335  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: ZB  
Checked:

Ocean View Village

Legal Description:  
The Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 29, Township 18 South Range 1 West, San Bernardino meridian, in the County of San Diego, State of California, according to official plat thereof.

Assessor's Parcel Number:  
645-050-APPROVED EXHIBIT "A"

Revision 1: 02.17.06 initial submittal  
Revision 2: 08.11.06 second submittal  
Revision 3: 09.08.07 third submittal  
Revision 4: 08.17.07 fourth submittal  
Revision 5:  
Revision 6:  
Revision 7:  
Revision 8:  
Revision 9:  
Revision 10:  
Revision 11:  
Revision 12:

NOT FOR CONSTRUCTION

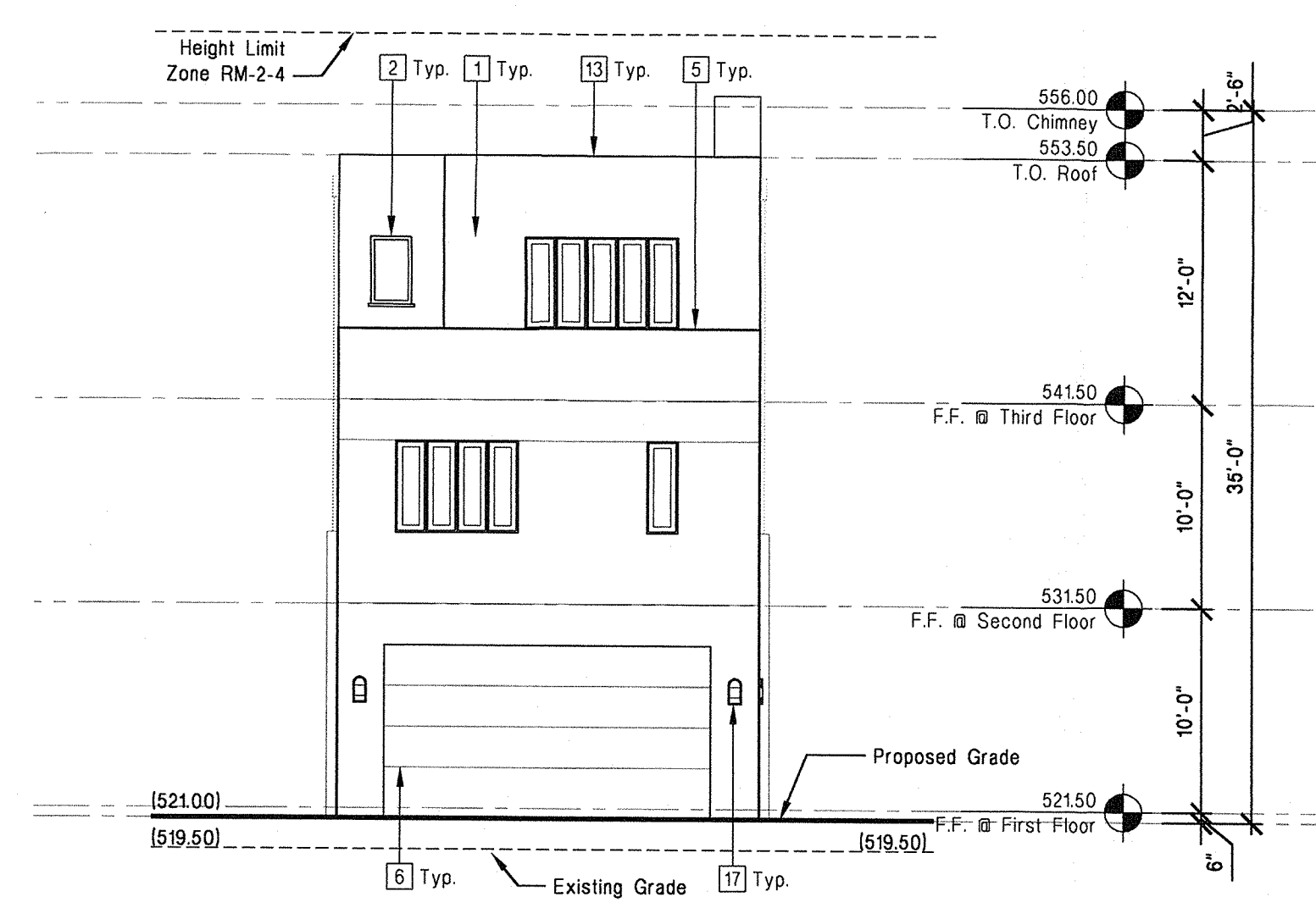
Building 'A3.4' Elevations  
plat thereof.

APPROVED EXHIBIT "A"

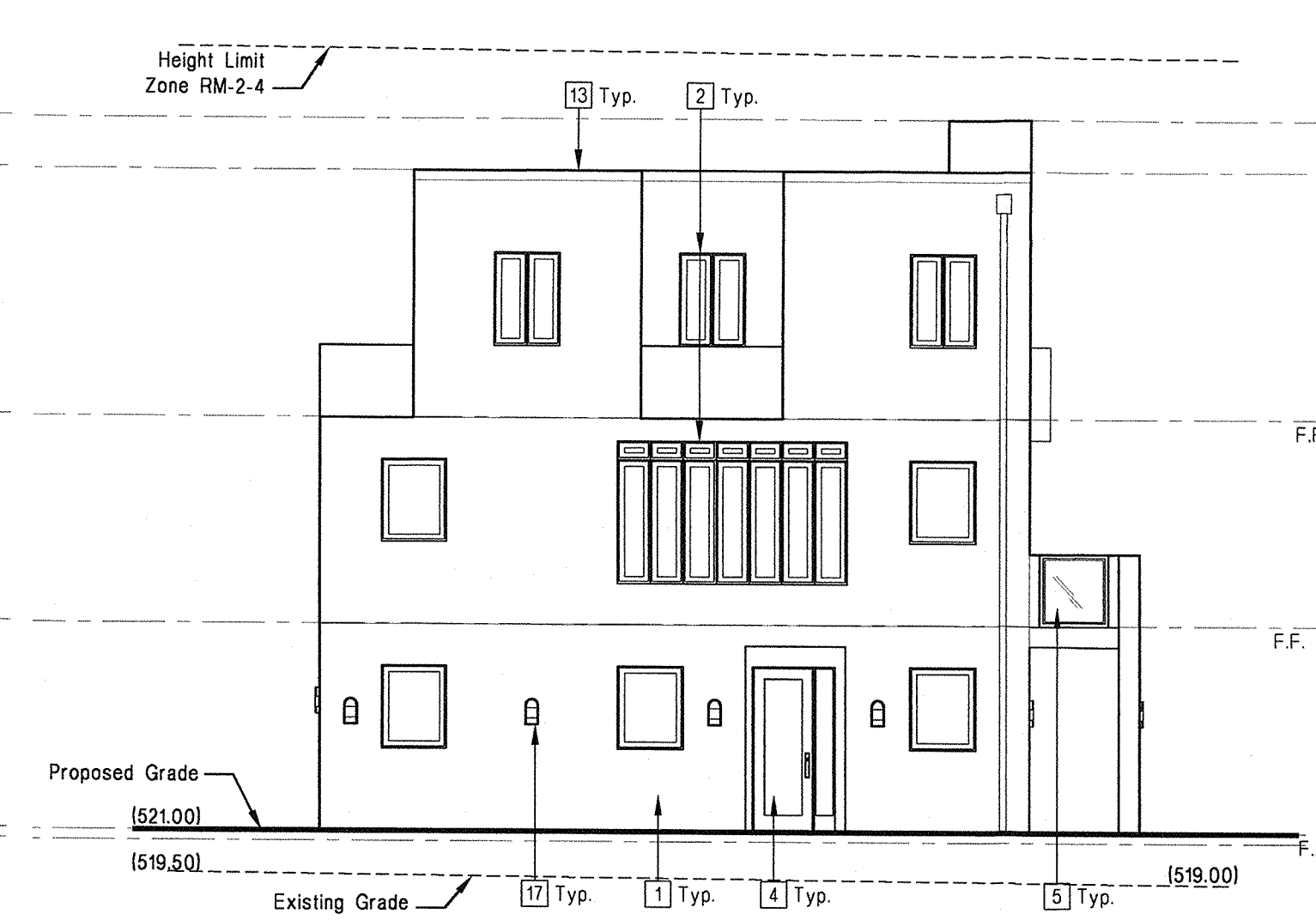
PROJECT NO: *PTS# 96580*  
APPROVAL NO(s): *SDP# 320730*  
*V7M# 314827 + REZONE# 314830*  
APPROVED BY: HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON *12/11/08*  
SIGNATURE: *Alan J. [Signature]*

A4.03

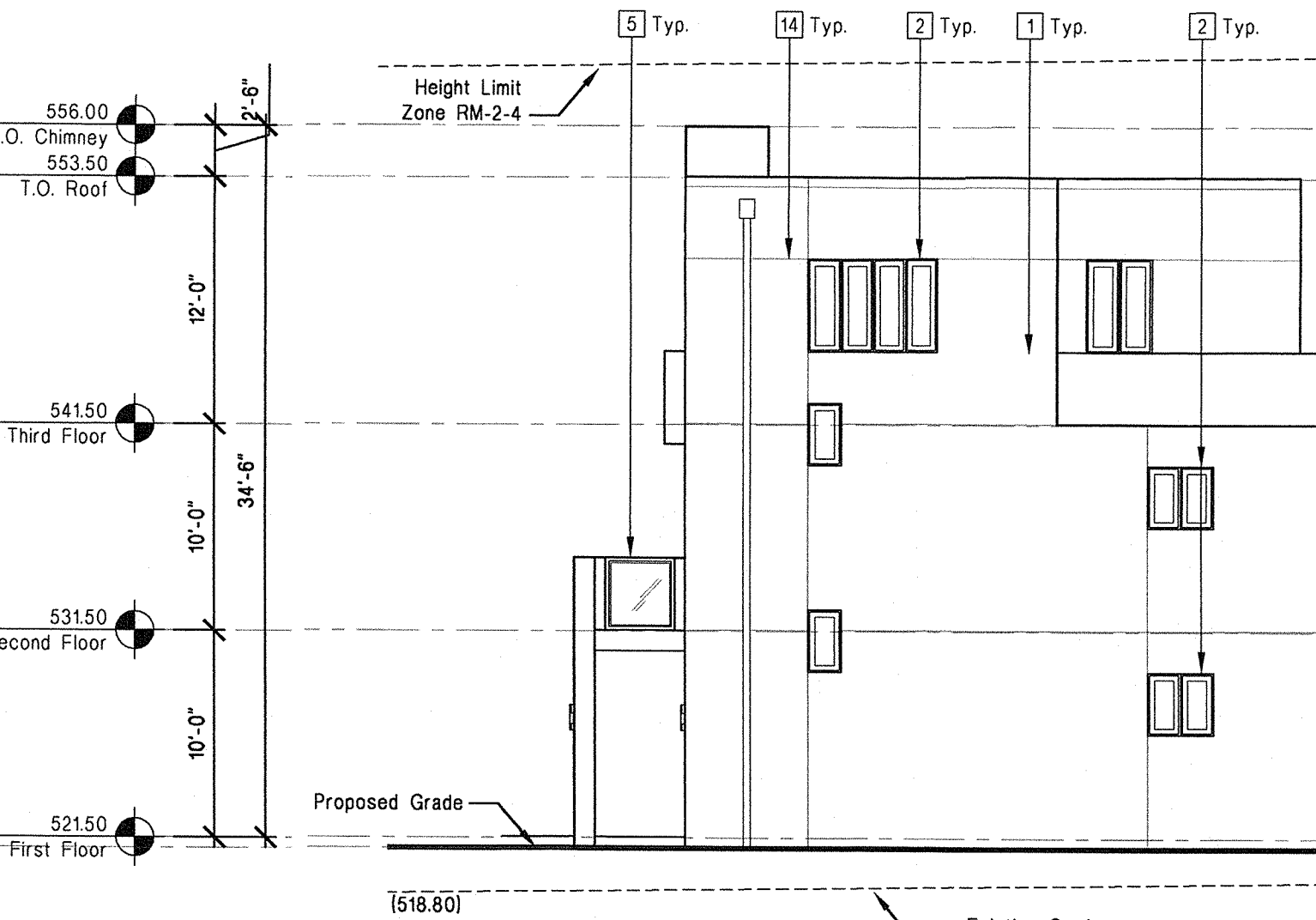
Sheet No. 31 of 39



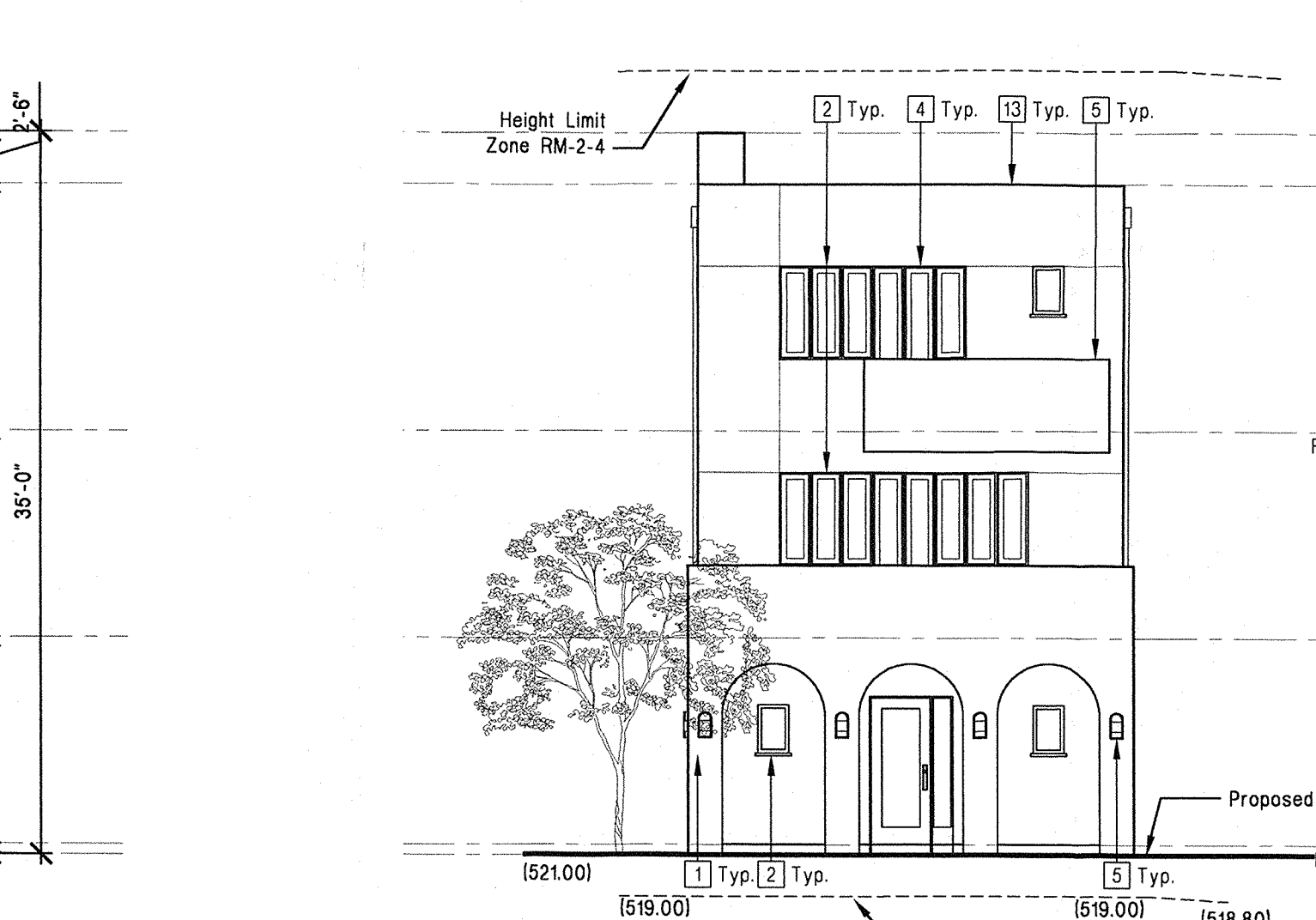
12 House - 'Type C' South Elevation  
scale: 1/8" = 1'-0" Bldgs. 'A1.3' 'A1.6' '1.10' '1.13'



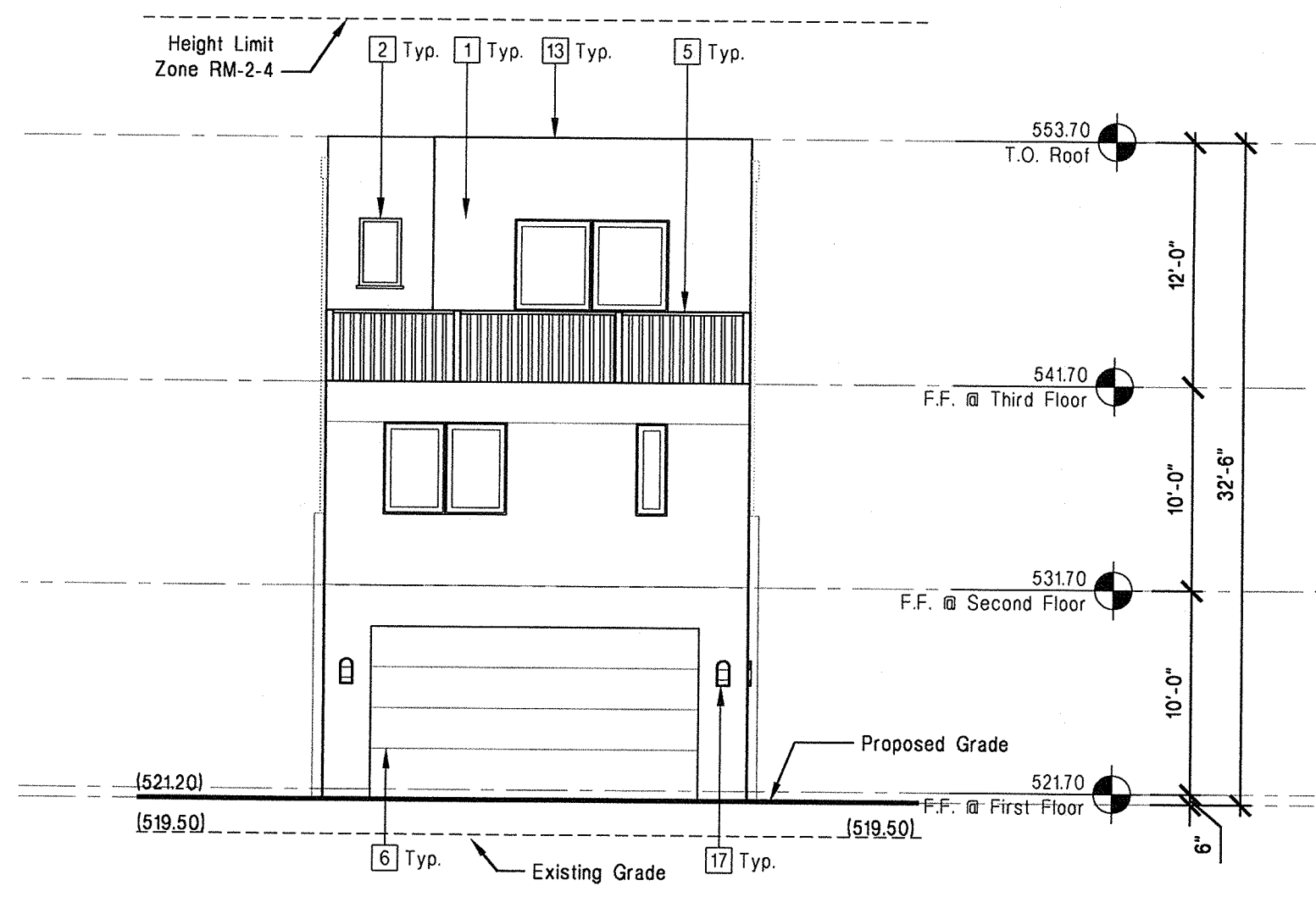
9 House - 'Type C' East Elevation  
scale: 1/8" = 1'-0" Bldgs. 'A1.3' 'A1.6' '1.10' '1.13'



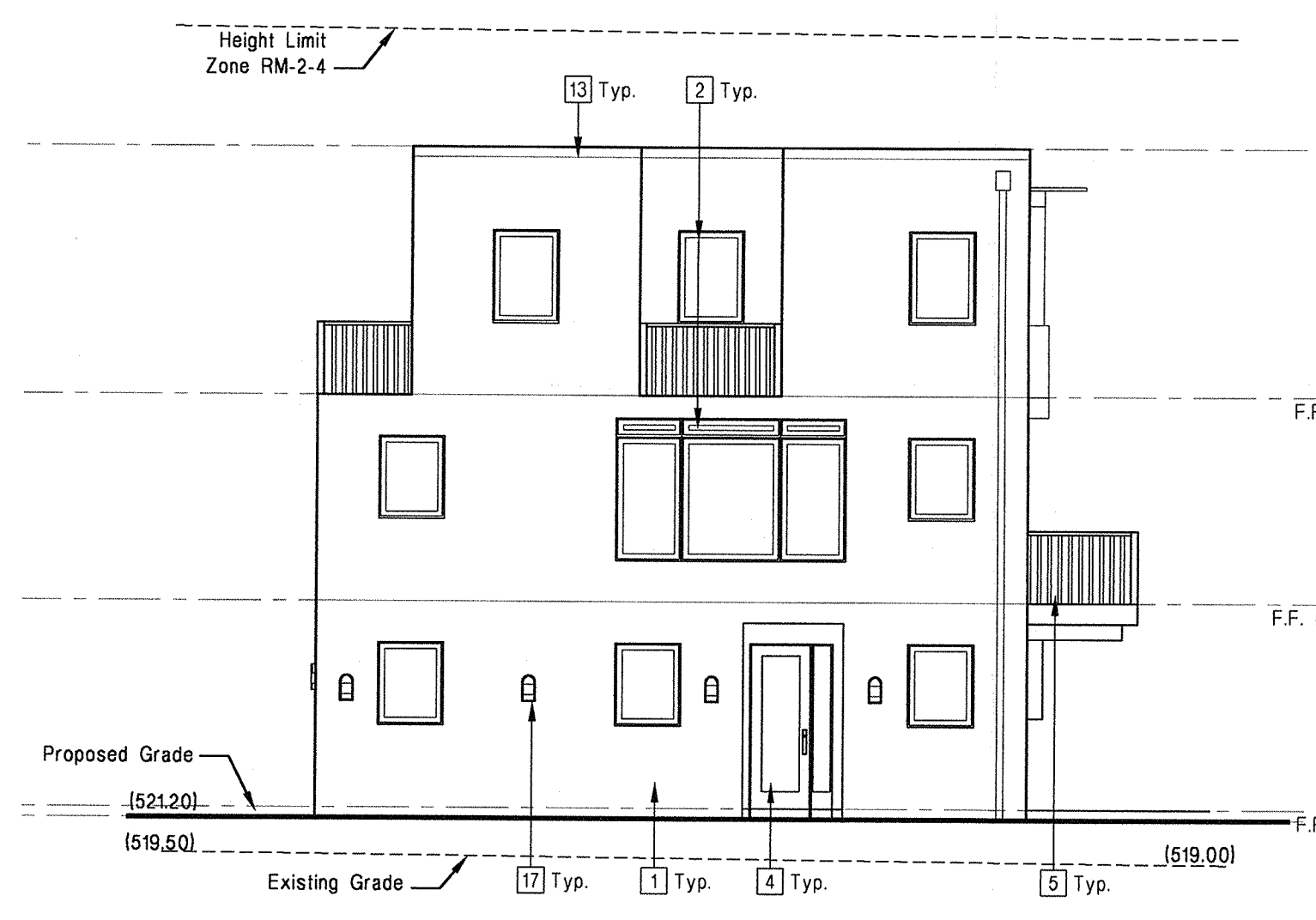
6 House - 'Type C' West Elevation  
scale: 1/8" = 1'-0" Bldgs. 'A1.3' 'A1.6' '1.10' '1.13'



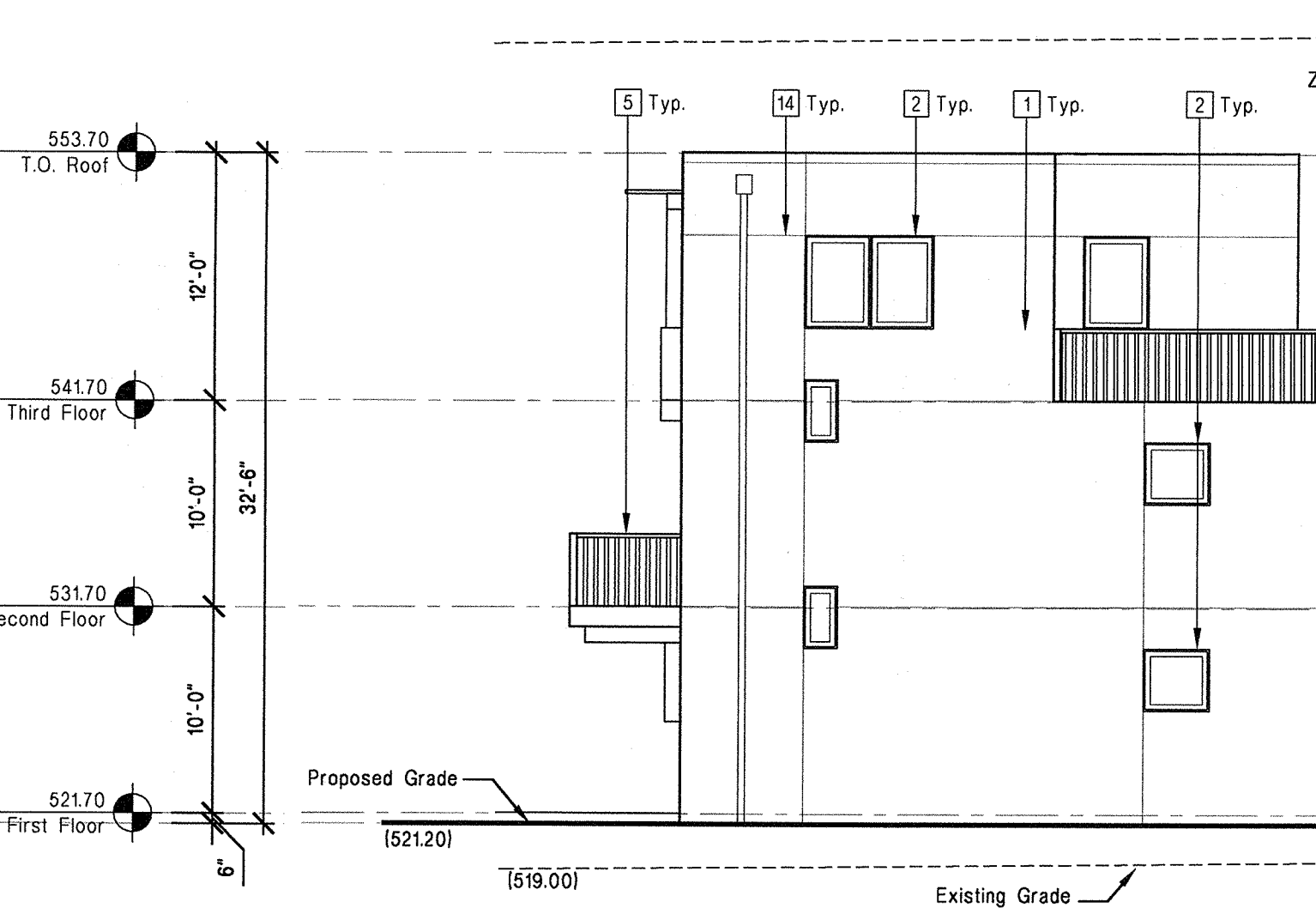
3 House - 'Type C' North Elevation  
scale: 1/8" = 1'-0" Bldgs. 'A1.3' 'A1.6' '1.10' '1.13'



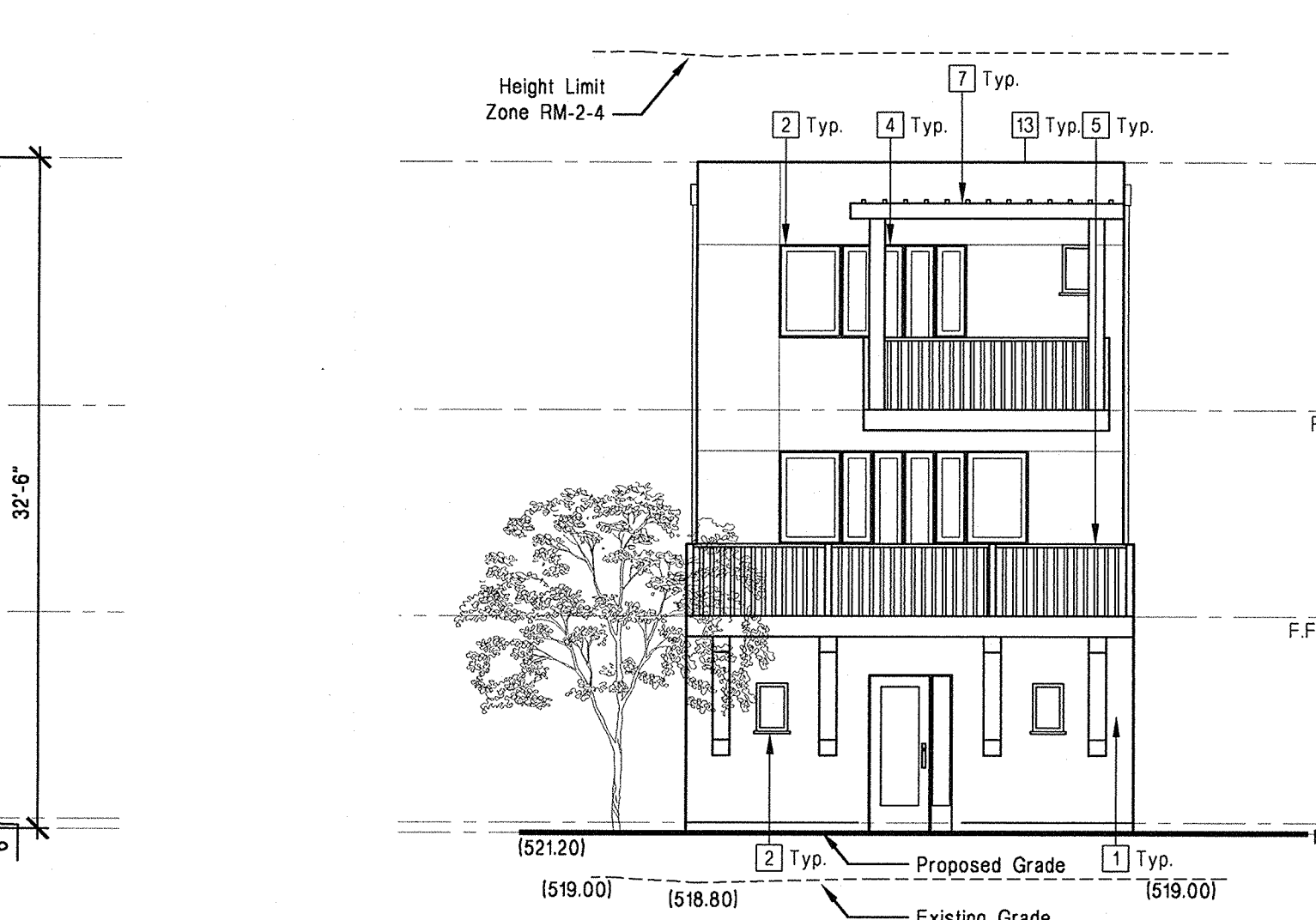
11 House - 'Type B' South Elevation  
scale: 1/8" = 1'-0" Bldgs. 'A1.2' 'A1.5' '1.9' '1.12'



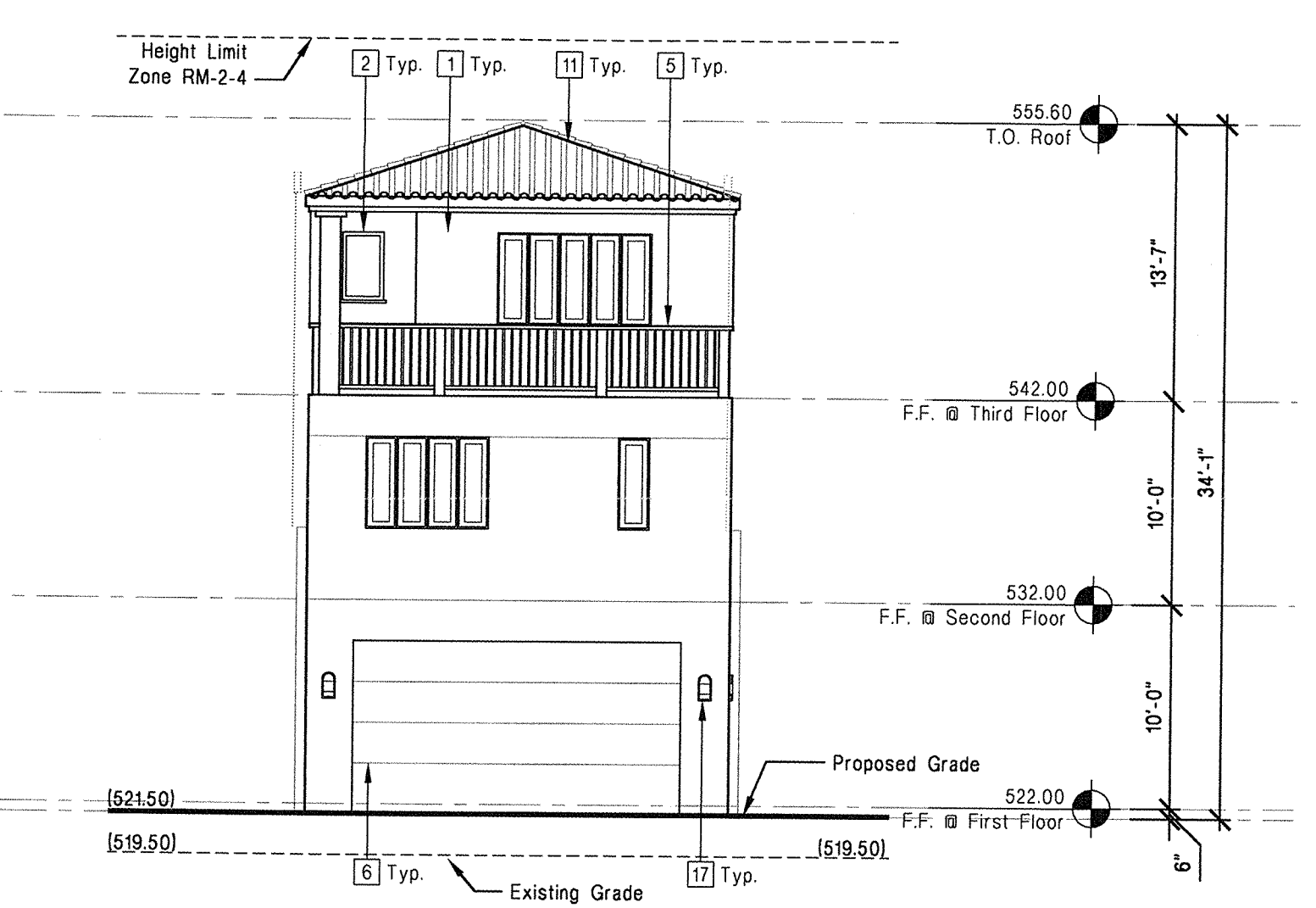
8 House - 'Type B' East Elevation  
scale: 1/8" = 1'-0" Bldgs. 'A1.2' 'A1.5' '1.9' '1.12'



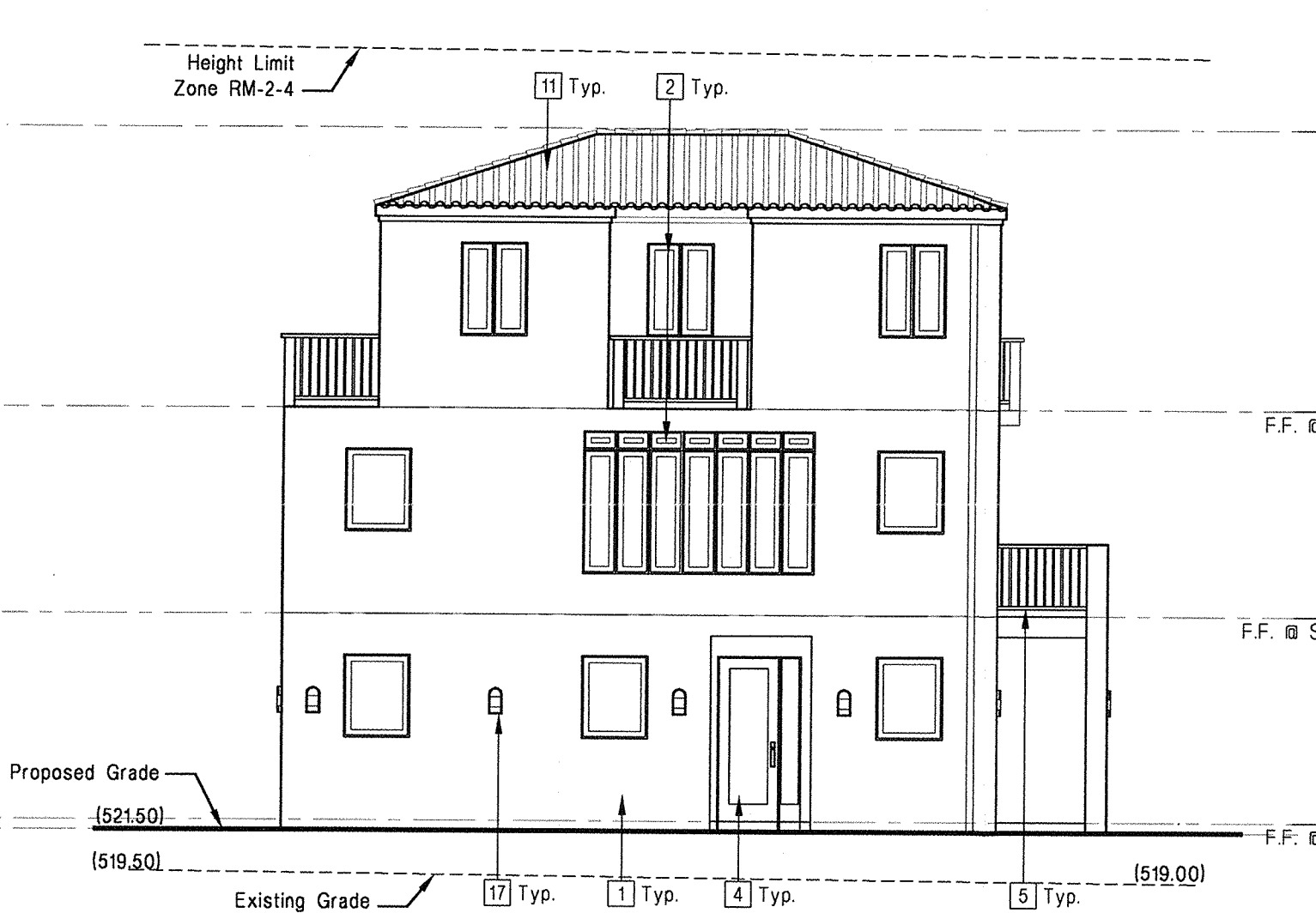
5 House - 'Type B' West Elevation  
scale: 1/8" = 1'-0" Bldgs. 'A1.2' 'A1.5' '1.9' '1.12'



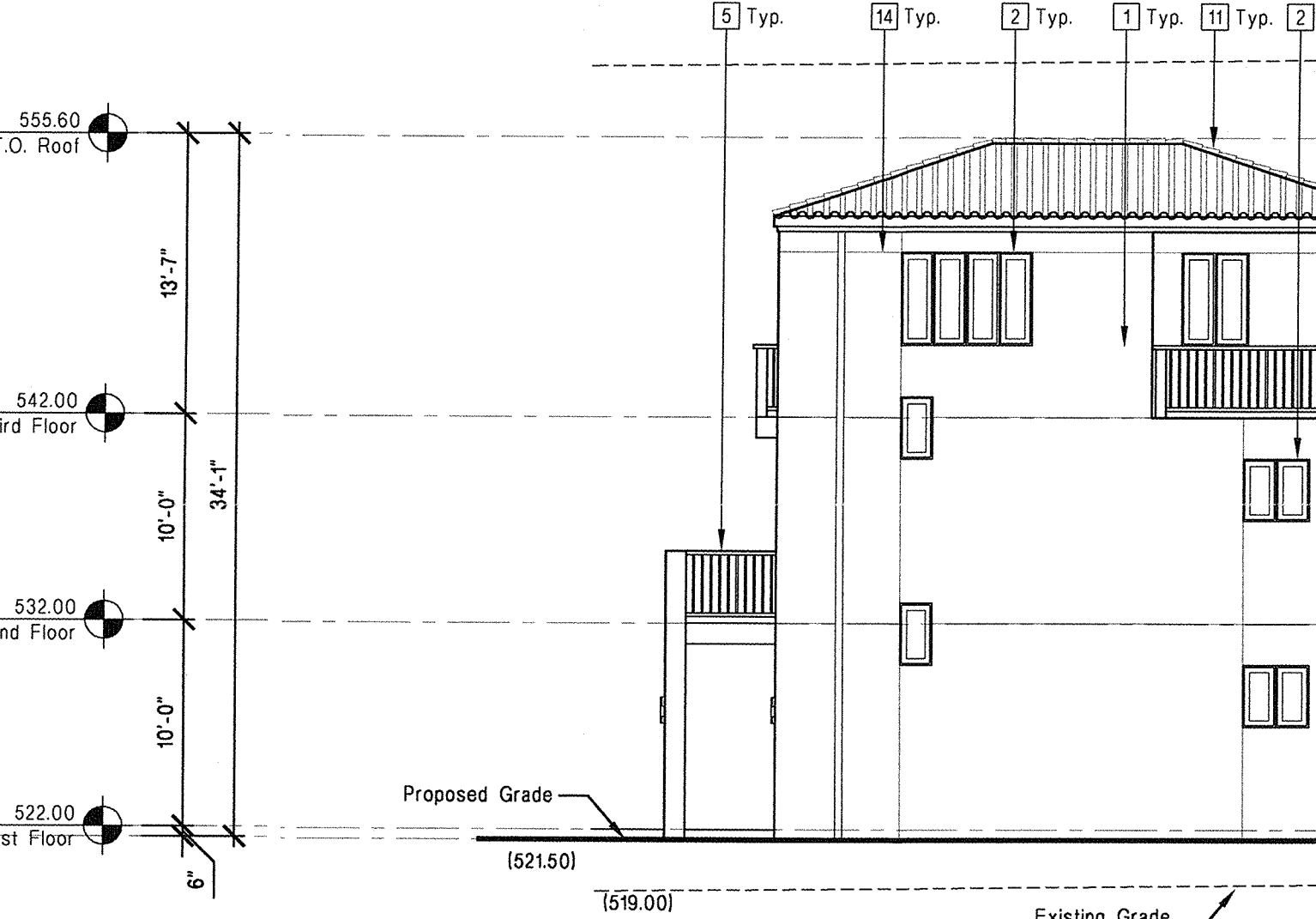
2 House - 'Type B' North Elevation  
scale: 1/8" = 1'-0" Bldgs. 'A1.2' 'A1.5' '1.9' '1.12'



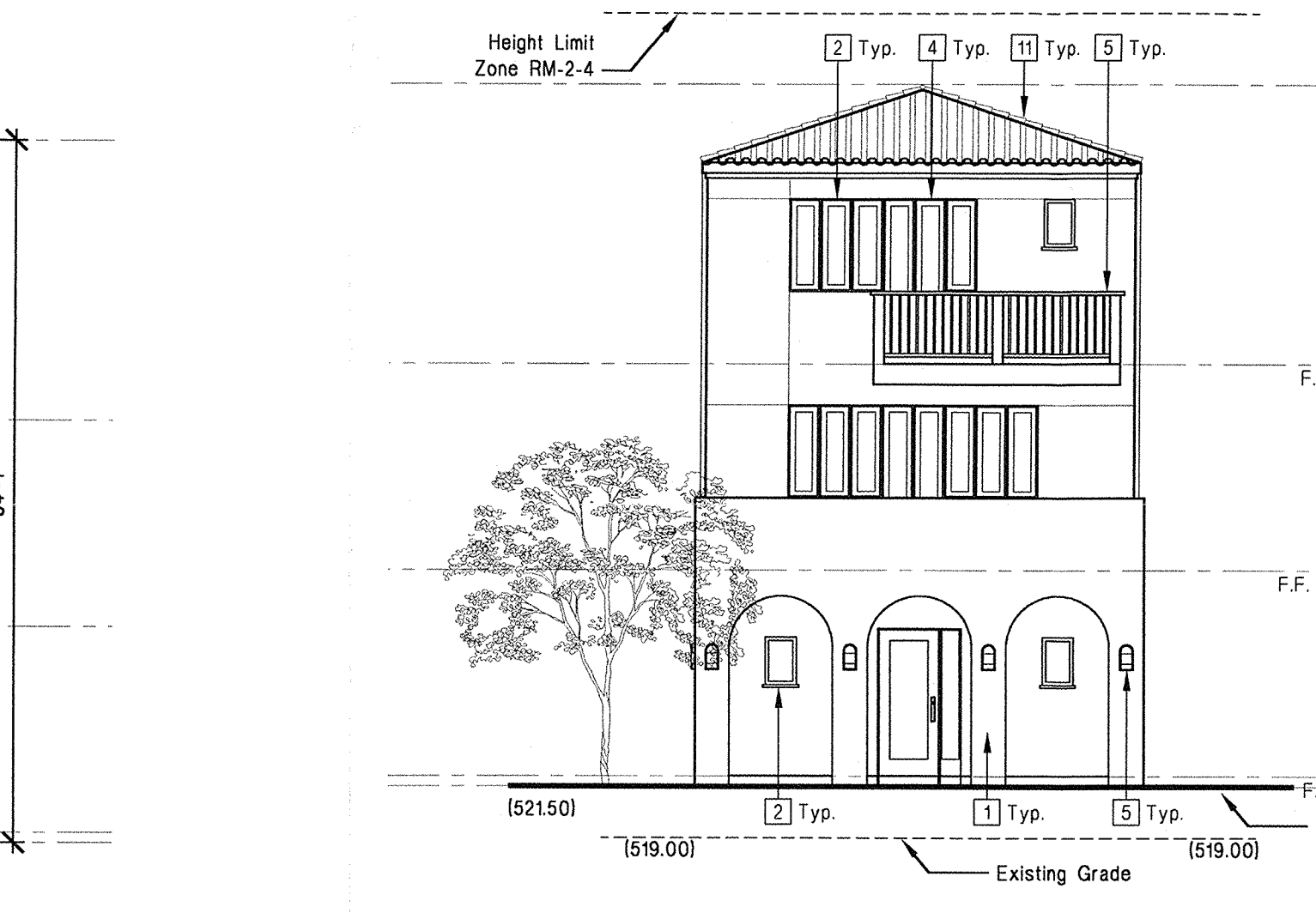
10 House - 'Type A' South Elevation  
scale: 1/8" = 1'-0" Bldgs. 'A1.1' 'A1.4' '1.7' '1.8' '1.11'



7 House - 'Type A' East Elevation  
scale: 1/8" = 1'-0" Bldgs. 'A1.1' 'A1.4' '1.7' '1.8' '1.11'



4 House - 'Type A' West Elevation  
scale: 1/8" = 1'-0" Bldgs. 'A1.1' 'A1.4' '1.7' '1.8' '1.11'



1 House - 'Type A' North Elevation  
scale: 1/8" = 1'-0" Bldgs. 'A1.1' 'A1.4' '1.7' '1.8' '1.11'

Legend	
Property Line	---
Zone Boundary	---
Setback Line	---
Old Property Line	---
Elevation Datum	◆
Grid Lines	---
existing grade line	---
proposed/new grade line	---
Height limit line	---

Elevation Notes	
1	Wall Finish-Material such as: Stucco, lap siding, CMU block, concrete.
2	Window
3	Storefront system
4	Door-Material such as: Wood, metal, glass
5	Railing-Material such as: Wood, steel, wrought iron, glass, stucco.
6	Garage door
7	Trellis/ Planter. Refer to landscape drawings for all enhanced paving and plant material
8	Stairs
9	Elevator
10	Sunshade/ Overhang-Material such as: Wood, steel, wrought iron
11	Built up roof-Material such as: Tile, Metal.
12	Privacy wall
13	Parapet
14	Expansion joint, typ.
15	"Knock-out panels" for future window location.
16	Roll-up loading doors
17	Exterior lighting
18	Suggested signage location

NOTE: All keynote callouts typical for all elevations.

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27

M. W. STEELE  
GROUP, INC.  
ARCHITECTURE, URBAN DESIGN  
325 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619-239-0325  
FACSIMILE: 619-239-0335  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number:	0470
Original Date:	September 01, 2005
Drawn:	ZJA
Checked:	

Revision 1:	02.17.06 Initial submittal
Revision 2:	08.11.06 second submittal
Revision 3:	08.09.07 third submittal
Revision 4:	08.17.07 fourth submittal
Revision 5:	
Revision 6:	
Revision 7:	
Revision 8:	
Revision 9:	
Revision 10:	
Revision 11:	
Revision 12:	

**Ocean View Village**

Legal Description:  
The Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 29, Township 18 South Range 1 West, San Bernardino meridian, in the County of San Diego, State of California, according to official plat thereof.

Assessor's Parcel Number:  
645-05-00-000

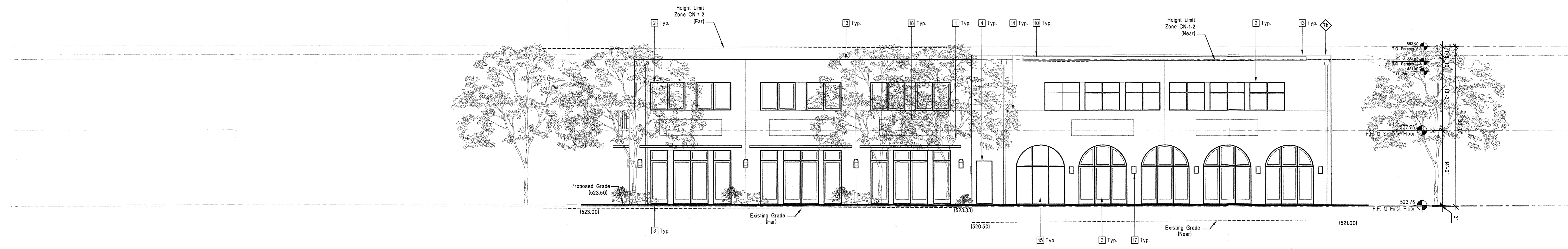
**APPROVED EXHIBIT "A"**  
PROJECT NO. PTS # 96580  
APPROVAL NO. SDP # 320732  
APPROVED BY: HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON 12/12/08  
SIGNATURE [Signature]

**NOT FOR CONSTRUCTION**

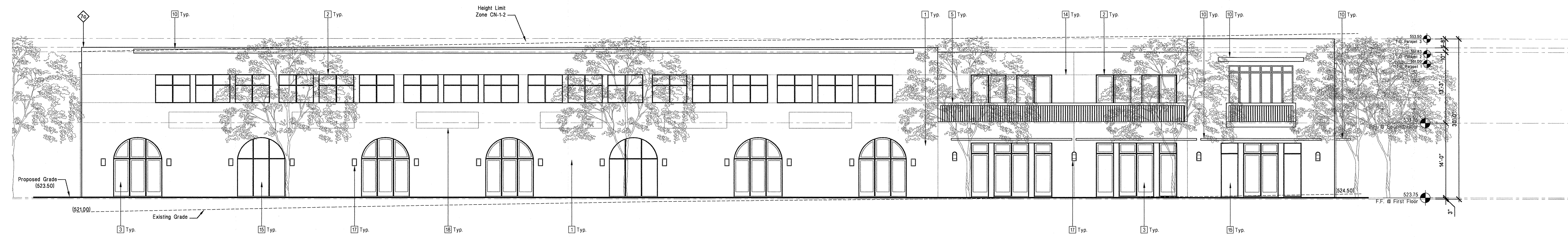
Elevations  
House - 'Type A'  
House - 'Type B'  
House - 'Type C'

**A4.04**

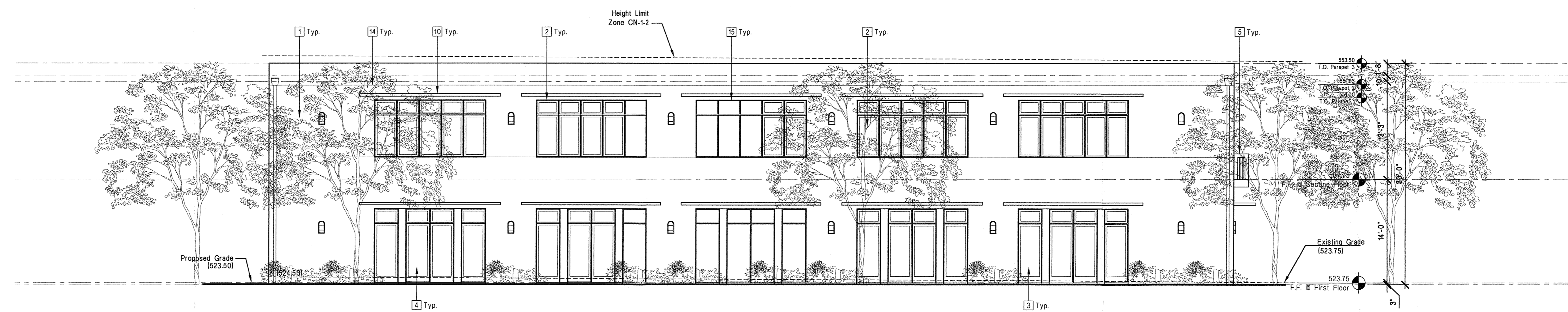




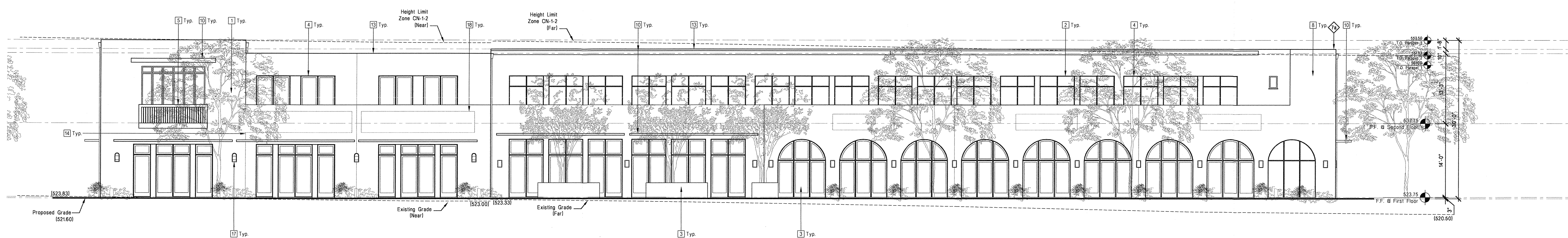
4 Building 'B1.1' West Elevation  
scale: 1/8" = 1'-0"



3 Building 'B1.1' South Elevation  
scale: 1/8" = 1'-0"



2 Building 'B1.1' East Elevation  
scale: 1/8" = 1'-0"



1 Building 'B1.1' North Elevation  
scale: 1/8" = 1'-0"

Legend	Deviation Legend
Property Line	---
Zone Boundary	---
Setback Line	---
Old Property Line	---
Elevation Datum	---
Grid lines	---
existing grade line	---
proposed/new grade line	---
Height limit line	---

Legend	Deviation Legend
1	Building deviates from Zone CN-1-2 allowable maximum building height of 30'-0". Building deviates by 1'-1".
2	Building deviates from Zone CN-1-2 allowable maximum building height of 30'-0". Building deviates by 0'-11".
3	Building deviates from Zone CN-1-2 allowable maximum building height of 30'-0". Building deviates by 0'-7".

Elevation Notes
1 Wall finish-Material such as: Stucco, lap siding, CMU block, concrete.
2 Window
3 Storefront system
4 Door-Material such as: Wood, metal, glass.
5 Railing-Material such as: Wood, steel, wrought iron, glass, stucco.
6 Garage door
7 Trellis/ Planter. Refer to landscape drawings for all enhanced paving and plant material.
8 Stairs
9 Elevator
10 Sunshade/ Overhang-Material such as: Wood, steel, wrought iron.
11 Built up roof-Material such as: Tile, Metal.
12 Privacy wall
13 Parapet
14 Expansion joint, typ.
15 "Knock-out panels" for future window location.
16 Roll-up loading doors
17 Exterior lighting
18 Suggested signage location

NOTE: All keynote callouts typical for all elevations.

**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**  
AUTHORIZED BY  
COUNCIL POLICY 600-27

**M.W. STEELE**  
GROUP, INC.  
ARCHITECTURE URBAN DESIGN  
325 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619.230.0326  
FACSIMILE: 619.230.0335  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: zja  
Checked: -

Revision 1: 02.17.06 initial submittal  
Revision 2: 05.11.06 second submittal  
Revision 3: 06.09.07 third submittal  
Revision 4: 08.17.07 fourth submittal  
Revision 5:  
Revision 6:  
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Ocean View Village

Legal Description:  
The Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 29, Township 18 South Range 1 West, San Bernardino meridian, in the County of San Diego, State of California, according to official plat thereof.

Assessor's Parcel Number:  
645-050

APPROVED EXHIBIT "A"  
PROJECT NO. PTS # 26580  
APPROVAL NO(s) SDP # 320732  
1744# 314829 + RECUM# 314830  
APPROVED BY HEARING OFFICER, PLANNING COMMISSION (CITY COUNCIL) ON 12/11/08  
SIGNATURE Debra W. Pugh

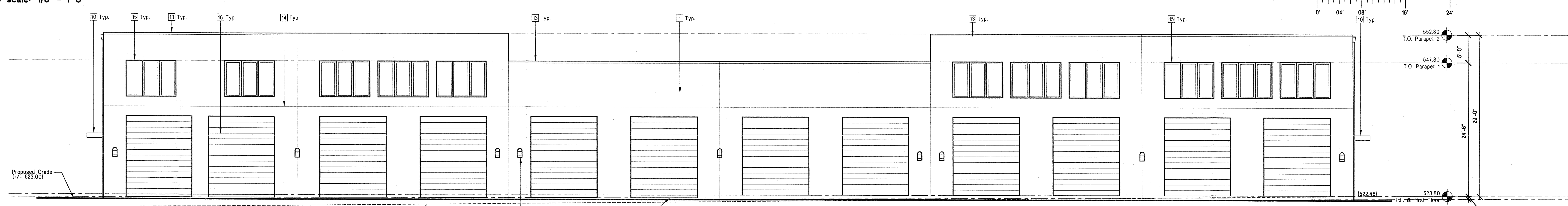
NOT FOR CONSTRUCTION  
Building 'B1.1' Elevations  
plat thereof.

**A4.05**

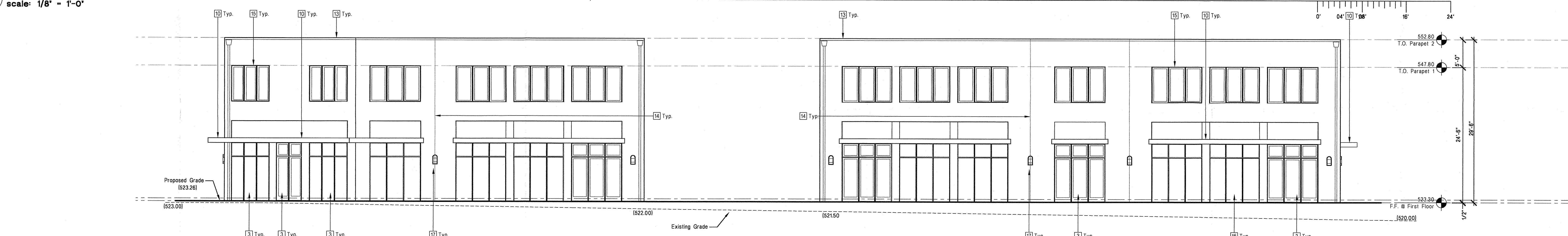
Ocean View Village

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

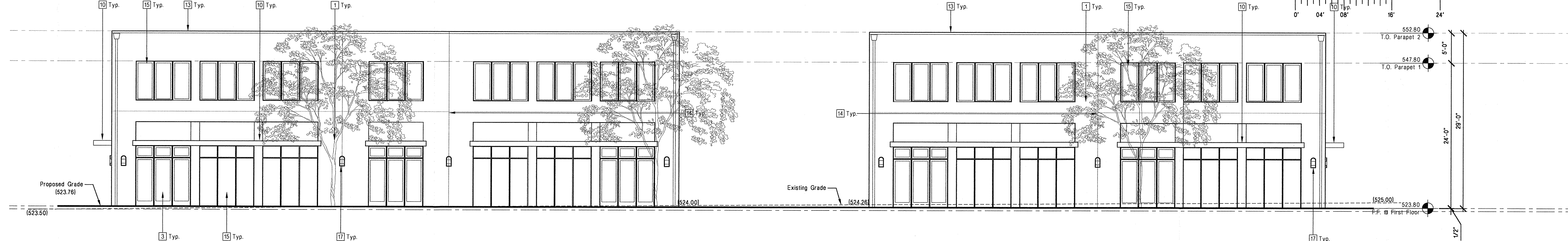
6 Building 'C1.1' North Elevation  
scale: 1/8" = 1'-0"



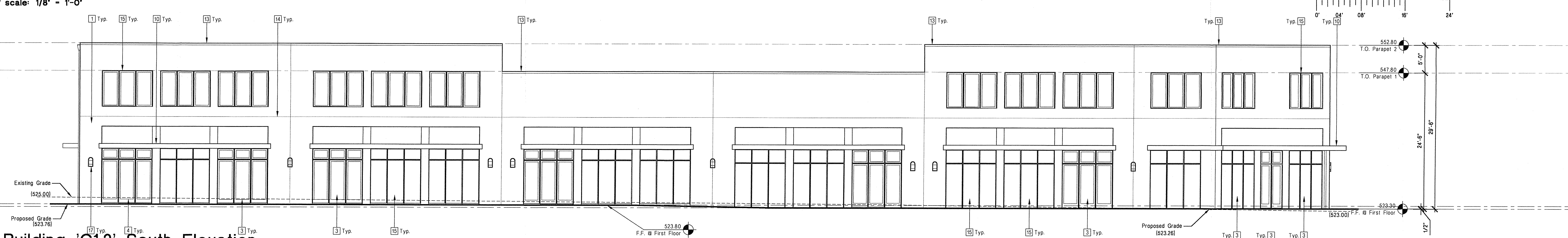
5 Building 'C1.1' South Elevation  
scale: 1/8" = 1'-0"



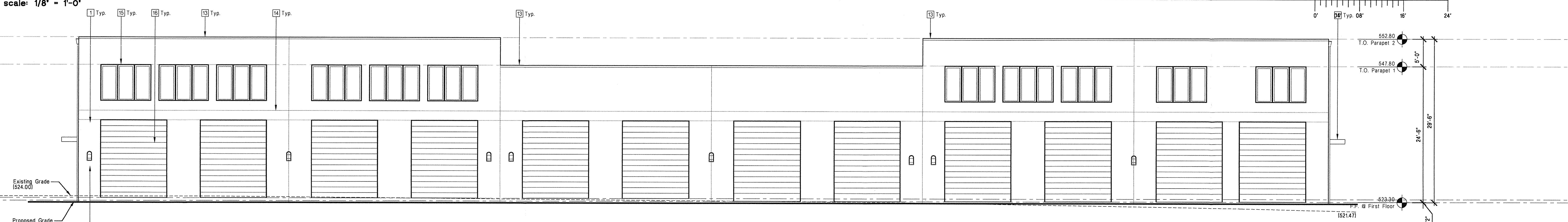
4 Building 'C1.1' & 'C1.2' East Elevation  
scale: 1/8" = 1'-0"



3 Building 'C1.1' & 'C1.2' West Elevation  
scale: 1/8" = 1'-0"



2 Building 'C1.2' South Elevation  
scale: 1/8" = 1'-0"



1 Building 'C1.2' North Elevation  
scale: 1/8" = 1'-0"

**Legend**

- Property Line
- Zone Boundary
- Setback Line
- Old Property Line
- Elevation Datum
- Grid lines
- existing grade line
- proposed/new grade line
- Height limit line

**Elevation Notes**

- 1 Wall finish-Material such as: Stucco, up siding, CMU block, concrete.
- 2 Window
- 3 Storefront system
- 4 Door-Material such as: Wood, metal, glass.
- 5 Railing-Material such as: Wood, steel, wrought iron, glass, stucco.
- 6 Garage door
- 7 Trellis/ Planter. Refer to landscape drawings for all enhanced paving and plant material.
- 8 Stairs
- 9 Elevator
- 10 Sunshade/ Overhang-Material such as: Wood, steel, wrought iron.
- 11 Built up roof-Material such as: Tile, Metal.
- 12 Privacy wall
- 13 Parapet
- 14 Expansion joint, typ.
- 15 Knock-out panels for future window location.
- 16 Roll-up loading doors
- 17 Exterior lighting
- 18 Suggested signage location

NOTE: All keynote callouts apply to all elevations.

**AFFORDABLE HOUSING EXPEDITE PROGRAM**

AUTHORIZED BY COUNCIL POLICY 600-27

**M.W. STEELE GROUP INC.**  
ARCHITECTURE | URBAN DESIGN  
325 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619.230.0325  
FACSIMILE: 619.230.0335  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: zja  
Checked:

**Ocean View Village**

Legal Description:  
The Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 29, Township 18 South Range 1 West, San Bernardino meridian, in the County of San Diego, State of California, according to official plat thereof.

Assessor's Parcel Number:  
645-050-0000

Revision 1: 02.17.06 Initial submittal  
Revision 2: 08.11.06 second submittal  
Revision 3: 06.09.07 third submittal  
Revision 4: 08.17.07 fourth submittal  
Revision 5:  
Revision 6:  
Revision 7:  
Revision 8:  
Revision 9:  
Revision 10:  
Revision 11:  
Revision 12:

**NOT FOR CONSTRUCTION**

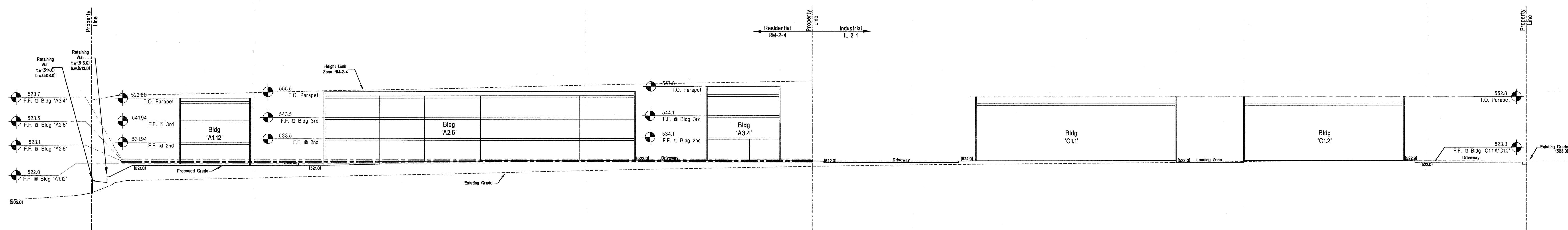
Building 'C1.1' Elevations  
Building 'C1.2' Elevations

APPROVED EXHIBIT "A"

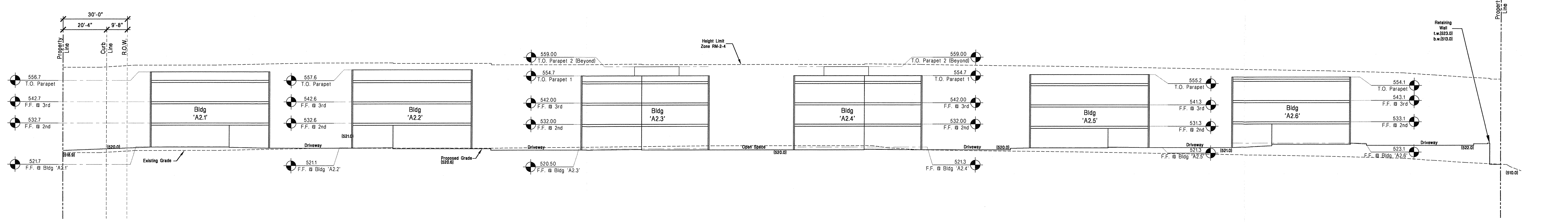
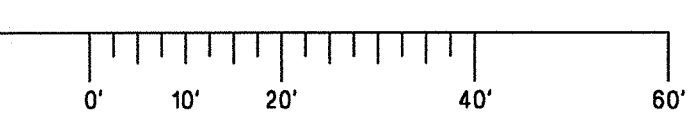
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APPROVAL NO(s) *SDP # 320732*  
*VTM # 34802 + Rezoning # 314930*  
APPROVED BY HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON *12/10/08*  
SIGNATURE *Clare M. Muebeck*

**A4.06**

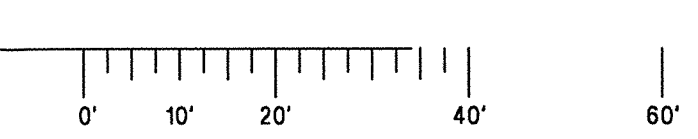
Sheet No. 34 of 39



2 North-South Site Section  
scale: 1"=20'-0"



1 East-West Site Section  
scale: 1"=20'-0"



**AFFORDABLE HOUSING  
EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27

**M. W. STEELE**  
GROUP, INC.  
ARCHITECTURE · URBAN DESIGN  
225 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619.230.0326  
FACSIMILE: 619.230.0335  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number	0470
Original Date	September 01, 2005
Owner	ZB
Created	

Revision 1:	02.17.06 Initial submittal
Revision 2:	08.11.06 second submittal
Revision 3:	08.09.07 third submittal
Revision 4:	08.17.07 fourth submittal
Revision 5:	
Revision 6:	
Revision 7:	
Revision 8:	
Revision 9:	
Revision 10:	
Revision 11:	
Revision 12:	

Ocean View Village

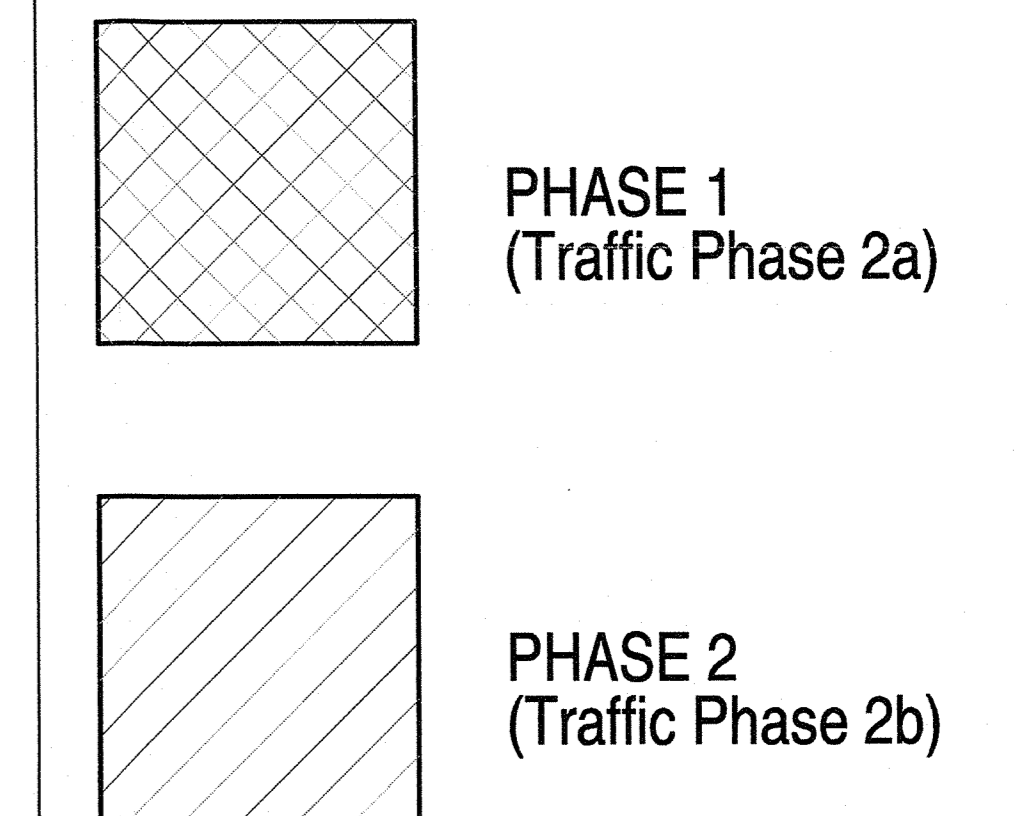
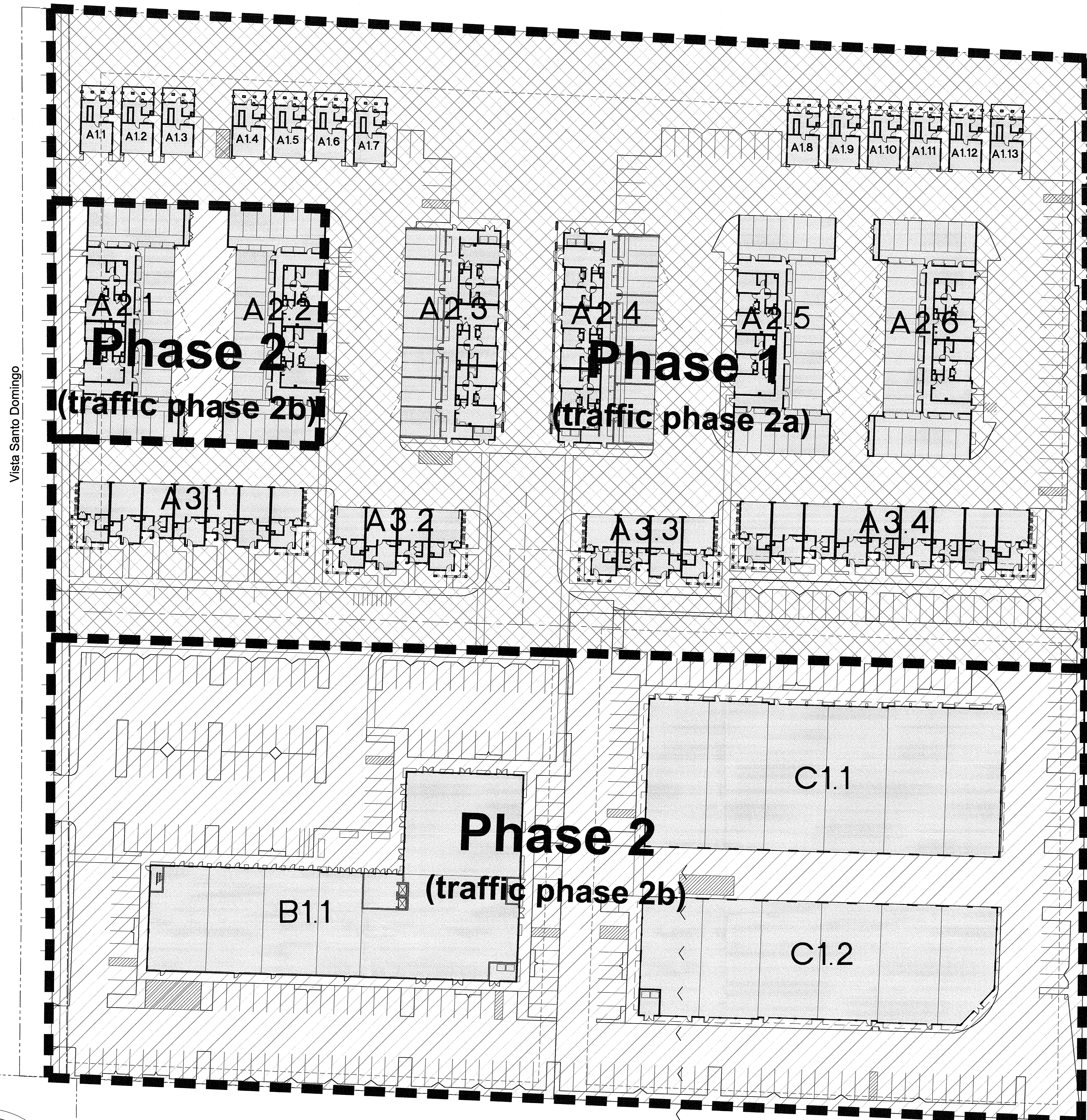
Legal Description:  
The Southeast Quarter of the Southwest Quarter  
of the Northeast Quarter of Section 29, Township 18 South  
Range 1 West, San Bernardino meridian, in the County of  
San Diego, State of California, according to official  
plat thereof.

**NOT FOR CONSTRUCTION**  
Site Sections

Assessor's Parcel Number:  
645-050-00

**APPROVED EXHIBIT "A"**  
PROJECT NO. PTS # 76580  
APPROVAL NO(s) SDP # 320732  
171111 3/4/08 + Rezoning # 3/4/08  
APPROVED BY: HEARING OFFICER, PLANNING  
COMMISSION, CITY COUNCIL ON 12/1/08  
SIGNATURE Oliver W. Umbach

**A5.01**



**Phasing Notes**

- See civil plans (C1.0-C3.0) for final development (100% build out) plans. See civil phasing plan (PO.02) for phased development.
- See landscape plans (L1.1-L1.3) for final development (100% build out) plans. See landscape phasing plan (PO.03) for phased development.
- See architectural phasing plans (PO.01) for phased parking tabulation.

**Phased Parking Tabulation**

	Standard Spaces	Accessible Spaces	Motorcycle Spaces
<b>PHASE 1 (Traffic Phase 2a)</b>			
Residential	250	7	18
Commercial	-	-	-
Light Industrial	-	-	-
<b>PHASE 1 TOTAL:</b>	<b>250</b>	<b>7</b>	<b>18</b>
<b>PHASE 2 (Traffic Phase 2b)</b>			
Residential	50	-	-
Commercial	182	6	5
Light Industrial	85	5	2
<b>PHASE 2 TOTAL:</b>	<b>307</b>	<b>11</b>	<b>7</b>
<b>PROJECT TOTAL (Phase 1 + Phase 2)</b>			
Residential	300	7	18
Commercial	182	6	5
Light Industrial	85	5	2
<b>PROJECT TOTAL:</b>	<b>567</b>	<b>18</b>	<b>25</b>

**AFFORDABLE HOUSING EXPEDITE PROGRAM**

AUTHORIZED BY  
COUNCIL POLICY 600-27

**M.W. STEELE GROUP, INC.**  
ARCHITECTURE / URBAN DESIGN  
1225 FIFTEENTH STREET  
SAN DIEGO, CA 92101  
TELEPHONE: 619-230-0325  
FACSIMILE: 619-230-0335  
WEBSITE: www.mwsteele.com

Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: ZJB  
Checked: -

Revision 1: 02.17.06 Initial submittal  
Revision 2: 08.11.06 second submittal  
Revision 3: 06.09.07 third submittal  
Revision 4: 08.17.07 fourth submittal  
Revision 5: \_\_\_\_\_  
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Revision 9: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 12: \_\_\_\_\_

**Ocean View Village**

**Legal Description:**  
The Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 29, Township 18 South Range 1 West, San Bernardino meridian, in the County of San Diego, State of California, according to official plat thereof.

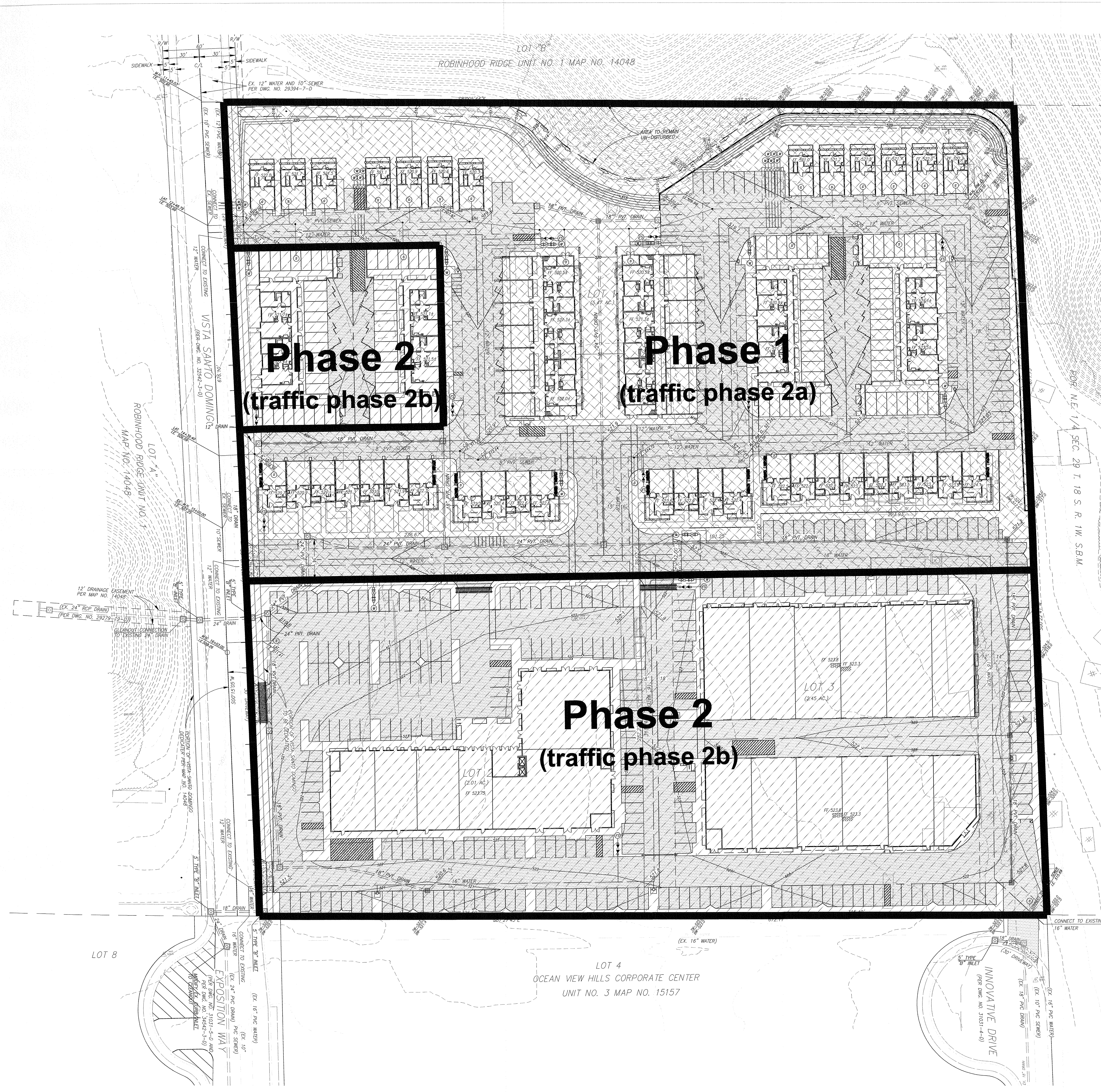
**NOT FOR CONSTRUCTION**  
Overall & Architectural Phasing Plan

Assessor's Parcel Number:  
645-050-0000

**APPROVED EXHIBIT "A"**  
PROJECT NO. PTS # 96580  
APPROVAL NO(s) SDD # 320732  
1/1/08 + 1/1/08 + 1/1/08 + 1/1/08  
APPROVED BY: HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON 12/11/08  
SIGNATURE Diane M. Madsen

**PO.01**

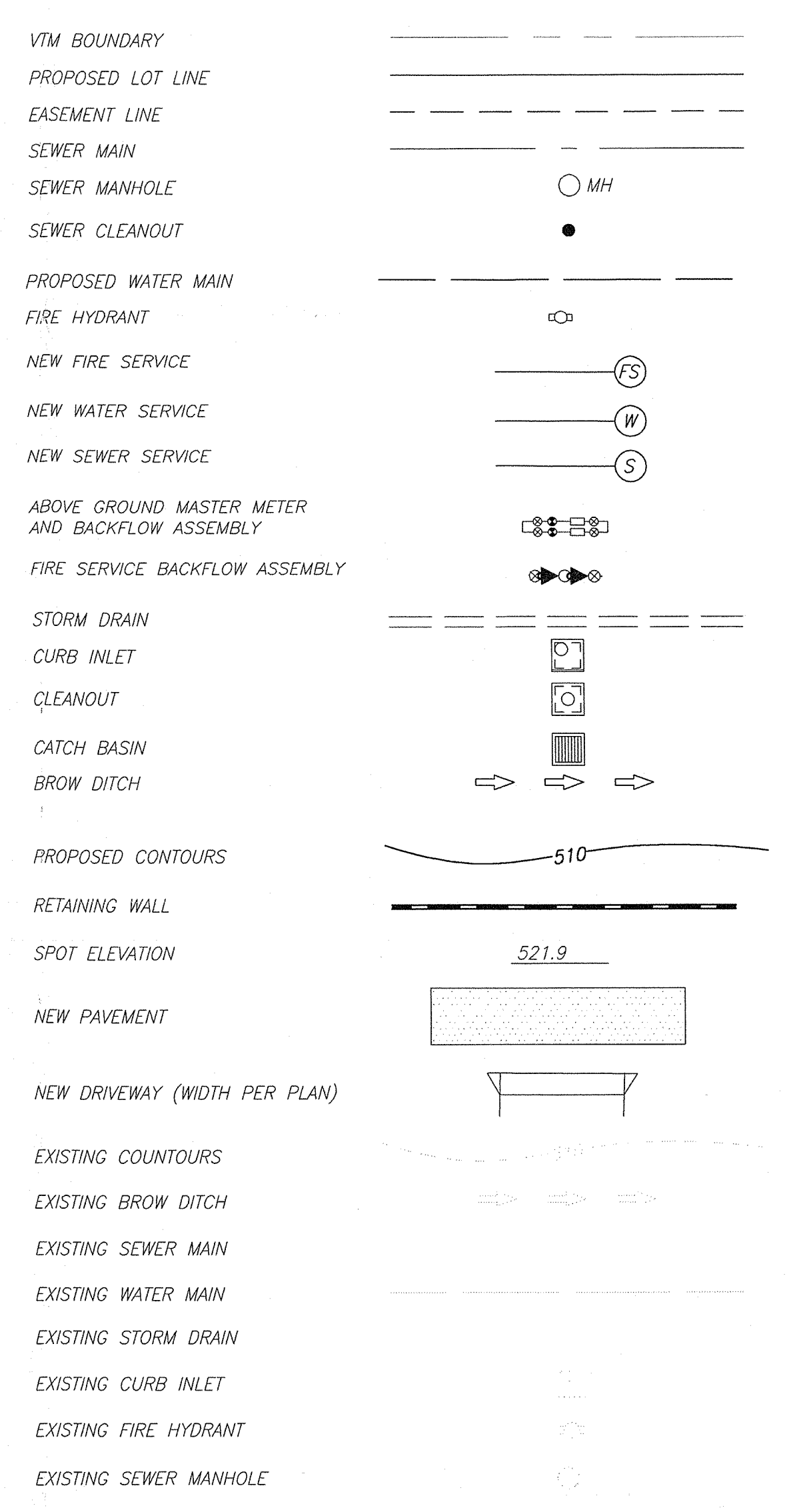
1 Overall & Architectural Phasing Plan  
scale: 1" = 30'-0"



**GENERAL NOTES**

1. Temporary drainage and erosion control needed for commercial/industrial pad during Phase 1 (traffic phase 2a) of phased development plan.
2. See civil plans (C1.0-C3.0) for final development (100% build-out) plan.
3. See landscape plans (L1.1-L1.3) for final development (100% build-out) plans. See landscape phasing plans (PO.03-PO.04) for phasing information.

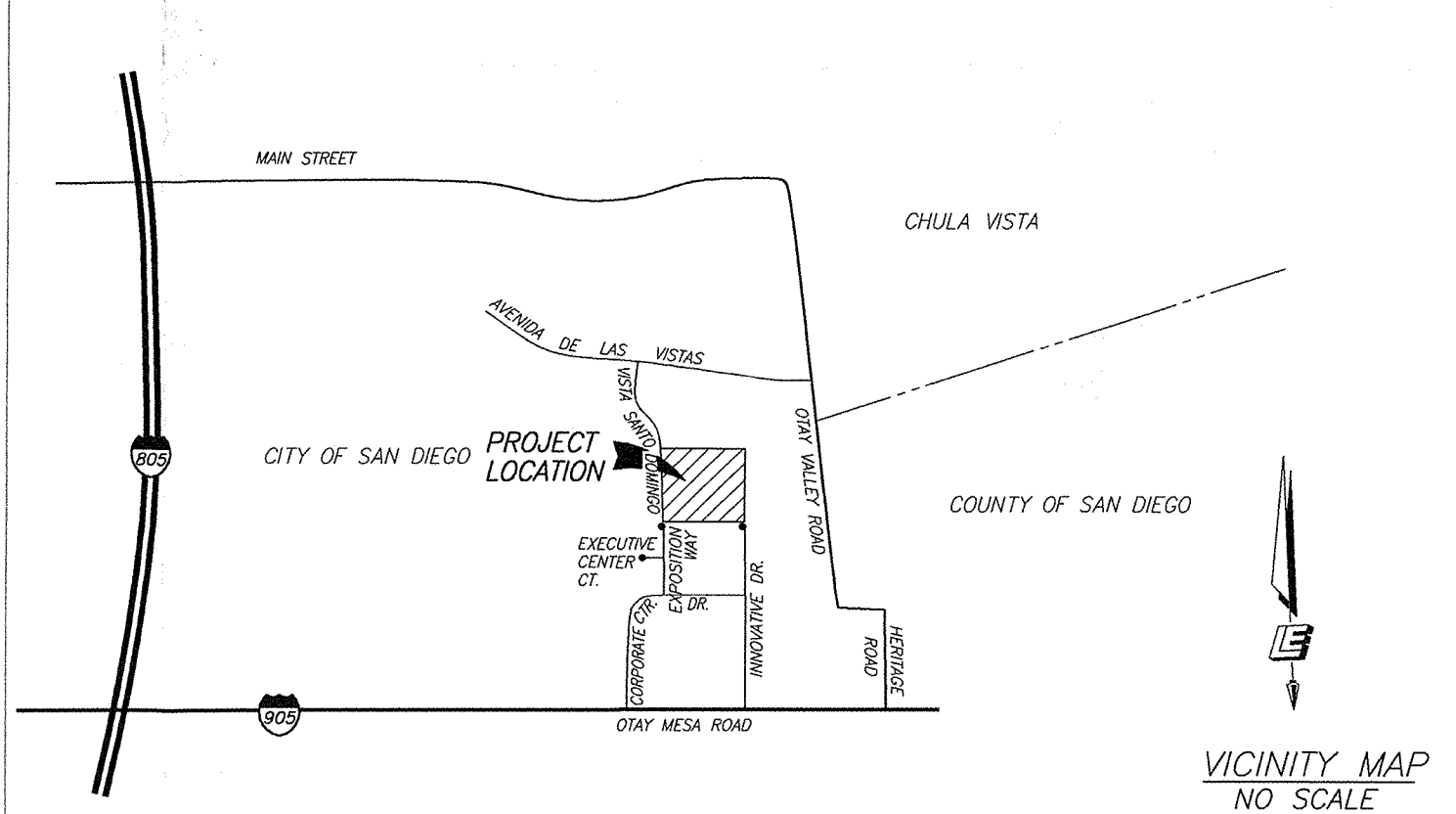
**LEGEND**



**AFFORDABLE HOUSING EXPEDITE PROGRAM**

AUTHORIZED BY COUNCIL POLICY 600-27

APPROVED EXHIBIT "A"  
 PROJECT NO. PTS# 96580  
 APPROVAL NO(s) SDP# 320732  
 VTA# 341934 + 422244 + 344836  
 APPROVED BY: HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON 12/1/08  
 SIGNATURE Alan M. ...



PREPARED BY: LEPPERT ENGINEERING CORPORATION

NAME: LEPPERT ENGINEERING CORPORATION REVISION 14: \_\_\_\_\_

ADDRESS: 5190 GOVERNOR DRIVE, S-205 REVISION 13: \_\_\_\_\_

PHONE: (619) 597-2001 REVISION 12: \_\_\_\_\_

PROJECT ADDRESS: VISTA SANTO DOMINGO REVISION 11: \_\_\_\_\_

REVISION 10: \_\_\_\_\_

REVISION 9: \_\_\_\_\_

REVISION 8: \_\_\_\_\_

REVISION 7: \_\_\_\_\_

REVISION 6: \_\_\_\_\_

REVISION 5: \_\_\_\_\_

REVISION 4: \_\_\_\_\_

REVISION 3: \_\_\_\_\_

REVISION 2: \_\_\_\_\_

REVISION 1: 8-10-07

SHEET TITLE: CIVIL PHASING PLAN

ORIGINAL DATE: 2-17-06

SHEET 37 OF 39

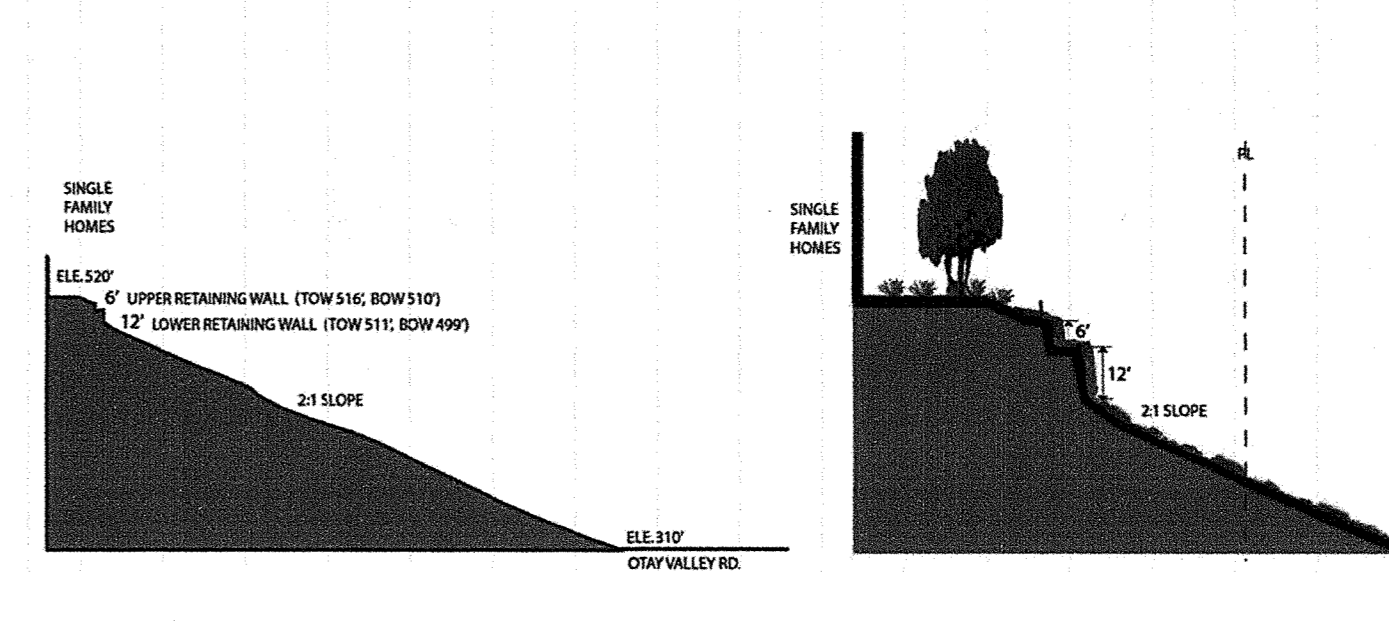
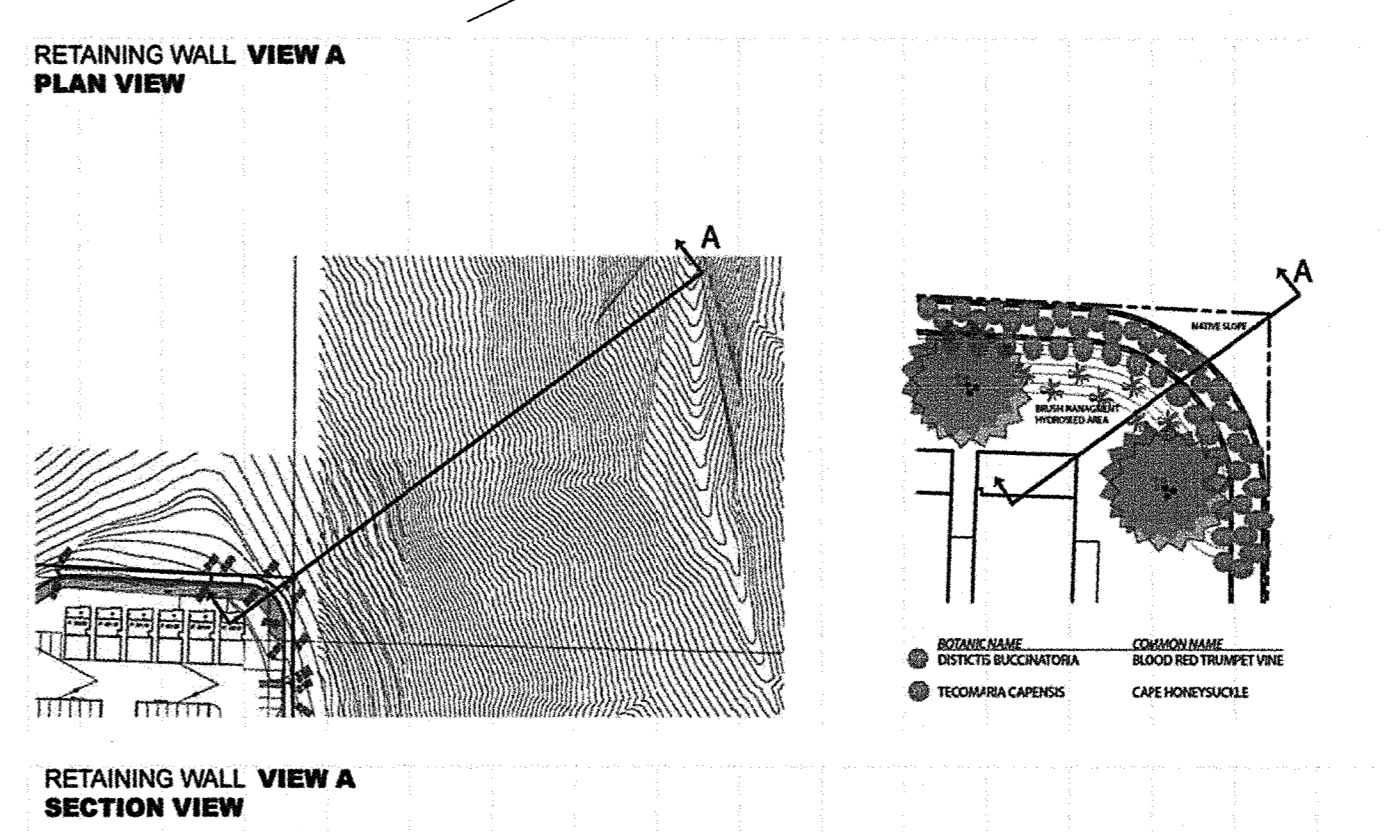
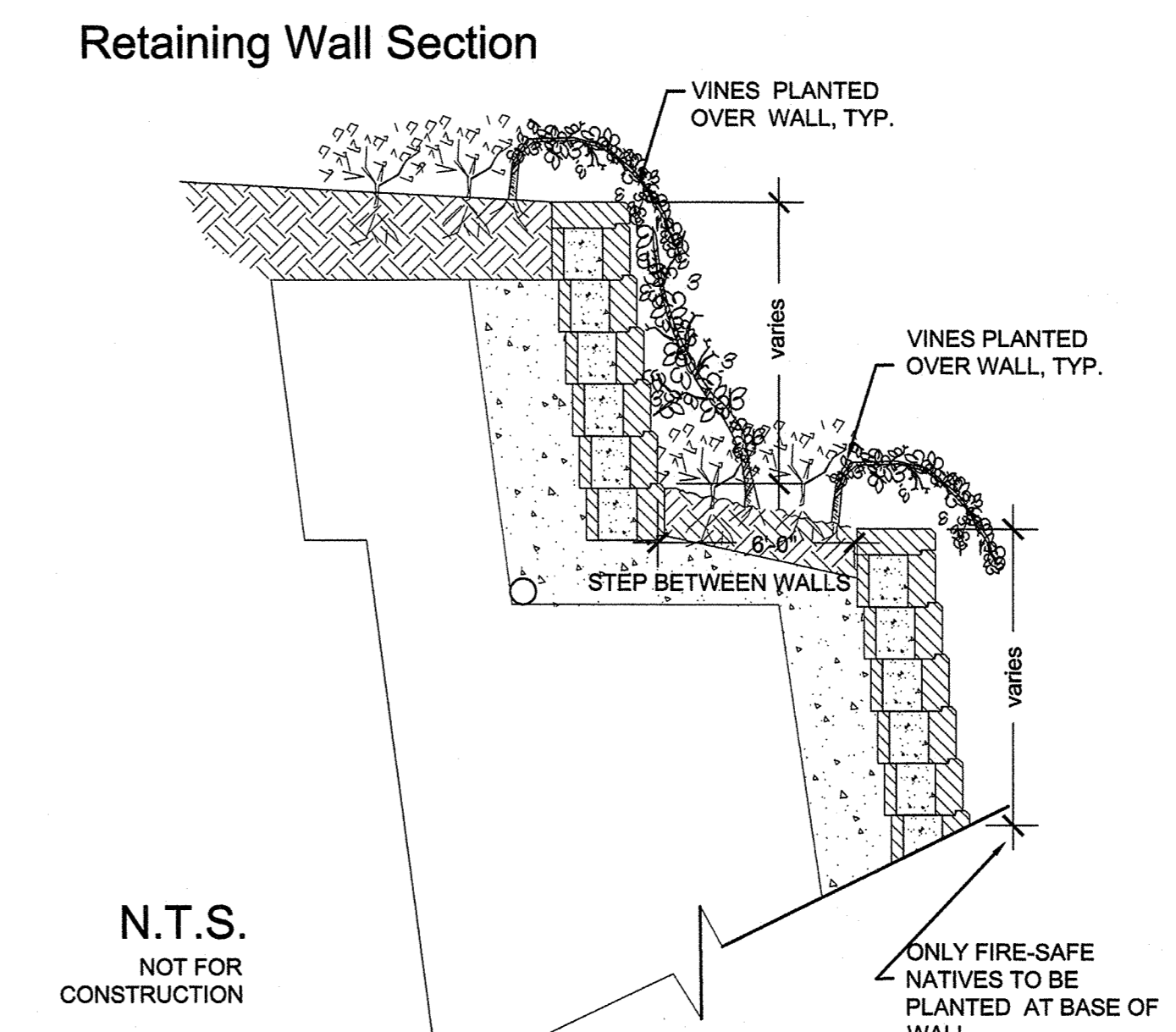
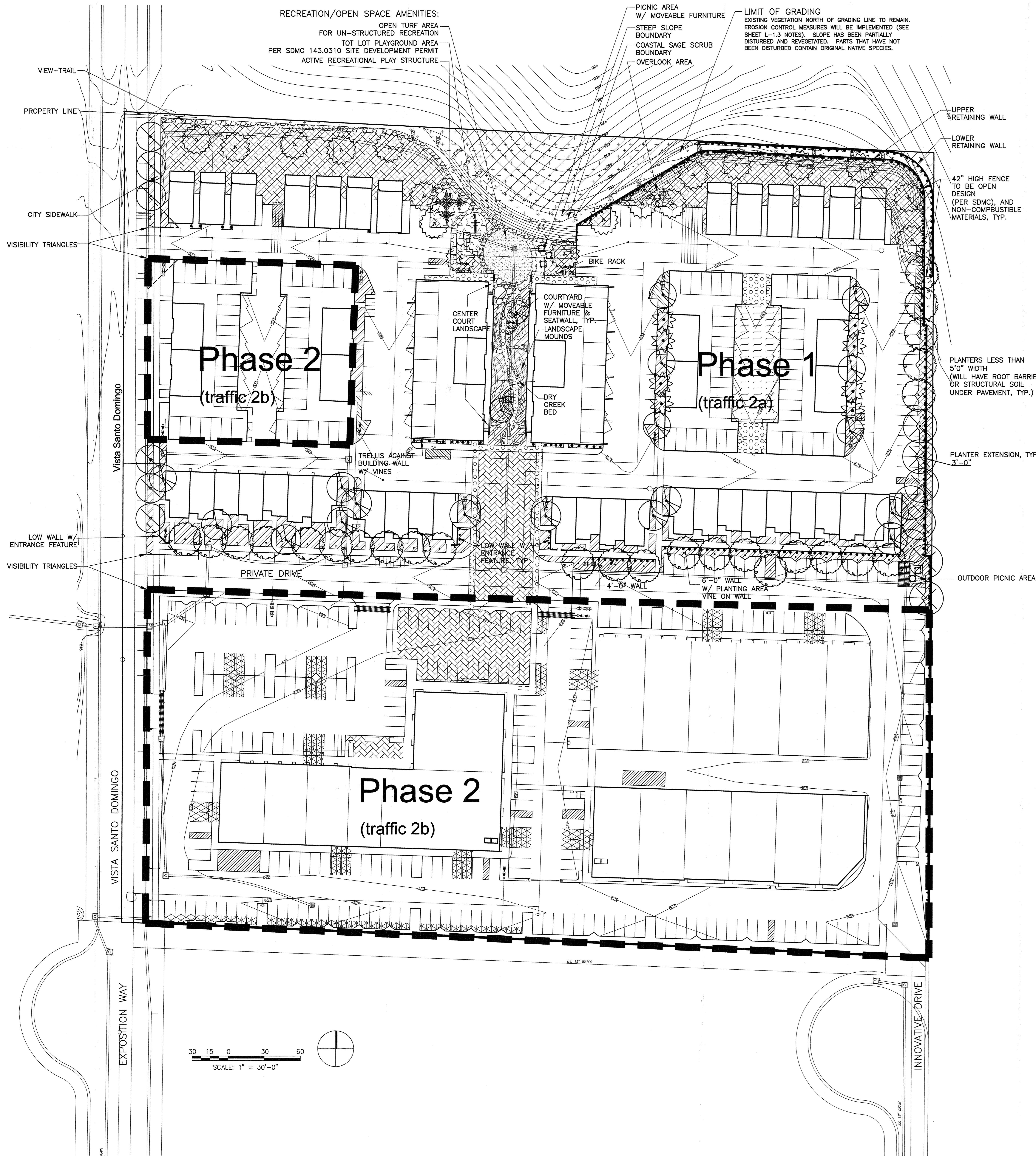
DEP# \_\_\_\_\_

NO.	DATE	BY	DESCRIPTION	REGISTRATION #	DATE
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2	8/28/08	NSJ	ISSUED REVISION		
3	2/12/08	NSJ	ORIGINAL		

LEPPERT ENGINEERING CORPORATION  
 5190 GOVERNOR DRIVE, SUITE 205  
 SAN DIEGO, CA 92122  
 (619) 597-2001

PREPARATION AND REVISION LOG

# Landscape Phase 1



## Ocean View Village

Site Development Permit  
 Vesting Tentative Map  
 Affordable Housing Expedite Program  
 Re-Zone

**AFFORDABLE HOUSING EXPEDITE PROGRAM**

AUTHORIZED BY  
 COUNCIL POLICY 600-27

- ### Planting Legend
- PARKING LOT SHADE TREE
  - STREET TREE
  - SCREEN TREE
  - ACCENT TREE
  - BRUSH MANAGEMENT TREE
  - PALM
  - VINE
  - PLANTING AREAS, TYP SHRUBS & GROUNDCOVER
  - BRUSH MANAGEMENT ZONE 1 SHRUB PLANTING
  - BRUSH MANAGEMENT ZONE 2 SHRUB PLANTING
  - TURF
  - NATIVE COASTAL SAGE SCRUB (TO REMAIN)
  - STEEP SLOPE (TO BE UNDISTURBED)

- ### Paving Legend
- SIDEWALK STANDARD NATURAL CONCRETE TO CITY OF SD STANDARDS
  - SPECIALTY PAVING 1 ENHANCED CONCRETE EXPOSED AGGREGATE OR SIMILAR ENHANCEMENT
  - SPECIALTY PAVING 2 UNIT PAVER OR OTHER SPECIALTY ENHANCEMENT
  - SPECIALTY PAVING 3 GRAVEL-CRETE OR OTHER ENHANCED PLANTABLE AND PERMEABLE MATERIAL
  - SECONDARY ACCESS TRAIL PRECAST PAVERS, STEPPING STONES OR DECOMPOSED GRANITE (COMPACTED)
  - STRUCTURAL SOIL UNDER PAVEMENT OR PERMEABLE PAVERS
  - NO PARKING ZONE (SEE ARCHITECTURAL)
  - LOOSE STONES AND/OR WATER FEATURE
  - PLAYGROUND SAFETY SURFACE

WRT Planning & Design

**Wallace Roberts & Todd, Inc.**  
 1133 Columbia Street, Suite 205 619.696.9303  
 San Diego, CA 92101 fax 619.696.7935

**M. W. STEELE GROUP, INC.**  
 ARCHITECTURE | URBAN DESIGN  
 325 FIFTEENTH STREET  
 SAN DIEGO | CA | 92101  
 TELEPHONE: 619.230.0326  
 FACSIMILE: 619.230.0335  
 WEBSITE: www.mwsteele.com

Planned Development Permit  
 Vesting Tentative Map  
 Affordable Housing Expedite Program  
 Re-Zone

Project Number: 047D  
 Original Date: September 01, 2005  
 Drawn: CSKG  
 Checked:

## Ocean View Village

Legal Description:  
 The Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 29, Township 18 South Range 1 West, San Bernardino meridian, in the County of San Diego, State of California, according to official plat thereof.

Assessor's Parcel Number:  
 645-050-07

**APPROVED EXHIBIT "A"**

PROJECT NO. PTS # 96580  
 APPROVAL NO. SDP # 320733  
 APPROVED BY: HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON 12/1/08  
 SIGNATURE: Wanda Murbach

NOT FOR CONSTRUCTION

LANDSCAPE PHASING PLAN - 2A

PO.03

Sheet No. 38 of 39

# Landscape Phase 2

# Ocean View Village

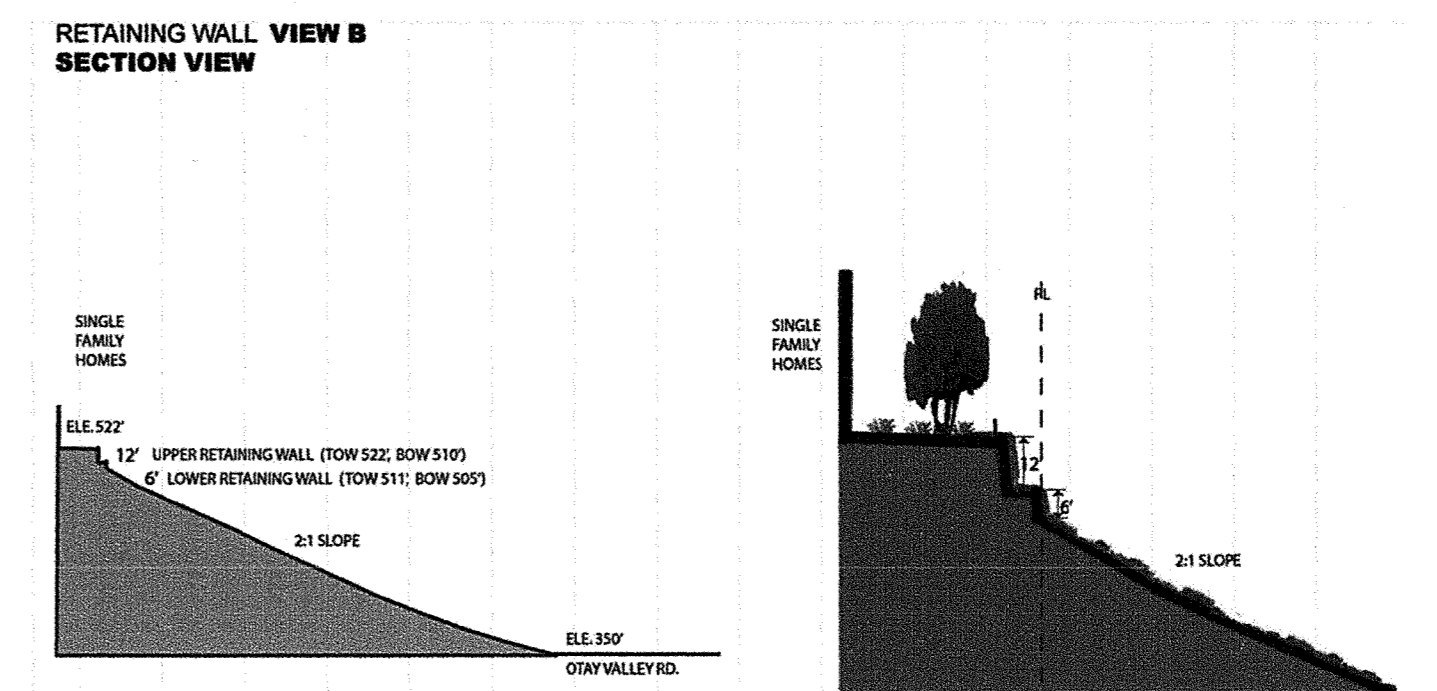
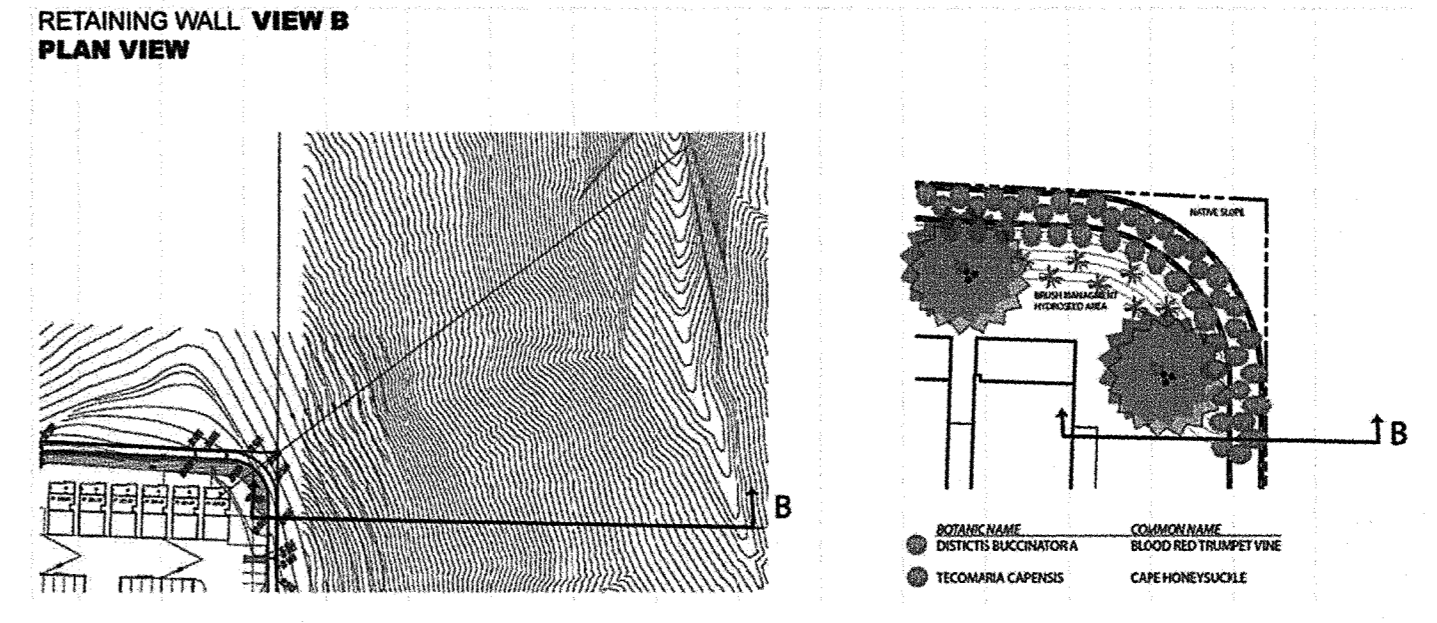
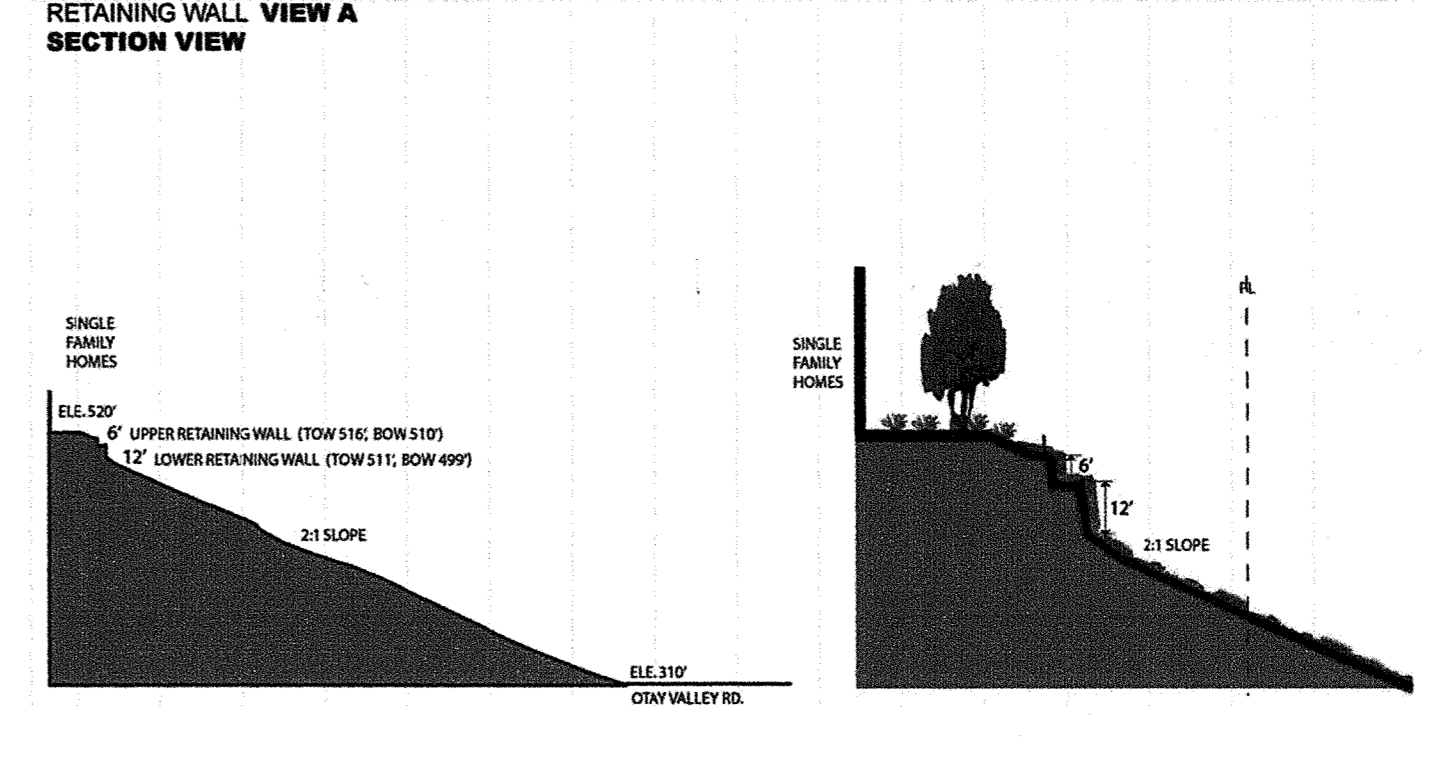
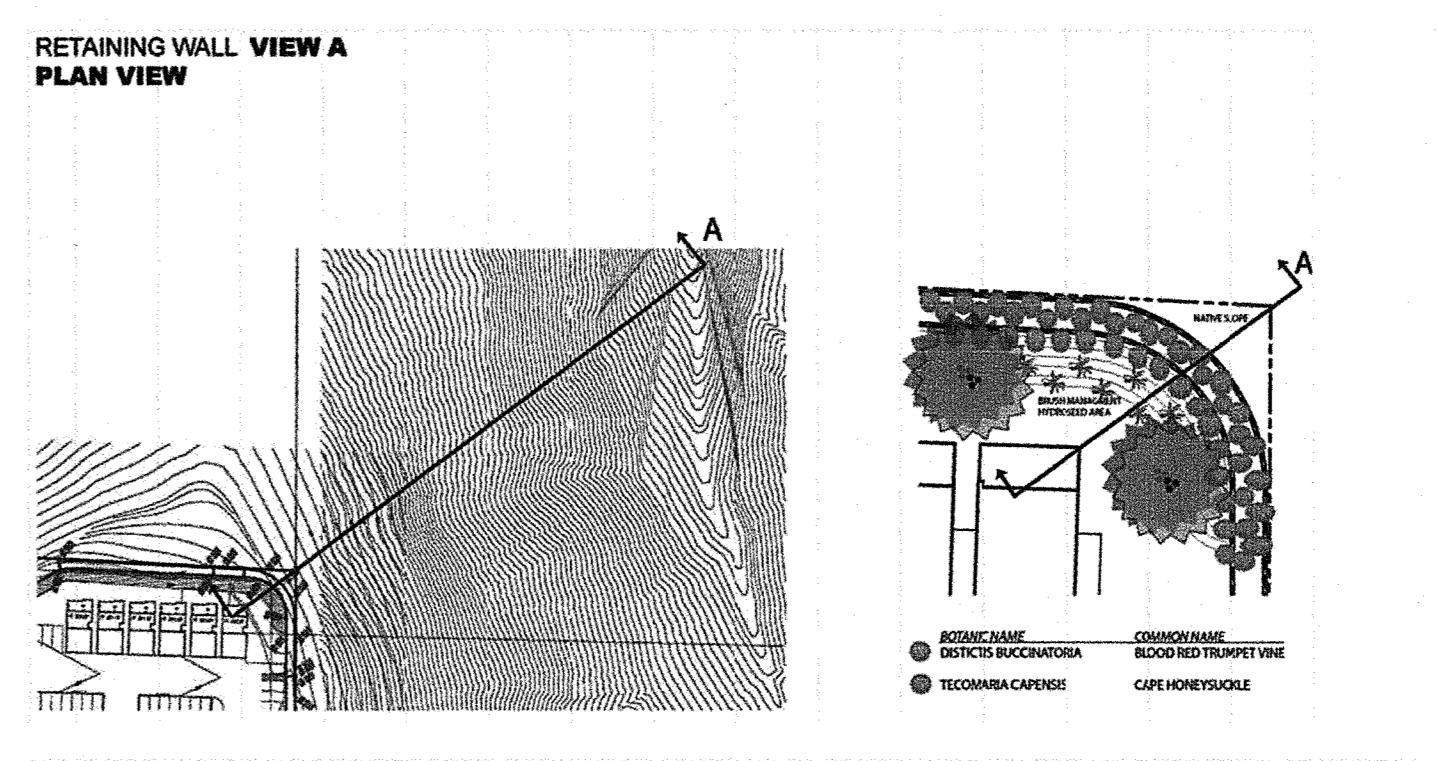
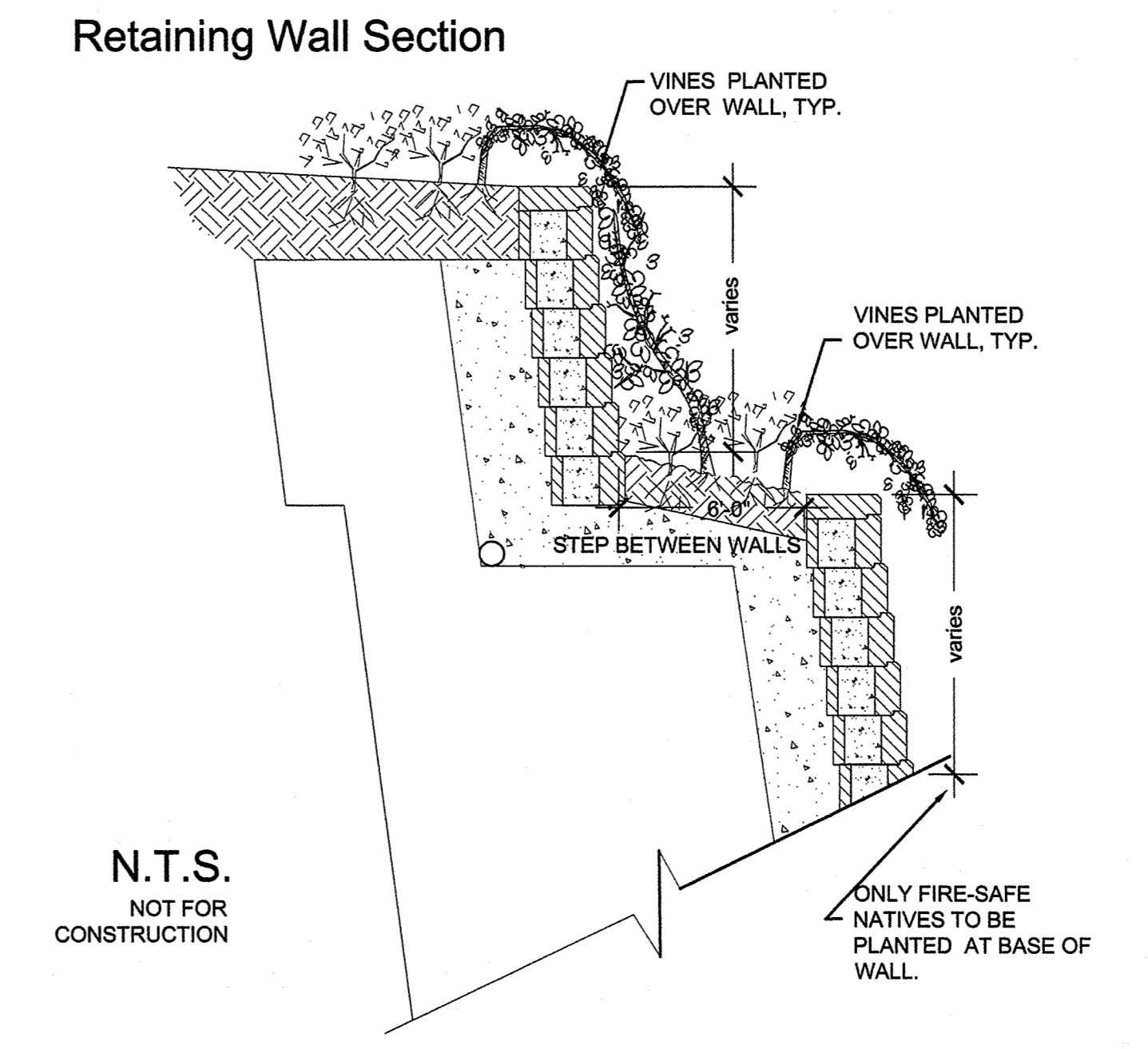
Site Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

## AFFORDABLE HOUSING EXPEDITE PROGRAM

AUTHORIZED BY  
COUNCIL POLICY 600-27

### Planting Legend

- PARKING LOT SHADE TREE
- STREET TREE
- SCREEN TREE
- ACCENT TREE
- BRUSH MANAGEMENT TREE
- PALM
- VINE
- PLANTING AREAS, TYP. SHRUBS & GROUND COVER
- BRUSH MANAGEMENT ZONE 1 SHRUB PLANTING
- BRUSH MANAGEMENT ZONE 2 SHRUB PLANTING
- TURF
- NATIVE COASTAL SAGE SCRUB (TO REMAIN)
- STEEP SLOPE (TO BE UNDISTURBED)



### Paving Legend

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- SPECIALTY PAVING 1 ENHANCED CONCRETE EXPOSED AGGREGATE OR SIMILAR ENHANCEMENT
- SPECIALTY PAVING 2 UNIT PAVEMENT OR OTHER SPECIALTY ENHANCEMENT
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- SECONDARY ACCESS TRAIL PRECAST PAVERS, STEPPING STONES OR DECOMPOSED GRANITE (COMPACTED)
- STRUCTURAL SOIL UNDER PAVEMENT OR PERMEABLE PAVERS
- NO PARKING ZONE (SEE ARCHITECTURAL)
- LOOSE STONES AND/OR WATER FEATURE
- PLAYGROUND SAFETY SURFACE

**WRT** Planning & Design

**Wallace Roberts & Todd, Inc.**  
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WEBSITE: www.mwsteele.com

Planned Development Permit  
Vesting Tentative Map  
Affordable Housing Expedite Program  
Re-Zone

Project Number: 0470  
Original Date: September 01, 2005  
Drawn: CS/KG  
Checked:

Revision 1: 02.17.06 initial submit  
Revision 2: \_\_\_\_\_  
Revision 3: \_\_\_\_\_  
Revision 4: \_\_\_\_\_  
Revision 5: \_\_\_\_\_  
Revision 6: \_\_\_\_\_  
Revision 7: \_\_\_\_\_  
Revision 8: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 12: \_\_\_\_\_

NOT FOR CONSTRUCTION

LANDSCAPE PHASING PLAN - 2B

Assessor's Parcel Number:  
645-050-07

**APPROVED EXHIBIT "A"**  
PROJECT NO. *PTS# 96580*  
APPROVAL NO. (s) *SDP# 320732*  
VTM# *34629 + Reason# 34483*  
APPROVED BY HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON *12/11/08*  
SIGNATURE *Charee Njoroch*

PO.04

Sheet No. 39 of 39

