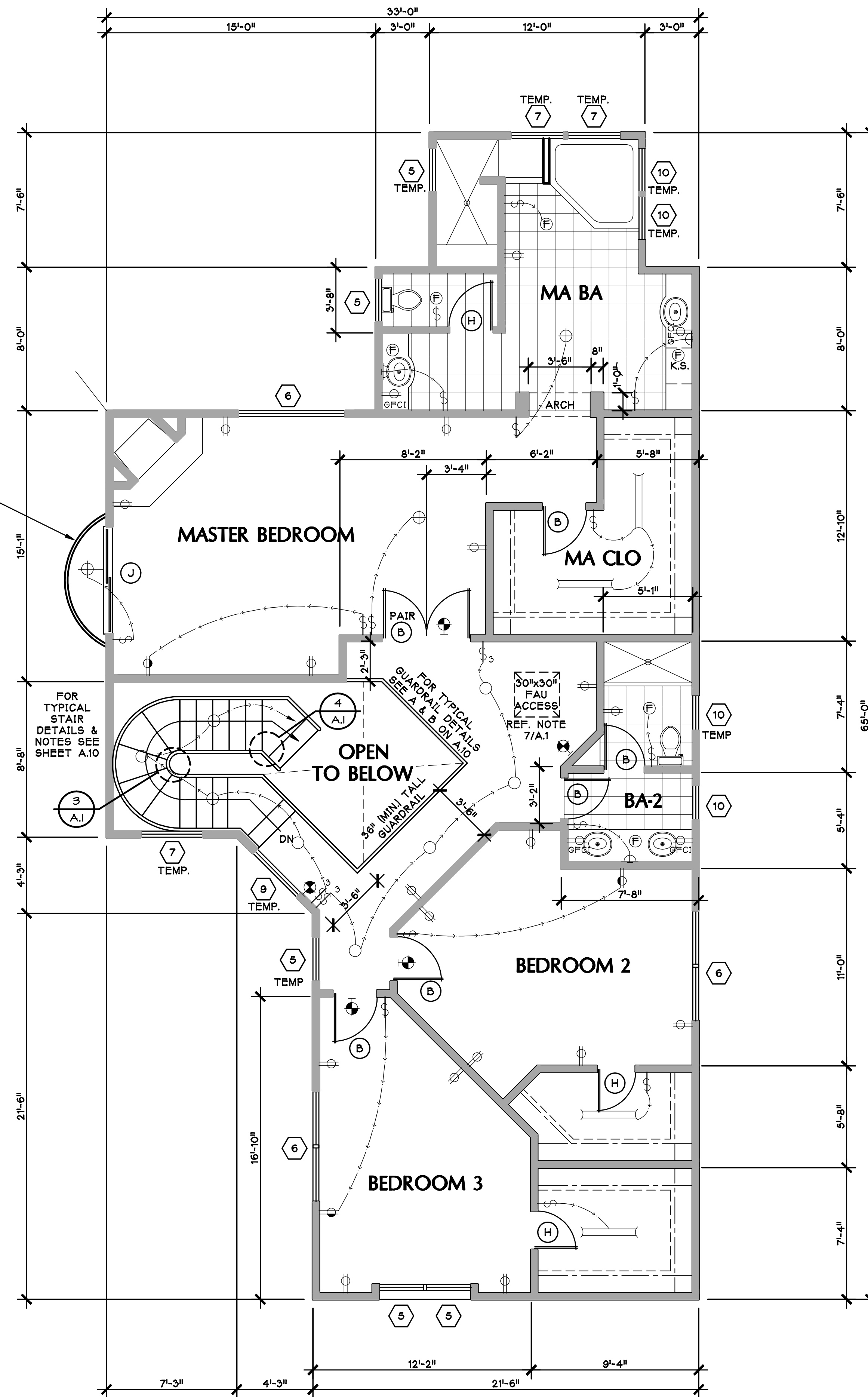


*3/8" WROUGHT IRON RAILING @ BALCONY w/ OPENINGS BETWEEN RAILINGS NOT LESS THAN 4".



2 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

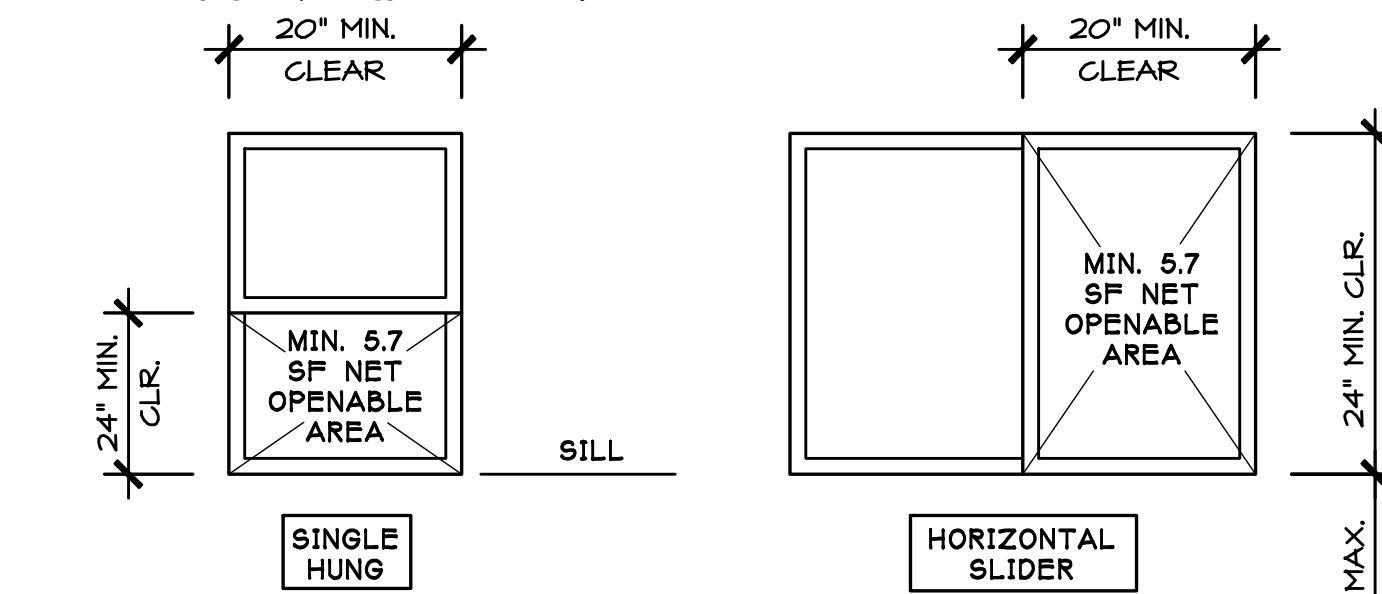
DOOR SCHEDULE					
DOOR SIZE	TYPE	MAT.	FIN.	REMARKS	
A 3'-6" X 6'-8"	ENTRY DOOR	WOOD	PAINT	TEMP. GLASS	
B 2'-6" X 6'-8"	INTERIOR	WOOD	PAINT		
C 2'-8" X 6'-8"	INTERIOR	WOOD	PAINT		
D 2'-0" X 6'-8"	INTERIOR	WOOD	PAINT		
E 3'-0" X 6'-8"	1 3/8" S.C. or 20 MIN. RATINGS	WOOD	PAINT	w/ SELF CLOSER	
F 2'-6" X 6'-8"	WATER HEATER	WOOD	PAINT	w/ VENTS @ T & B	
G 16'-0" X 7'-0"	OVERHEAD GARAGE DOOR	METAL	PAINT	SECTIONAL w/ OPENER	
H 2'-4" X 6'-8"	INTERIOR	WOOD	PAINT		
J 6'-0" X 6'-8"	SLIDING GLASS DOOR	GLASS	ALUM.	TEMPERED GLASS	
K 3'-0" X 6'-8"	EXTERIOR w/ WINDOW	WOOD	PAINT	TEMP. GLASS/ SEE NT. #12	

WINDOW SCHEDULE							
WINDOW SIZE	TYPE	FRAME	GLASS	CLASS		REMARKS	
		MAT. FINISH	FINISH	DUAL	TEMP.		
1 3'-0" X 5'-0"	S. HUNG	VINYL	CLEAR	X			
2 2'-0" X 3'-6"	S. HUNG	VINYL	CLEAR	X			
3 3'-0" X 5'-0"	S. HUNG	VINYL	CLEAR	X			
4 3'-0" X 3'-6"	S. HUNG	VINYL	CLEAR	X			
5 2'-6" X 4'-0"	S. HUNG	VINYL	CLEAR	X			
6 6'-0" X 4'-0"	H.S.	VINYL	CLEAR	X			
7 3'-0" X 4'-0"	FIXED	VINYL	CLEAR	X			
8 2'-6" X 5'-0"	S. HUNG	VINYL	CLEAR	X			
9 3'-6" X 4'-0"	S. HUNG	VINYL	CLEAR	X			
10 2'-0" X 4'-0"	S. HUNG	VINYL	CLEAR	X			
11 2'-0" X 3'-0"	S. HUNG	VINYL	CLEAR	X			
12 2'-0" X 3'-0"	S. HUNG	VINYL	CLEAR	X			

DOOR & WINDOW NOTES:

- ALL OPENABLE WINDOWS ARE TO HAVE SCREENS REFER TO THE EXTERIOR ELEVATIONS FOR THE OPENING SECTIONS AND LOCATIONS OF WINDOWS TO HAVE MUTIN BARS. COLOR TO MATCH WINDOW FRAME.
- MANUFACTURED DOORS AND WINDOWS ARE TO MEET ANSI OR NWMA STANDARDS AND ARE SO LABELED.
- ALL EXTERIOR DOORS AND WINDOWS ARE TO BE FULLY WEATHERSTRIPPED.
- ALL OPENINGS ARE TO BE CAULKED AND SEALED; I.E. AROUND JOINTS IN WINDOWS.
- MIRRORS IN ALL BATHS SHALL START AT THE COUNTER TOPS AND EXTEND TO 7'-0" ABOVE THE FLOOR.
- FAU CLOSET SHALL BE 12" WIDER THAN FURNACE MAX. LENGTH 14 FT. W/21 90 D ELBOWS U.M.C. SEC. 504.3.2.
- ALL SLIDING GLASS DOORS AND WINDOWS MARKED "TEMP" ARE TO HAVE 3/16" TEMPERED GLASS.
- WINDOWS ARE TO BE VINYL FRAMED, DUAL GLAZED, CLEAR GLASS.
- SEE T-24 CALCS FOR GLAZING REQUIREMENTS AND VALUES.
- DOOR BETWEEN GARAGE AND DWELLING TO BE SELF-CLOSING, TIGHT FITTING AND EITHER 1 3/8" THICK SOLID WOOD OR 20 MIN. FIRE PROTECTION RATED (UBC SEC. 302.4 EX.3)
- THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.
- DOORS MAY OPEN INTO THE GARAGE ONLY IF THE FLOOR OR LANDING IN THE GARAGE IS NOT MORE THAN ONE INCH LOWER THAN THE DOOR THRESHOLD. SECTION 1003.3.1.6

EMERGENCY EGRESS WINDOWS



SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE HEIGHT 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. SECTION 310.4.

TYPICAL EXAMPLES SHOWN ABOVE. CONTACT WINDOW MANUFACTURER TO DETERMINE THAT EACH SLEEPING ROOM HAS AT LEAST ONE WINDOW THAT MEETS THE MINIMUM REQUIREMENTS. NOTE: CASEMENT WINDOWS MAY PIVOT OPEN INTO AN AREA THAT WHEN CLOSED WOULD APPEAR TO MEET MIN. REQUIREMENTS.

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RELEASE DATES:

ISSUED: 7/7/05

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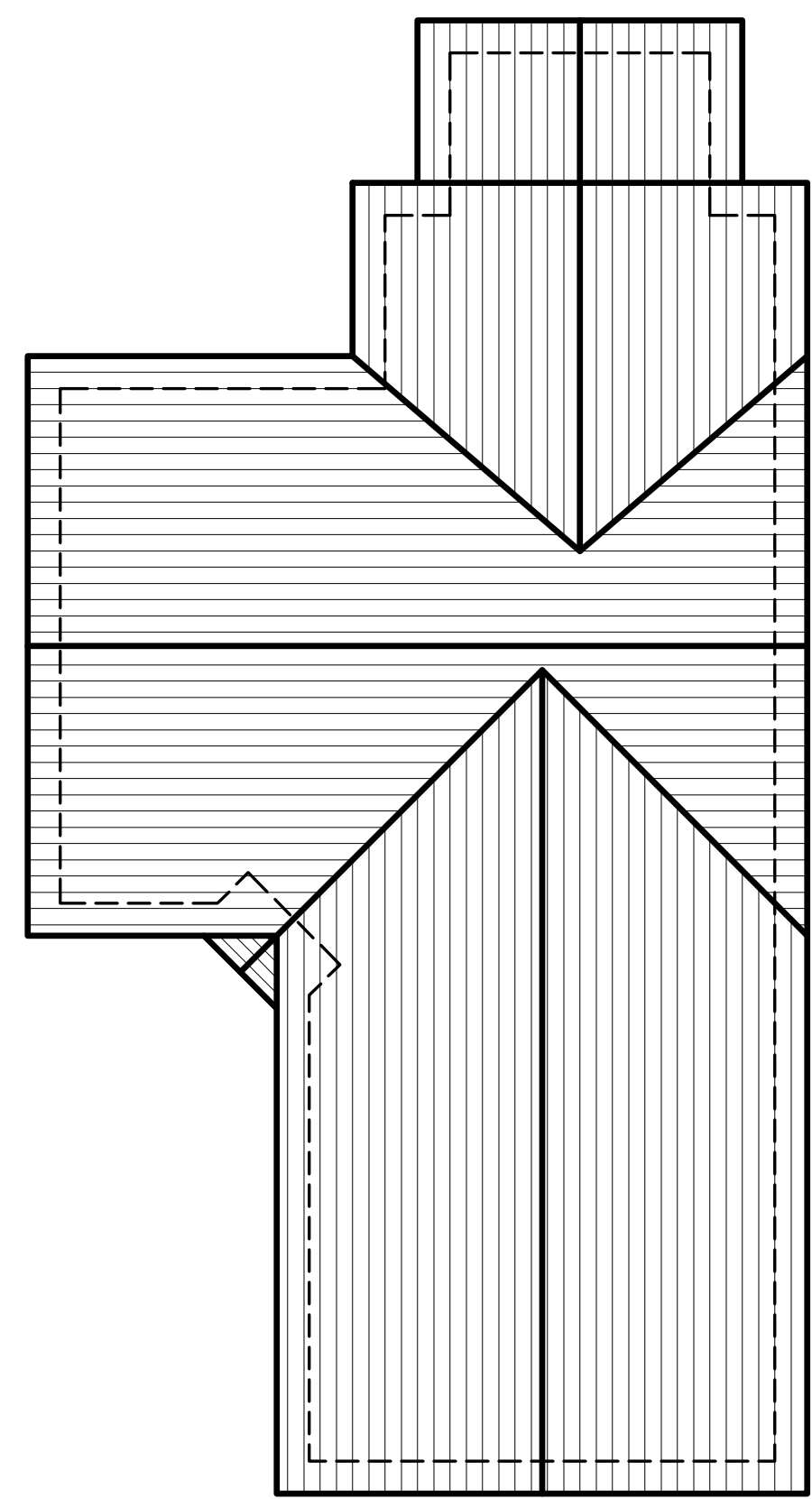
CHECKED BY: **PL**

SHEET TITLE:

**PLAN-2492
2ND FLOOR**

SHEET NO:

A.2



5 ROOF PLAN
SCALE: 1/8"=1'-0"

ROOF PLAN NOTES:

- CONCRETE ROOF TILES: "EAGLE ROOFING PRODUCTS" MALIBU SERIES #2526 VALENCIA (TERRACOTTAS)
 - PROVIDE MIN. (1) LAYER 40# FELT UNDERLAYMENT. INSTALL TILE PER MANF.'S RECOMMENDATIONS.
 - SOLID PLYWOOD ROOF SHEATHING PER PLAN.
 - PROVIDE BHRD STOPS TO MATCH ROOF (TYP.)
- NO GUTTERS @ ROOF OVERHANG. LANDSCAPE PLAN SHALL PROVIDE SUFFICIENT SUB-SURFACE DRAINS @ HOUSE PERIMETER.
- ROOF SLOPE = 5:12
- PROVIDE ATTIC VENTILATION. MINIMUM VENT AREA IS 1/150 OF ATTIC AREA or 1/300 OF ATTIC AREA IF AT LEAST 50% OF THE REQUIRED VENT IS @ LEAST 3'-0" ABOVE EAVE VENTS OR CORNICE VENTS.
- PROVIDE GALVANIZED 26 GA. IRON ROOF FLASHING @ ALL ROOF and WALL INTERSECTIONS, VALLEYS, and G.I. DIVERTERS on/ EXTERIOR DOORWAYS and HIGH SIDE OF FIREPLACE CHIMNEY STACKS (WHERE OCCURS).
- PROVIDE PLYWOOD CRICKETS and G.I. FLASHING @ ANY and ALL PREGARIOUS WATER COLLECTION SPOTS ON ROOF TO DIVERT WATER TO NATURAL ROOF FLOW. 1/4" /FT. MIN. @ VALLEYS.
- ALL G.I. FLASHING SHALL BE PER S.M.A.C.N.A. STANDARDS.

ATTIC VENTING NOTES:

- PROVIDE DORMER AND/OR GABLE VENTS IN THE UPPER 1/3 OF THE ROOF. VENTS FOR 1/2 OF THE REQUIRED VENTING FOR EACH ATTIC AREA.
- PROVIDE (3) 2"Ø VENT HOLES IN EACH EAVE BLOCK FOR THE OTHER 1/2 OF THE REQUIRED VENTING. BACK HOLES WITH 1/4 HARDWARE CLOTH. EACH BLOCK PROVIDES 8.5 SQUARE INCHES OF NET VENTING AREA.
- SPACE VENTS AT CORNERS AND EQUIDISTANT FROM EACH OTHER.
- WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. TO ACCOMMODATE THE THICKNESS OF INSULATION PLUS THE REQUIRED 1" CLEARANCE, MEMBER SIZES MAY HAVE TO BE INCREASED FOR RAFTER-CEILING JOISTS. SECTION 1505.3
- ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION. SECTION 1505.3

VENTING AREA REQUIREMENTS:

ATTIC VENTING =
2216 S.F. OF NEW ATTIC / 300 = 7.4 S.F. MIN. NET VENT AREA REQ.
PROVIDE 3.7 S.F. NET VENT AREA MIN. w/ GABLE OR DORMER VENTS
PROVIDE 3.7 S.F. NET VENT AREA MIN. w/ EAVE BLOCKS (63 EAVE BLOCKS REQ.)



3 REAR ELEVATION
SCALE: 1/8"=1'-0"



4 RIGHT ELEVATION
SCALE: 1/8"=1'-0"



1 LEFT ELEVATION
SCALE: 1/8"=1'-0"



1a MOD. LEFT ELEV. FOR LOTS 4 & 7
SCALE: 1/8"=1'-0"

ELEVATION NOTES:

- CHIMNEYS TO BE MINIMUM 2'-0" ABOVE ANY ROOF WITHIN 10'-0"
SPARK ARRESTORS TO BE INSTALLED ON ALL CHIMNEYS PER UBC, SECTION 3102.3.8
- STUCCO TO BE 1" THICK, 3 COAT STUCCO OVER EXPANDED METAL LATH



2 FRONT ELEVATION
SCALE: 1/8"=1'-0"

** TYPICAL NOTES AND DETAILS DENOTED ON THIS ELEVATION



2a FRONT ELEV. FOR REVERSE PLAN
SCALE: 1/8"=1'-0"
LOTS 4 & 7

POWDER COATED ALUM. GUARDRAIL MIN. 36" TALL. ANCHOR TO FRAMING w/ 1/2"x 4" LAG SCREWS TOP & BOTTOM THROUGH WELDED TABS ON RAIL. 4" MAX SPACING FOR OPENINGS IN GUARDRAIL.

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DRAWN BY: MSR

CHECKED BY: PL

SHEET TITLE:

PL-2492 R.PLAN & ELEVATIONS

SHEET NO:

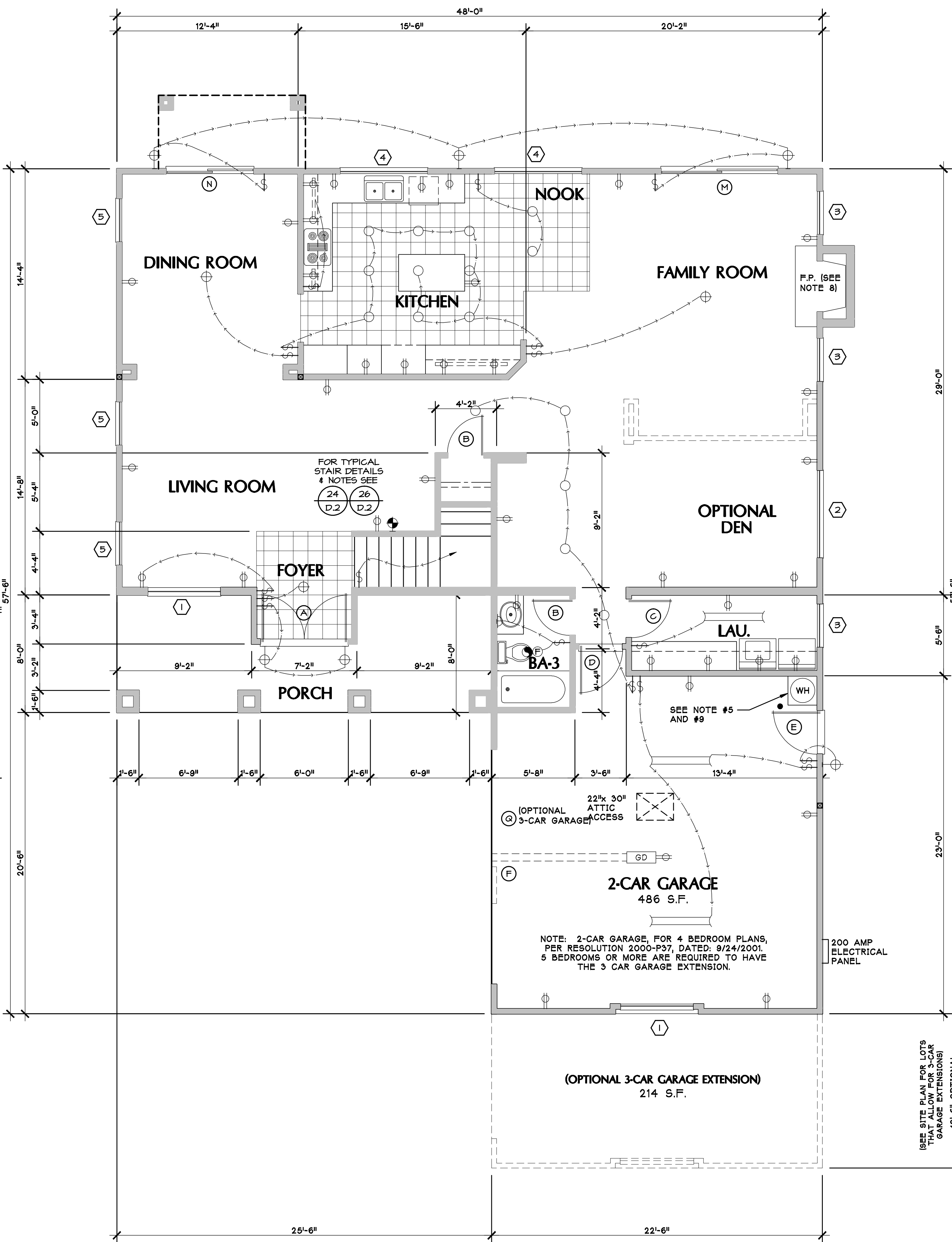
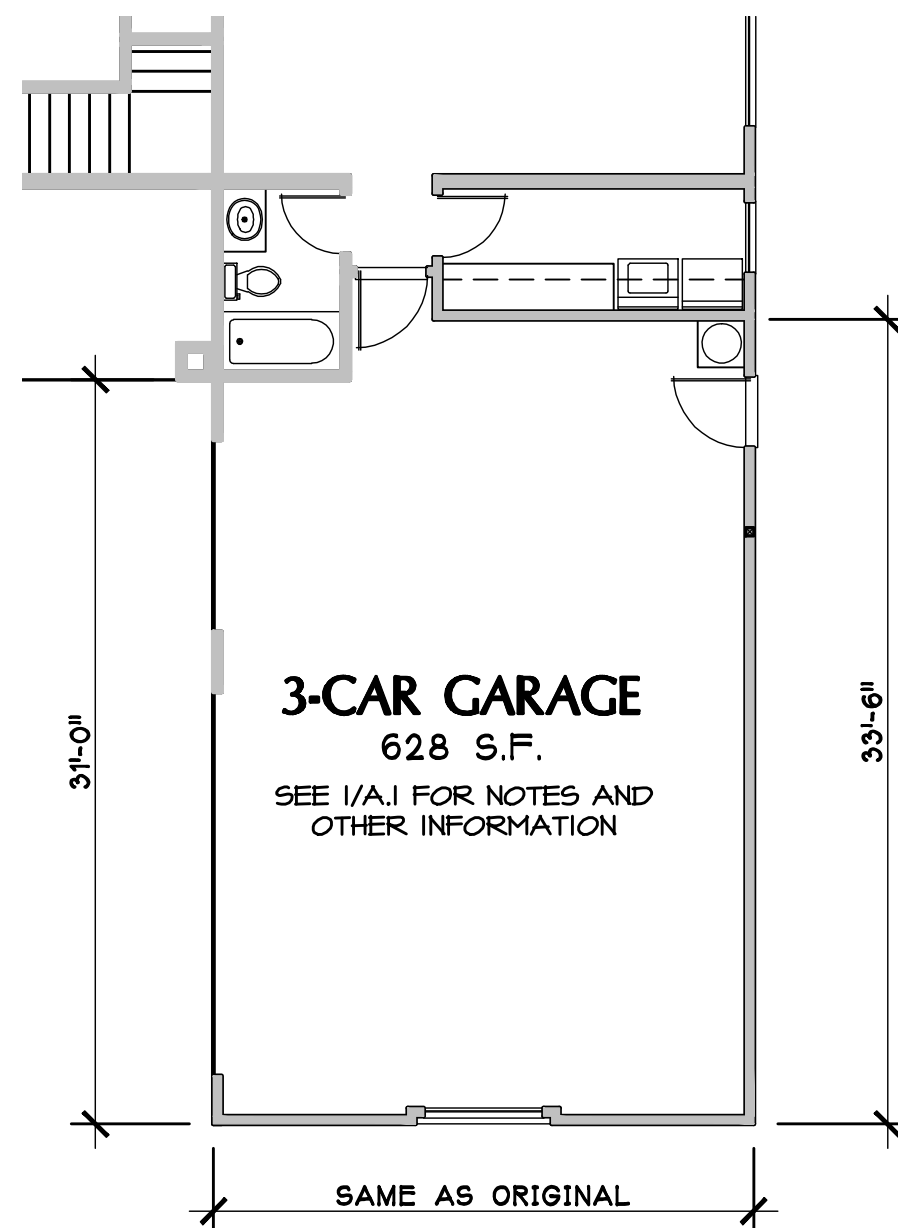
A.3

ELECTRICAL LEGEND:

- ⊕ SINGLE POLE SWITCH +34"
- ⊕3 3-WAY SWITCHES +34"
- ⊕D SWITCH W/ DIMMER
- ⊕ I10V OUTLET
- ⊕ 220V OUTLET
- ⊕ I10V OUTLET 1/2 HOT
- ⊕ Recessed Light
- ⊕ Ceiling Mounted Light
- ⊕ VAPOR PROOF LIGHT
- ⊕ EXHAUST FAN TO THE OUTSIDE
- ⊕ EXTERIOR WALL MOUNTED FIXTURE
- ⊕ INTERIOR WALL MOUNTED FIXTURE
- ⊕ Ceiling Fan w/ Light
- ⊕ Ceiling Mount Fluorescent Fixture
- ⊕ Phone Jacks
- ⊕ TV Outlets
- ⊕ Air Register
- ⊕ GAS
- ⊕ SMOKE DETECTOR WALL MTD @ WITHIN 12" OF CEILING (SEE NOTE #8 GENERAL NOTES)
NOTE: DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SEC. 310.4.1
- ⊕ Fluorescent Light

ELECTRICAL NOTES:

- CONTRACTOR SHALL VERIFY WITH OWNER, ALL LOCATIONS OF T.V. AND TELEPHONE JACKS, PRIOR TO ROUGH-IN.
- ALL CONVENIENCE OUTLETS IN BATHROOMS, KITCHEN, GARAGE AND EXTERIOR SHALL BE ON A G.F.I. CIRCUIT OR INDIVIDUAL RECEPTACLE. G.F.I. PROTECTION SHALL COMPLY WITH NEC. 210-52.
- ELECTRICAL SYSTEMS SHALL BE GROUNDED PER N.E.C. ARTICLE 250-81.
- PROVIDE MECHANICAL VENTILATION CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS AND SIMILAR ROOMS IF OPENABLE WINDOWS ARE NOT AVAILABLE OR PROVIDED.
- THERE SHALL BE NO ELECTRICAL PENETRATIONS OF SHEAR WALLS SHOWN ON FOUNDATION, FLOOR OR ROOF FRAMING. WIRING PENETRATIONS OF MAXIMUM 3/4" DIA. ARE ALLOWED IN STUDS ONLY. MAXIMUM ONE PER STUD.
- RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH NEC. ART.
- PROVIDE FLUORESCENT GENERAL LIGHTING IN KITCHEN AND BATHROOMS.
- COUNTERTOP RECEPTACLE OUTLETS SHALL COMPLY W/ NEC Art. 210-52(c)
- HALLWAY RECEPTACLE OUTLETS SHALL COMPLY W/ NEC Art. 210-52(h)
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY A MINIMUM OF ONE 20-AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. THIS CIRCUIT MAY SERVE MORE THAN ONE BATHROOM. NEC Art. 210-52 (d)



FLOOR PLAN GENERAL NOTES:

- PROVIDE ALL HOSE BIBS & SPRINKLER SYSTEMS W/BACK FLOW PREVENTION DEVICES.
- SMOKE DETECTORS SHALL BE INSTALLED AT ALL SLEEPING BEDROOMS AND PER PLAN. SMOKE DETECTORS IN NEW CONSTRUCTION SHALL BE HARDWIRED TO PERMANENT PRIMARY POWER OF EXISTING BUILDING AND SHALL BE EQUIPPED W/BATTERY BACKUP. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE RESIDENCE. DETECTORS IN EXISTING DWELLING CAN BE POWERED SOLELY BY BATTERIES, AND IS THE OWNER'S RESPONSIBILITY TO PROPERLY CHECK BATTERIES FOR PROPER LEVELS OF POWER.
- GAS VENTS AND NONCOMBUSTIBLE PIPING IN WALLS, PASSING THROUGH THREE FLOORS OR LESS, SHALL BE EFFECTIVELY DRAFT STOPPED AT EACH FLOOR OR CEILING. UBC, SECTION 711.3
- SLEEPING ROOMS MUST HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. (UBC SECTION 1204) THE EMERGENCY EXIT MUST MEET THE FOLLOWING CRITERIA:
 - MINIMUM 5.7 SQUARE FEET NET CLEAR OPENABLE AREA
 - 24" MINIMUM NET CLEAR OPENABLE HEIGHT
 - 20" MINIMUM NET CLEAR OPENABLE WIDTH
 - MAXIMUM FINISH SILL HEIGHT TO BE NO MORE THAN 44" ABOVE FINISHED FLOOR
- "AO SMITH" 60R-50-24 50 GAL. NATURAL GAS WATER HEATER IN TALL CABINET T & P VALVES TO BE ROUTED TO THE EXTERIOR @ 1/8" / FT. DOWN SLOPE VENTS FOR COMBUSTION AIR TO BE (2) 12"x 18" VENTS IN EXTERIOR DOOR. SEE DETAIL FOR SEISMIC STRAPPING.
- DRYER VENT TO THE OUTSIDE. MAXIMUM LENGTH 14' w/ (2) 90° ELBOWS. UMC SECTION 504.3.2
- FAU IN ATTIC: "RHEEM" R6PH 10EAHER, GAS, 80,000 BTU OUTPUT, MIN EFFICIENCY 75.4% AFUE. MIN. 30" DEEP UNOBSTRUCTED WORKING SPACE IN FRONT OF FAU. (SEC. 301, UMC). PASSAGEWAY TO THE FAU SHALL BE UNOBSTRUCTED, NOT LESS THAN 30" HIGH AND 30" WIDE AND HAVE CONT. SOLID FLOORING NOT LESS THAN 24" WIDE, NOT MORE THAN 20" IN LENGTH THROUGH THE ATTIC. (SEC. 301.3.2, UMC) FAU TO HAVE A PERMANENT ELECTRICAL OUTLET AND LIGHTING FIXTURE CONTROLLED BY A SWITCH LOCATED IN ATTIC OR UNDERFLOOR SPACE. (SEC. 306.3 AND 306.4, UMC)
- "SUPERIOR" WOODBURNING FIREPLACE #ESTATE-40 WARNOCK HERSEY NO. 624-415173. FIREPLACES WITH GAS LOG LIGHTERS ARE REQUIRED TO HAVE THE FLUE DAMPER PERMANENTLY FIXED IN THE OPEN POSITION AND FIREPLACES WITH LPG LOG LIGHTERS ARE TO HAVE NO "PIT" OR "SUMP" CONFIGURATIONS (UMC SEC. 901.1 AND SEC. 304.5)
- 18" TALL PLATFORM W/ (1) 4"x4" 1/8" THICK x 36" A.F.F. CONCRETE FILLED STEEL BOLLARD FOR PROTECTION FROM VEHICLE DAMAGE

DOOR SCHEDULE

DOOR SIZE	TYPE	MAT.	FIN.	REMARKS
A 3'-0" X 8'-0" (2)	ENTRY PAIR	WOOD	PAINT	TEMP. GLASS
B 2'-6" X 6'-8"	INTERIOR	WOOD	PAINT	
C 2'-8" X 6'-8"	INTERIOR	WOOD	PAINT	
D 3'-0" X 6'-8"	1 3/8" S.C. or 20 MIN. RATING	WOOD	PAINT	w/ SELF CLOSER
E 3'-0" X 6'-8"	S.C.	WOOD	PAINT	
F 16'-0" X 7'-0"	OVERHEAD GARAGE DOOR	WOOD	PAINT	w/ OPENER
G 2'-4" X 6'-8"	INTERIOR	WOOD	PAINT	
H 2'-2" X 6'-8" (2)	INTERIOR PAIR	WOOD	PAINT	
J 7'-4" X 6'-8"	BI-FOLD	WOOD	PAINT	
K 6'-6" X 6'-8"	BI-FOLD	WOOD	PAINT	
L 4'-0" X 6'-8"	TRI-FOLD	WOOD	PAINT	
M 8'-0" X 8'-0"	SLIDING GLASS DOOR	GLASS	ALUM.	TEMPERED GLASS
N 6'-0" X 8'-0"	SLIDING GLASS DOOR	GLASS	ALUM.	TEMPERED GLASS
P 2'-0" X 6'-8"	SHOWER DOOR	GLASS	ALUM.	TEMPERED GLASS
Q 8'-0" X 7'-0"	OVERHEAD GARAGE DOOR	WOOD	PAINT	w/ OPENER

WINDOW SCHEDULE

WINDOW SIZE	TYPE	FRAME		GLASS		REMARKS
		MAT.	FINISH	FINISH	DUAL TEMP.	
1 5'-0" X 5'-0"	D. HUNG	ALUM.		CLEAR	X	
2 6'-0" X 5'-0"	SLIDING	ALUM.		CLEAR	X	
3 3'-0" X 5'-0"	S. HUNG	ALUM.		CLEAR	X	
4 6'-0" X 5'-0"	SLIDING	ALUM.		CLEAR	X	
5 3'-0" X 6'-0"	S. HUNG	ALUM.		CLEAR	X	
6 3'-0" X 3'-0"	FIXED	ALUM.		CLEAR	X	
7 2'-0" X 2'-0"	SLIDING	ALUM.		CLEAR	X X	SAFETY GLAZING
8 2'-6" X 2'-6"	SLIDING	ALUM.		CLEAR	X	
9 6'-0" X 4'-0"	SLIDING	ALUM.		CLEAR	X	
10 4'-0" X 4'-0"	SLIDING	ALUM.		CLEAR	X X	SAFETY GLAZING

DOOR & WINDOW NOTES:

- ALL OPENABLE WINDOWS ARE TO HAVE SCREENS REFER TO THE EXTERIOR ELEVATIONS FOR THE OPENING SECTIONS AND LOCATIONS OF WINDOWS TO HAVE MUTIN BARS. COLOR TO MATCH WINDOW FRAME.
- MANUFACTURED DOORS AND WINDOWS ARE TO MEET ANSI OR NWMA STANDARDS AND ARE SO LABELED.
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- ALL OPENINGS ARE TO BE CAULKED AND SEALED; I.E. AROUND JOINTS IN WINDOWS.
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- ALL SLIDING GLASS DOORS AND WINDOWS MARKED "TEMP" ARE TO HAVE 3/16" TEMPERED GLASS.
- WINDOWS ARE TO BE VINYL FRAMED, DUAL GLAZED, CLEAR GLASS.
- SEE T-24 CALCS FOR GLAZING REQUIREMENTS AND VALUES.
- DOOR BETWEEN GARAGE AND DWELLING TO BE SELF-CLOSING, TIGHT FITTING AND EITHER 1 3/8" THICK SOLID WOOD OR 20 MIN. FIRE PROTECTION RATED (UBC SEC. 302.4 EX.3)
- THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.

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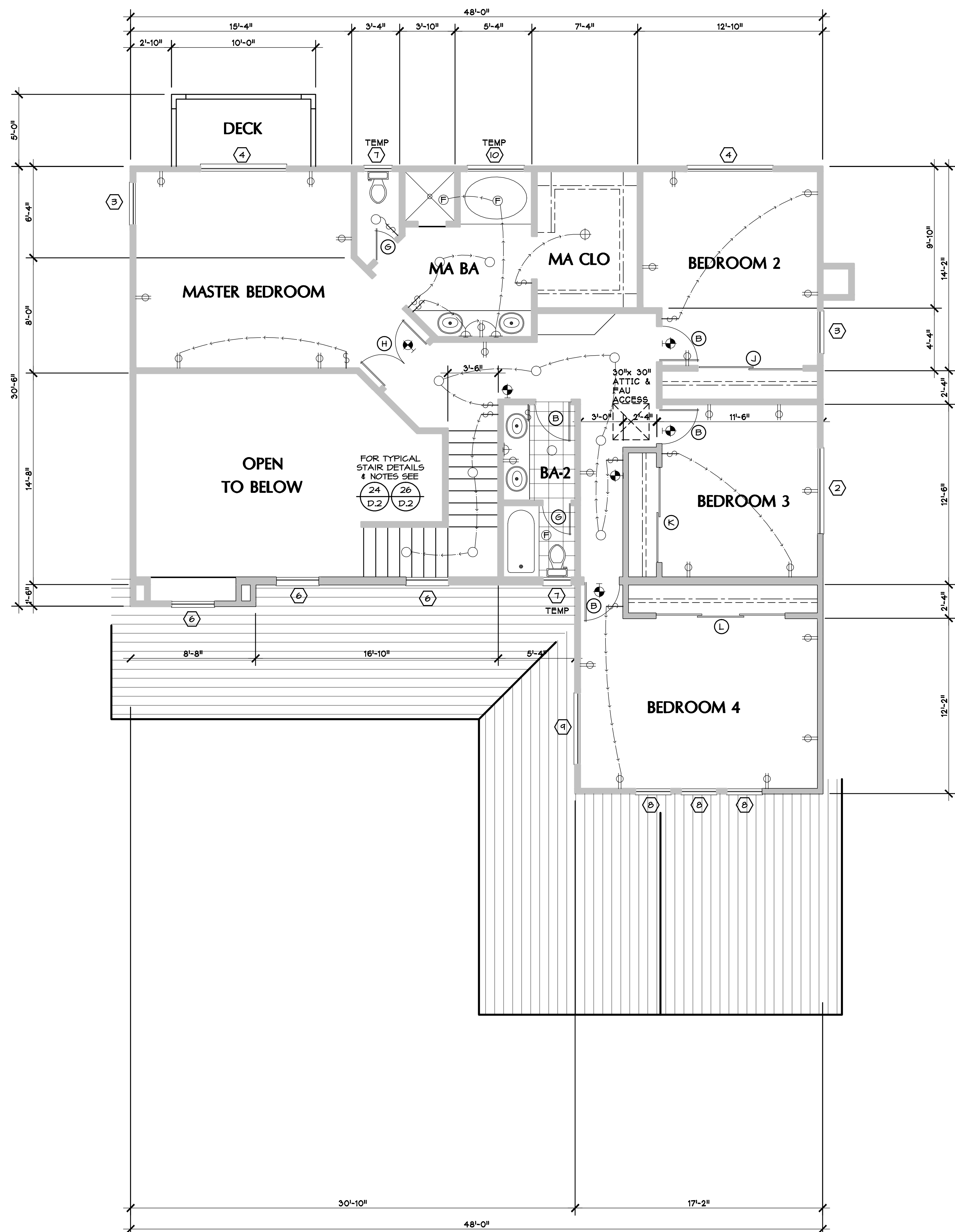
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SHEET TITLE:

PLAN-2656
1ST FLOOR

SHEET NO:

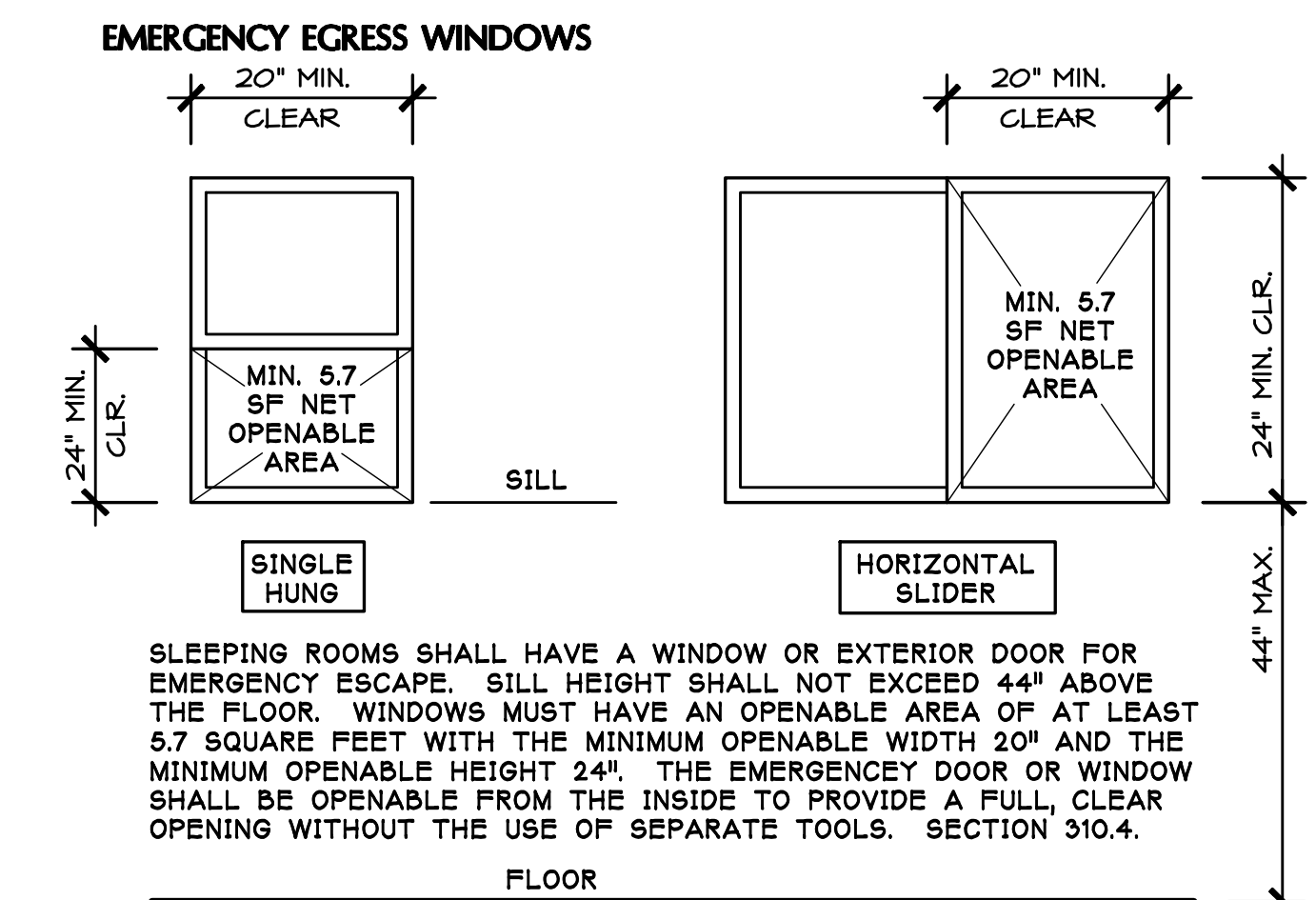
A.4



DIMENSION NOTES:

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR IN NO CASE SHALL SCALE THESE DRAWINGS. IF THE CONTRACTOR SHOULD FIND AN ERROR IN THE DIMENSIONS, HE SHALL NOTIFY THE OWNER PRIOR TO START OF CONSTRUCTION.

2 2ND FLOOR PLAN 1,264 S.F.
SCALE: 1/4"=1'-0"



SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE HEIGHT 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. SECTION 310.4.

TYPICAL EXAMPLES SHOWN ABOVE. CONTACT WINDOW MANUFACTURER TO DETERMINE THAT EACH SLEEPING ROOM HAS AT LEAST ONE WINDOW THAT MEETS THE MINIMUM REQUIREMENTS. NOTE: CASEMENT WINDOWS MAY PIVOT OPEN INTO AN AREA THAT WHEN CLOSED WOULD APPEAR TO MEET MIN. REQUIREMENTS.

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OWNER'S REP:
PAUL LONGTON
2909 MESA DR.
OCEANSIDE, CA 92054
(760) 722-4904

RELEASE DATES:
ISSUED: 7/7/05
REVISIONS:

DRAWING STATUS:
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JOB NO.:
DRAWN BY: MSR
CHECKED BY: PL

SHEET TITLE:
PLAN-2656
2ND FLOOR

SHEET NO.:
A.5



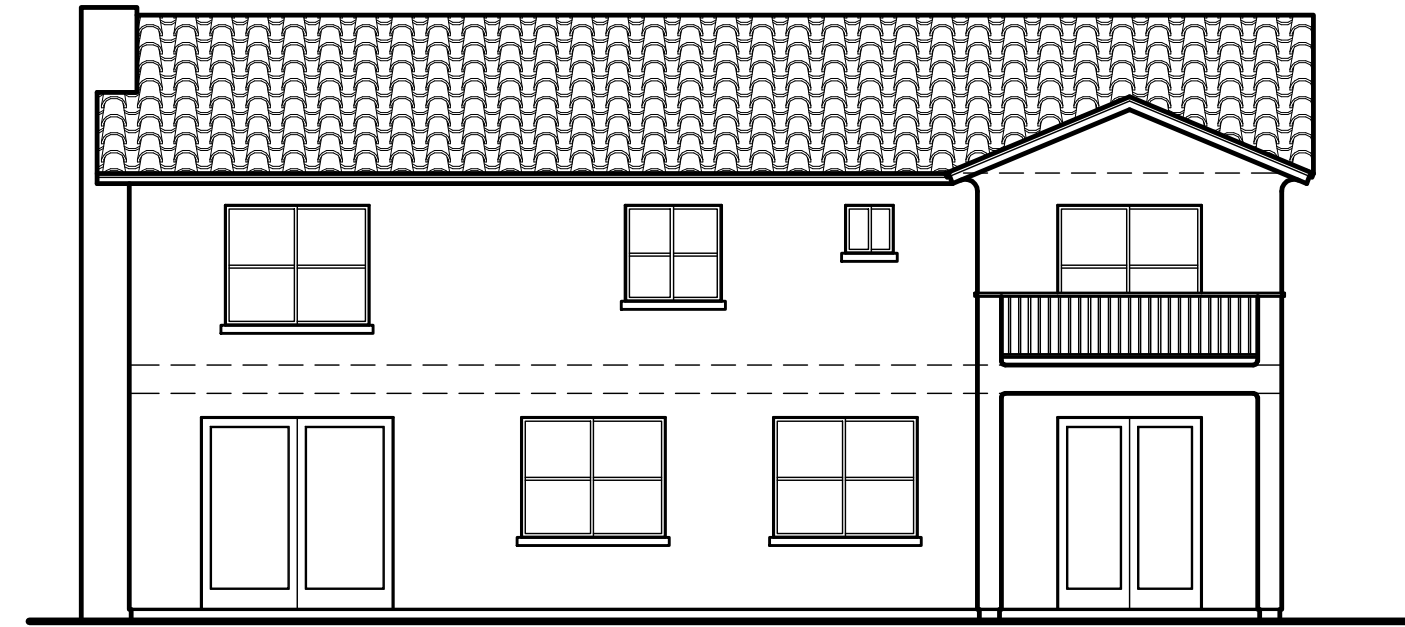
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1 FRONT ELEVATION
SCALE: 1/8"=1'-0"



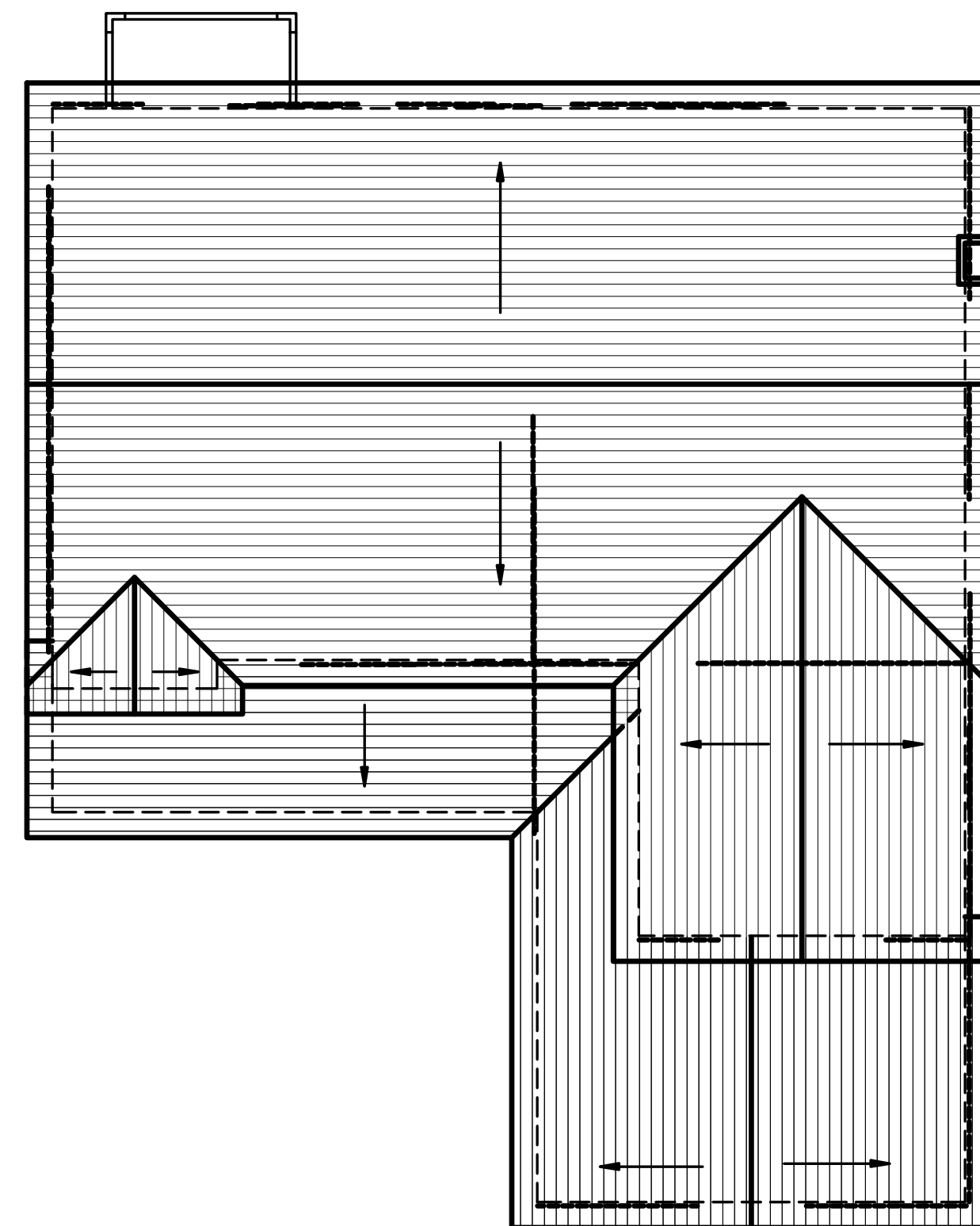
4 LEFT ELEVATION
SCALE: 1/8"=1'-0"



3 REAR ELEVATION
SCALE: 1/8"=1'-0"



4a MOD. LEFT ELEV. FOR LOTS 3 & 6
SCALE: 1/8"=1'-0"



5 ROOF PLAN
SCALE: 1/8"=1'-0"

ELEVATION NOTES:

- 1 CHIMNEY'S TO BE MINIMUM 2'-0" ABOVE ANY ROOF WITHIN 10'-0"
- SPARK ARRESTORS TO BE INSTALLED ON ALL CHIMNEYS PER UBC, SECTION 3102.3.8
- 2 STUCCO TO BE 1" THICK, 3 COAT STUCCO OVER EXPANDED METAL LATH

ROOF PLAN NOTES:

- 1. TILE ROOF: 1x PIECE CLAY TILE BY "U.S. TILE" or EQUAL, I.C.B.O. #3523
 - a) PROVIDE MIN. (1) LAYER 40# FELT UNDERLAYMENT. INSTALL TILE PER MANUF.'S RECOMMENDATIONS.
 - b) SOLID PLYWOOD ROOF SHEATHING PER PLAN.
 - c) PROVIDE BHRD STOPS TO MATCH ROOF (TYP.)
- 2. NO GUTTERS @ ROOF OVERHANG. LANDSCAPE PLAN SHALL PROVIDE SUFFICIENT SUB-SURFACE DRAINS @ HOUSE PERIMETER.
- 3. ROOF SLOPE = 5:12
- 4. PROVIDE ATTIC VENTILATION. MINIMUM VENT AREA IS 1/150 OF ATTIC AREA or 1/300 OF ATTIC AREA IF AT LEAST 50% OF THE REQUIRED VENT IS @ LEAST 3'-0" ABOVE EAVE VENTS OR CORNICE VENTS.
- 5. PROVIDE GALVANIZED 26 GA. IRON ROOF FLASHING @ ALL ROOF and WALL INTERSECTIONS, VALLEYS, and G.I. DIVERTERS @/ EXTERIOR DOORWAYS and HIGH SIDE OF FIREPLACE CHIMNEY STACKS (WHERE OCCURS).
- 6. PROVIDE PLYWOOD CRICKETS and G.I. FLASHING @ ANY and ALL PRECARIOUS WATER COLLECTION SPOTS ON ROOF TO DIVERT WATER TO NATURAL ROOF FLOW. 1/4" /FT. MIN. @ VALLEYS.
- 7. ALL G.I. FLASHING SHALL BE PER S.M.A.C.N.A. STANDARDS.

ATTIC VENTING NOTES:

- 1. PROVIDE DORMER AND/OR GABLE VENTS IN THE UPPER 1/3 OF THE ROOF. VENTS FOR 1/2 OF THE REQUIRED VENTING FOR EACH ATTIC AREA.
- 2. PROVIDE (3) 2" VENT HOLES IN EACH EAVE BLOCK FOR THE OTHER 1/2 OF THE REQUIRED VENTING. BACK HOLES WITH 1/4 HARDWARE CLOTH. EACH BLOCK PROVIDES 0.5 SQUARE INCHES OF NET VENTING AREA.
- 3. SPACE VENTS AT CORNERS AND EQUIDISTANT FROM EACH OTHER.
- 4. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING.

VENTING AREA REQUIREMENTS:

ATTIC VENTING - UPPER ROOF =
1635 S.F. OF NEW ATTIC / 300 = 5.5 S.F. MIN. NET VENT AREA REQ.
PROVIDE 2.8 S.F. NET VENT AREA MIN. w/ GABLE OR DORMER VENTS
PROVIDE 2.8 S.F. NET VENT AREA MIN. w/ EAVE BLOCKS (41 EAVE BLOCKS REQ.)

ATTIC VENTING - LOWER ROOF =
580 S.F. OF NEW ATTIC / 300 = 1.9 S.F. MIN. NET VENT AREA REQ.
PROVIDE 1.0 S.F. NET VENT AREA MIN. w/ GABLE OR DORMER VENTS
PROVIDE 1.0 S.F. NET VENT AREA MIN. w/ EAVE BLOCKS (16 EAVE BLOCKS REQ.)

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BREANNA II

OCEANSIDE, CA 92056

OWNER:

**NORTON
CONSTRUCTION, INC.**

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DRAWN BY: **MJR**

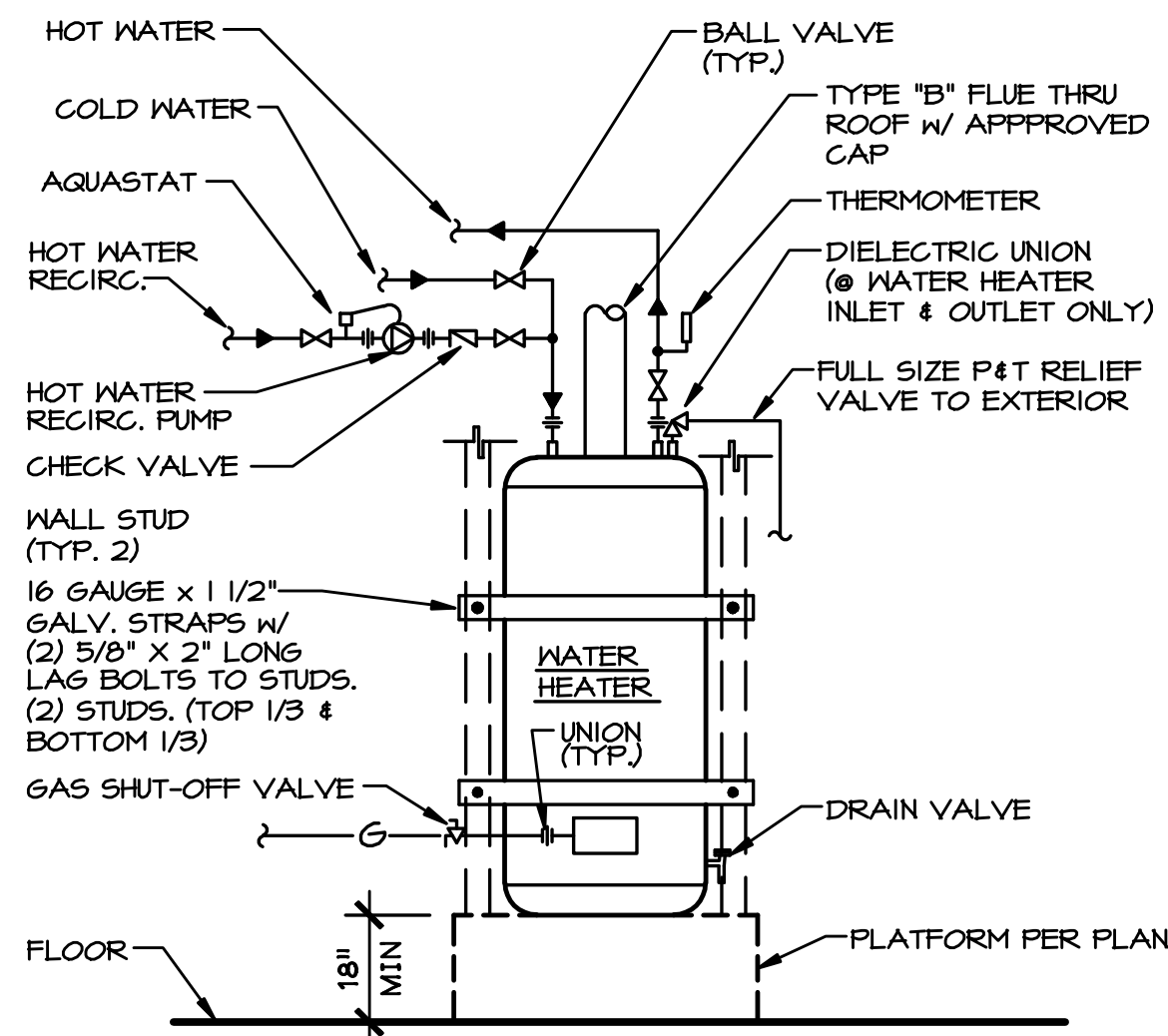
CHECKED BY: **PL**

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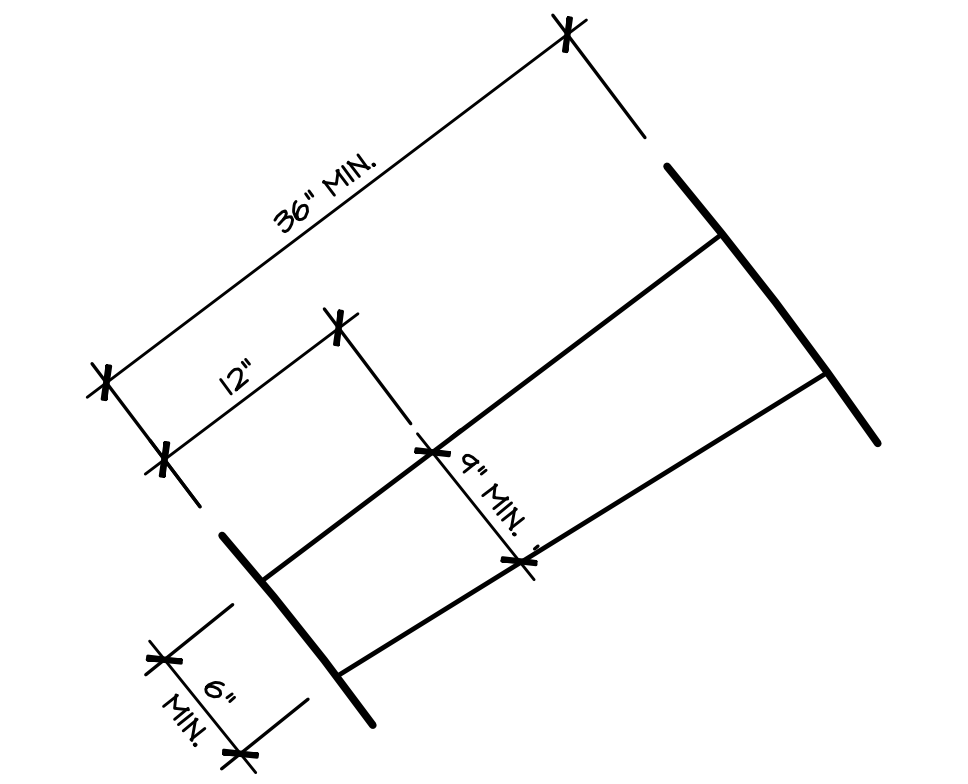
**PL-2656 R.PLAN
& ELEVATIONS**

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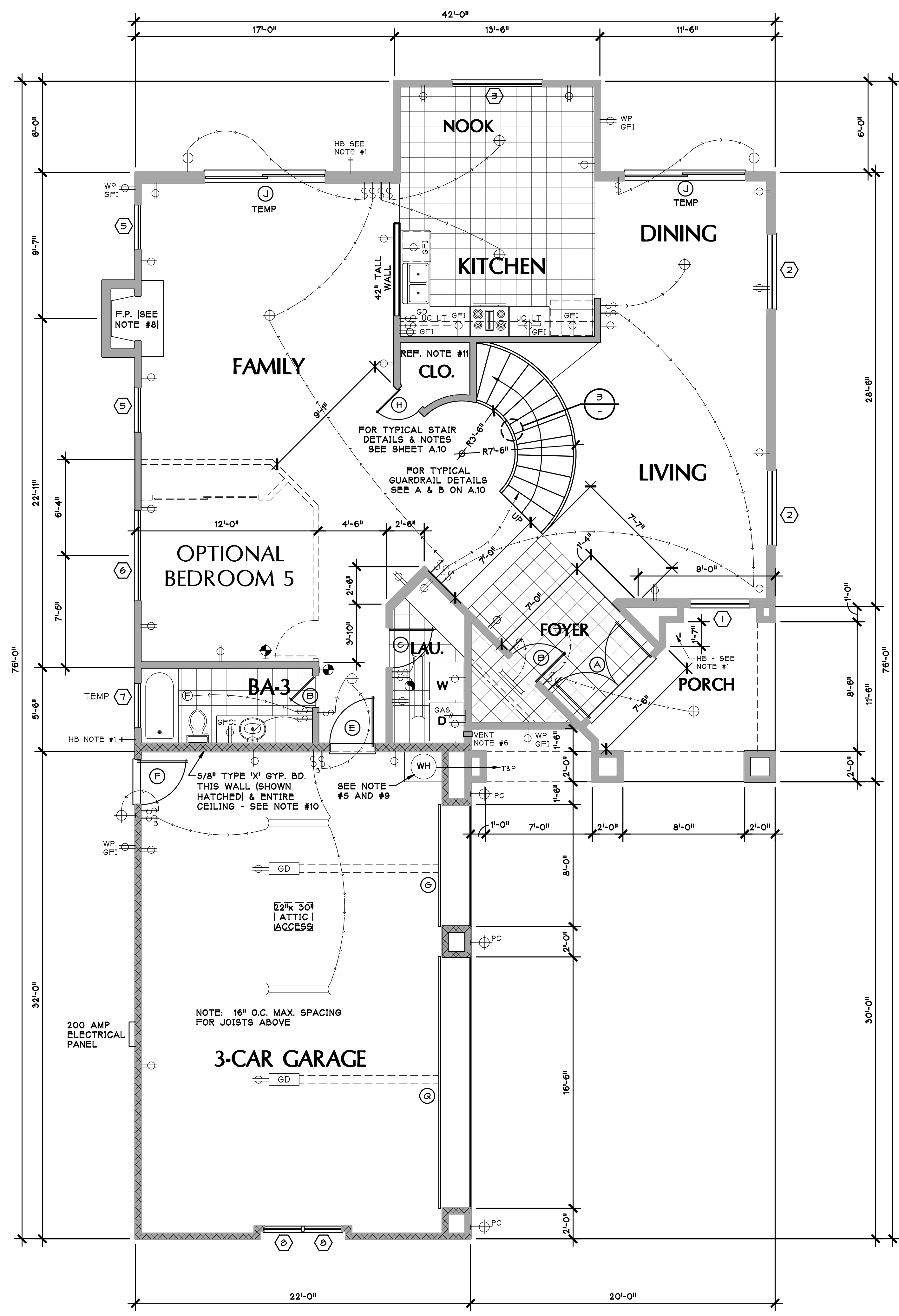
A.6



2 WATER HEATER DETAIL
SCALE: N.T.S.



3 TYP. CURVED STAIR DETAIL
SCALE: 1/4\"/>



1 FIRST FLOOR PLAN
SCALE: 1/4\"/>

FLOOR PLAN GENERAL NOTES:

- PROVIDE ALL HOSE BIBS & SPRINKLER SYSTEMS W/BACK FLOW PREVENTION DEVICES.
- SMOKE DETECTORS SHALL BE INSTALLED AT ALL SLEEPING BEDROOMS AND PER PLAN; SMOKE DETECTORS IN NEW CONSTRUCTION SHALL BE HARDWIRED TO PERMANENT PRIMARY POWER OF EXISTING BUILDING AND SHALL BE EQUIPPED W/BATTERY BACKUP. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE RESIDENCE. DETECTORS IN EXISTING DWELLINGS CAN BE POWERED SOLELY BY BATTERIES, AND IS THE OWNER'S RESPONSIBILITY TO PROPERLY CHECK BATTERIES FOR PROPER LEVELS OF POWER.
- GAS VENTS AND NONCOMBUSTIBLE PIPING IN WALLS, PASSING THROUGH THREE FLOORS OR LESS, SHALL BE EFFECTIVELY DRAFT STOPPED AT EACH FLOOR OR CEILING. UBC, SECTION 711.3
- SLEEPING ROOMS MUST HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. (UBC SECTION 1204) THE EMERGENCY EXIT MUST MEET THE FOLLOWING CRITERIA:
 - MINIMUM 5.7 SQUARE FEET NET CLEAR OPENABLE AREA
 - 24\"/>
- "AO SMITH" FGR-50-24 50 GAL. NATURAL GAS WATER HEATER IN TALL CABINET T & P VALVES TO BE ROUTED TO THE EXTERIOR @ 1/8\"/>

ELECTRICAL LEGEND:

⊕	SINGLE POLE SWITCH +34"	⊗	CEILING FAN W/ LIGHT
⊕3	3-WAY SWITCHES +34"	⊕	CEILING MOUNT FLOURESCENT FIXTURE
⊕D	SWITCH W/ DIMMER	⊕	PHONE JACKS
⊕	110V OUTLET	⊕	TV OUTLETS
⊕	220V OUTLET	⊕	AIR REGISTER
⊕	110V OUTLET 1/2 HOT	⊕	GAS
⊕ GF1	RECESSED LIGHT	⊕	SMOKE DETECTOR WALL MTD @ WITHIN 12\"/>
⊕	CEILING MOUNTED LIGHT	⊕	NOTE: DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SEC. 310.9.1
⊕	VAPOR PROOF LIGHT	⊕	FLOURESCENT LIGHT
⊕	EXHAUST FAN TO THE OUTSIDE	⊕	PHOTO CELL
⊕	EXTERIOR WALL MOUNTED FIXTURE		
⊕	INTERIOR WALL MOUNTED FIXTURE		

ELECTRICAL NOTES:

- CONTRACTOR SHALL VERIFY WITH OWNER, ALL LOCATIONS OF T.V. AND TELEPHONE JACKS, PRIOR TO ROUGH-IN.
- ALL CONVENIENCE OUTLETS IN BATHROOMS, KITCHEN, GARAGE AND EXTERIOR SHALL BE ON A G.F.I. CIRCUIT OR INDIVIDUAL RECEPTACLE. G.F.I. PROTECTION SHALL COMPLY WITH N.E.C. 210-52.
- ELECTRICAL SYSTEMS SHALL BE GROUNDED PER N.E.C. ARTICLE 250-81.
- PROVIDE MECHANICAL VENTILATION CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS AND SIMILAR ROOMS IF OPENABLE WINDOWS ARE NOT AVAILABLE OR PROVIDED.
- THERE SHALL BE NO ELECTRICAL PENETRATIONS OF SHEAR WALLS SHOWN ON FOUNDATION, FLOOR OR ROOF FRAMING. WIRING PENETRATIONS OF MAXIMUM 3/4\"/>

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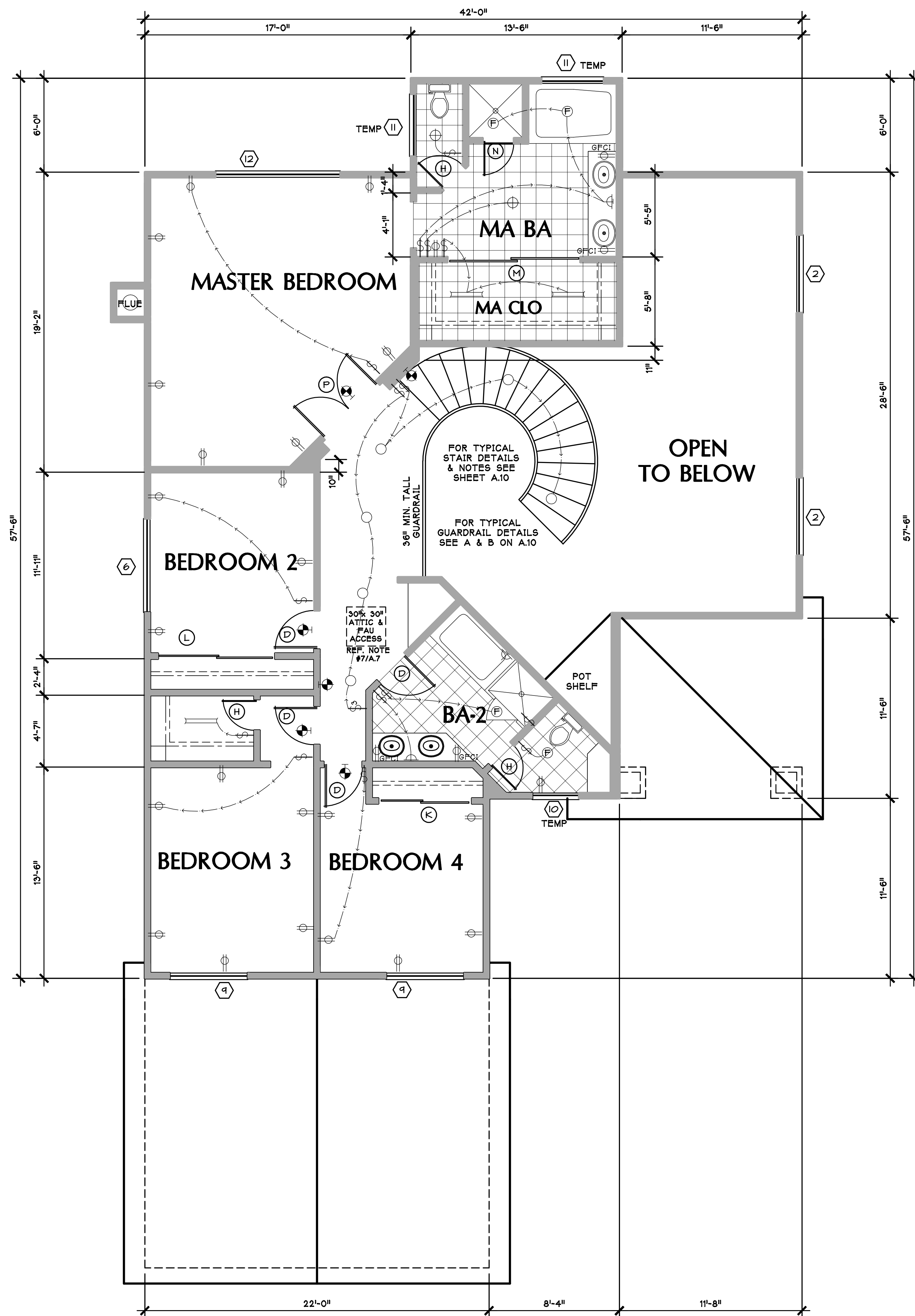
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CHECKED BY: **PL**

SHEET TITLE:
PLAN-2828
1ST FLOOR

SHEET NO:
A.7



2 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

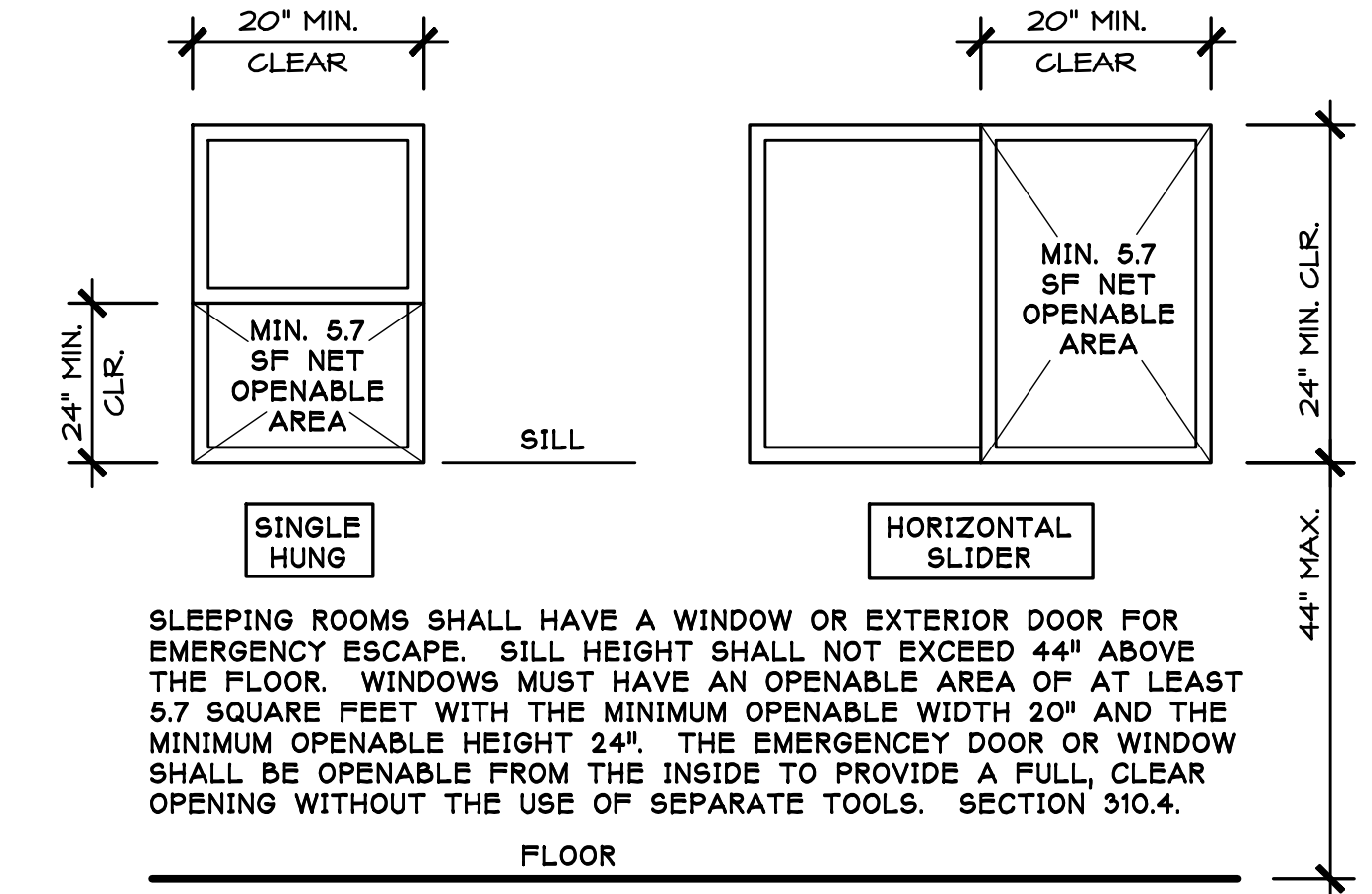
DOOR SCHEDULE					
DOOR SIZE	TYPE	MAT.	FIN.	REMARKS	
A 3'-0" X 8'-0" (PR)	ENTRY PAIR	WOOD	PAINT	TEMP. GLASS	
B 2'-6" X 8'-0"	INTERIOR	WOOD	PAINT		
C 2'-8" X 6'-8"	INTERIOR	WOOD	PAINT		
D 2'-6" X 6'-8"	INTERIOR	WOOD	PAINT		
E 3'-0" X 6'-8"	1 3/8" S.C. or 20 MIN. RATING	WOOD	PAINT	w/ SELF CLOSER	
F 3'-0" X 6'-8"	EXTERIOR w/ WINDOW	WOOD	PAINT	TEMP. / SEE NOTE #12	
G 8'-0" X 7'-0"	OVERHEAD GARAGE DOOR	METAL	PAINT	SECT. w/ OPENER	
H 2'-4" X 6'-8"	INTERIOR	WOOD	PAINT		
J 8'-0" X 6'-8"	SLIDING GLASS DOOR	GLASS	ALUM.	TEMPERED GLASS	
K 6'-0" X 6'-8"	BI-PASS	WOOD	PAINT		
L 8'-0" X 6'-8"	BI-PASS	WOOD	PAINT		
M 8'-6" X 6'-8"	BI-PASS	WOOD	PAINT		
N 2'-0" X 6'-8"	SHOWER DOOR	GLASS	ALUM.	TEMPERED GLASS	
P 2'-6" X 6'-8"	INTERIOR PAIR	WOOD	PAINT		
Q 16'-0" X 7'-0"	OVERHEAD GARAGE DOOR	METAL	PAINT	SECT. w/ OPENER	

WINDOW SCHEDULE							
WINDOW SIZE	TYPE	FRAME		GLASS		REMARKS	
		MAT.	FINISH	FINISH	DUAL TEMP.		
1 4'-0" X 5'-0"	S. HUNG	VINYL		CLEAR	X		
2 5'-0" X 5'-0"	H.S.	VINYL		CLEAR	X		
3 6'-0" X 5'-0"	H.S.	VINYL		CLEAR	X		
4 3'-0" X 6'-0"	S. HUNG	VINYL		CLEAR	X		
5 3'-0" X 5'-0"	S. HUNG	VINYL		CLEAR	X		
6 6'-0" X 5'-0"	H.S.	VINYL		CLEAR	X		
7 3'-0" X 1'-0"	S. HUNG	VINYL		CLEAR	X X	SAFETY GLAZING	
8 2'-6" X 5'-0"	H.S.	VINYL		CLEAR	X		
9 5'-0" X 4'-0"	H.S.	VINYL		CLEAR	X		
10 3'-0" X 3'-0"	H.S.	VINYL		CLEAR	X X	SAFETY GLAZING	
11 4'-0" X 4'-0"	H.S.	VINYL		CLEAR	X X	SAFETY GLAZING	
12 8'-0" X 5'-0"	CUSTOM	VINYL		CLEAR	X	(2) 40X50 HOR. SLDR.	
13 4'-0" X 6'-0"	SLIDING	VINYL		CLEAR	X		

DOOR & WINDOW NOTES:

- ALL OPENABLE WINDOWS ARE TO HAVE SCREENS REFER TO THE EXTERIOR ELEVATIONS FOR THE OPENING SECTIONS AND LOCATIONS OF WINDOWS TO HAVE MUTIN BARS. COLOR TO MATCH WINDOW FRAME.
- MANUFACTURED DOORS AND WINDOWS ARE TO MEET ANSI OR NWMA STANDARDS AND ARE SO LABELED.
- ALL EXTERIOR DOORS AND WINDOWS ARE TO BE FULLY WEATHERSTRIPPED.
- ALL OPENINGS ARE TO BE CAULKED AND SEALED; I.E. AROUND JOINTS IN WINDOWS.
- MIRRORS IN ALL BATHS SHALL START AT THE COUNTER TOPS AND EXTEND TO 7'-0" ABOVE THE FLOOR.
- FAU CLOSET SHALL BE 12" WIDER THAN FURNACE MAX. LENGTH 14 FT. W/(2) 90 D ELBOWS U.M.C. SEC. 504.3.2.
- ALL SLIDING GLASS DOORS AND WINDOWS MARKED "TEMP" ARE TO HAVE 3/16" TEMPERED GLASS.
- WINDOWS ARE TO BE VINYL FRAMED, DUAL GLAZED, CLEAR GLASS.
- SEE T-24 CALCS FOR GLAZING REQUIREMENTS AND VALUES.
- DOOR BETWEEN GARAGE AND DWELLING TO BE SELF-CLOSING, TIGHT FITTING AND EITHER 1 3/8" THICK SOLID WOOD OR 20 MIN. FIRE PROTECTION RATED (UBC SEC. 302.4 EX.3)
- THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.
- DOORS MAY OPEN INTO THE GARAGE ONLY IF THE FLOOR OR LANDING IN THE GARAGE IS NOT MORE THAN ONE INCH LOWER THAN THE DOOR THRESHOLD. SECTION 1003.3.16

EMERGENCY EGRESS WINDOWS



SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE HEIGHT 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. SECTION 310.4.

TYPICAL EXAMPLES SHOWN ABOVE. CONTACT WINDOW MANUFACTURER TO DETERMINE THAT EACH SLEEPING ROOM HAS AT LEAST ONE WINDOW THAT MEETS THE MINIMUM REQUIREMENTS. NOTE: CASEMENT WINDOWS MAY PIVOT OPEN INTO AN AREA THAT WHEN CLOSED WOULD APPEAR TO MEET MIN. REQUIREMENTS.

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SHEET TITLE
PLAN-2828
2ND FLOOR

SHEET NO:
A.8

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ROOF PLAN NOTES:

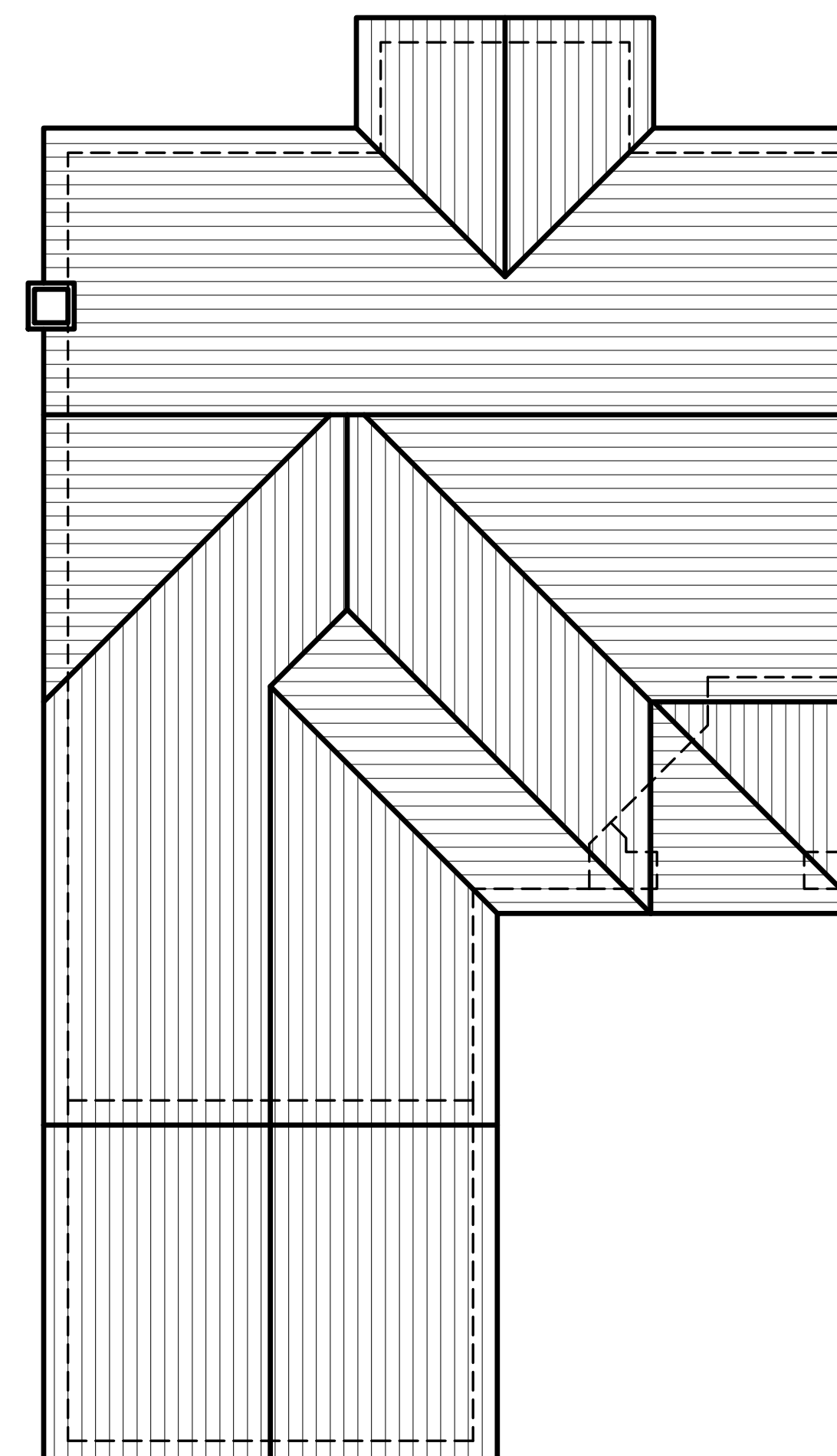
1. CONCRETE ROOF TILES: "EAGLE ROOFING PRODUCTS" MALIBU SERIES #2526 VALENCIA (TERRACOTTAS)
 - a) PROVIDE MIN. (1) LAYER 40# FELT UNDERLAYMENT. INSTALL TILE PER MANUF.'S RECOMMENDATIONS.
 - b) SOLID PLYWOOD ROOF SHEATHING PER PLAN.
 - c) PROVIDE BHRD STOPS TO MATCH ROOF (TYP.)
2. NO GUTTERS @ ROOF OVERHANG. LANDSCAPE PLAN SHALL PROVIDE SUFFICIENT SUB-SURFACE DRAINS @ HOUSE PERIMETER.
3. ROOF SLOPE = 5:12
4. PROVIDE ATTIC VENTILATION. MINIMUM VENT AREA IS 1/150 OF ATTIC AREA or 1/300 OF ATTIC AREA IF AT LEAST 50% OF THE REQUIRED VENT IS @ LEAST 3'-0" ABOVE EAVE VENTS OR CORNICE VENTS.
5. PROVIDE GALVANIZED 26 GA. IRON ROOF FLASHING @ ALL ROOF and WALL INTERSECTIONS, VALLEYS, and G.I. DIVERTERS on/ EXTERIOR DOORWAYS and HIGH SIDE OF FIREPLACE CHIMNEY STACKS (WHERE OCCURS).
6. PROVIDE PLYWOOD CRICKETS and G.I. FLASHING @ ANY and ALL PRECARIOUS WATER COLLECTION SPOTS ON ROOF TO DIVERT WATER TO NATURAL ROOF FLOW. 1/4" /FT. MIN. @ VALLEYS.
7. ALL G.I. FLASHING SHALL BE PER S.M.A.C.N.A. STANDARDS.

ATTIC VENTING NOTES:

1. PROVIDE DORMER AND/OR GABLE VENTS IN THE UPPER 1/3 OF THE ROOF. VENTS FOR 1/2 OF THE REQUIRED VENTING FOR EACH ATTIC AREA.
2. PROVIDE (3) 2"Ø VENT HOLES IN EACH EAVE BLOCK FOR THE OTHER 1/2 OF THE REQUIRED VENTING. BACK HOLES WITH 1/4 HARDWARE CLOTH. EACH BLOCK PROVIDES 8.5 SQUARE INCHES OF NET VENTING AREA.
3. SPACE VENTS AT CORNERS AND EQUIDISTANT FROM EACH OTHER.
4. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. TO ACCOMMODATE THE THICKNESS OF INSULATION PLUS THE REQUIRED 1" CLEARANCE, MEMBER SIZES MAY HAVE TO BE INCREASED FOR RAFTER-CEILING JOISTS. SECTION 1505.3
5. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION. SECTION 1505.3

VENTING AREA REQUIREMENTS:

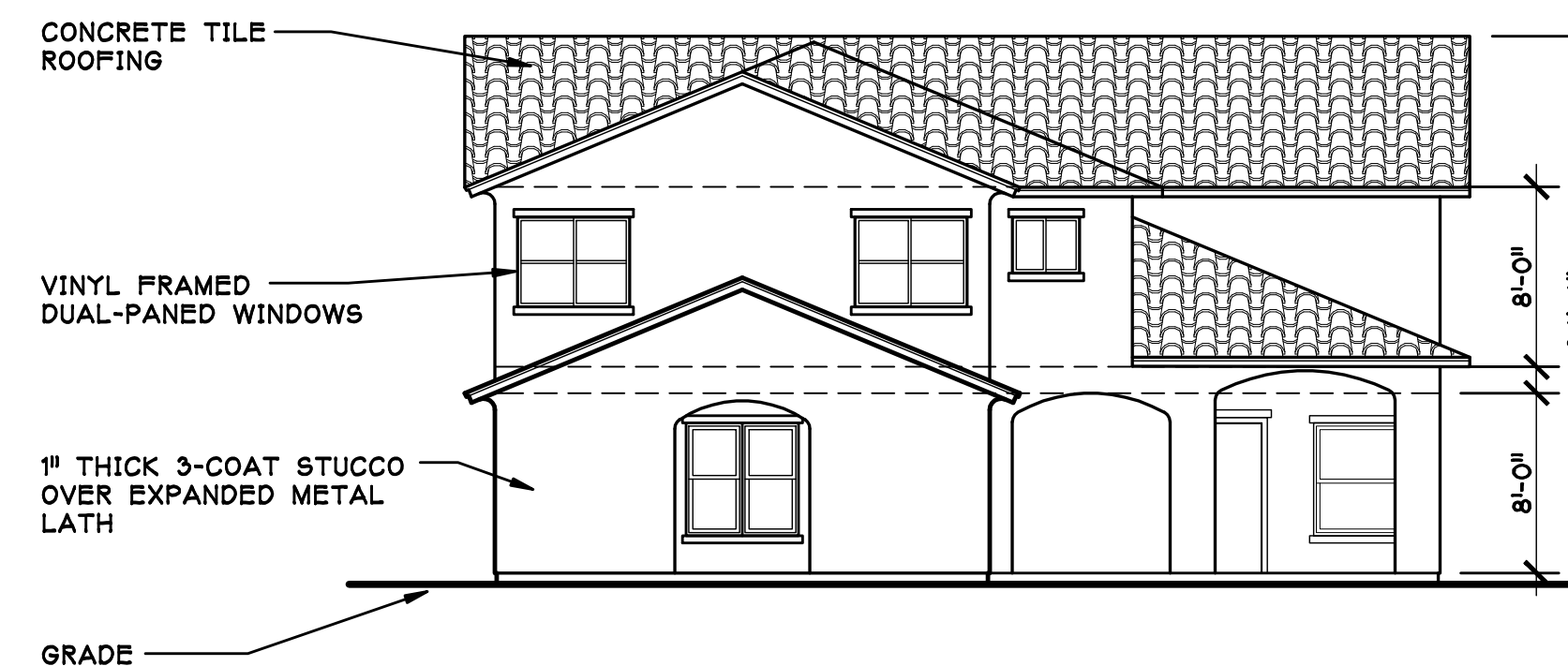
ATTIC VENTING =
2216 S.F. OF NEW ATTIC / 300 = 7.4 S.F. MIN. NET VENT AREA REQ.
PROVIDE 3.1 S.F. NET VENT AREA MIN. w/ GABLE OR DORMER VENTS
PROVIDE 3.1 S.F. NET VENT AREA MIN. w/ EAVE BLOCKS (63 EAVE BLOCKS REQ.)



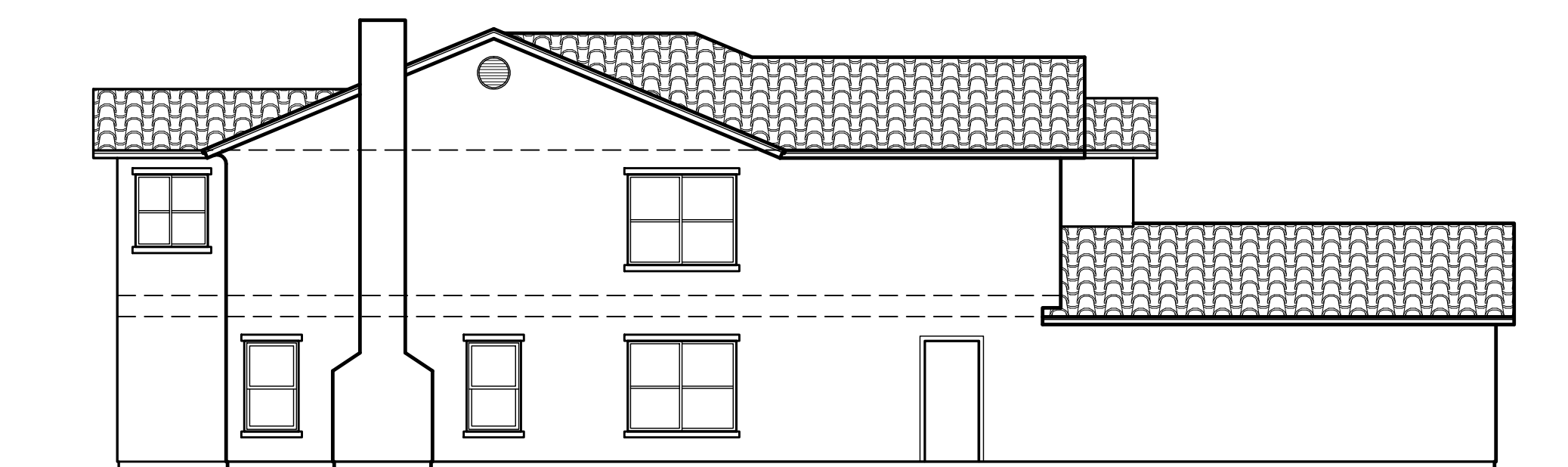
5 ROOF PLAN
SCALE: 1/8"=1'-0"



2 RIGHT ELEVATION
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1 FRONT ELEVATION
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** TYPICAL NOTES AND DETAILS DENOTED ON THIS ELEVATION



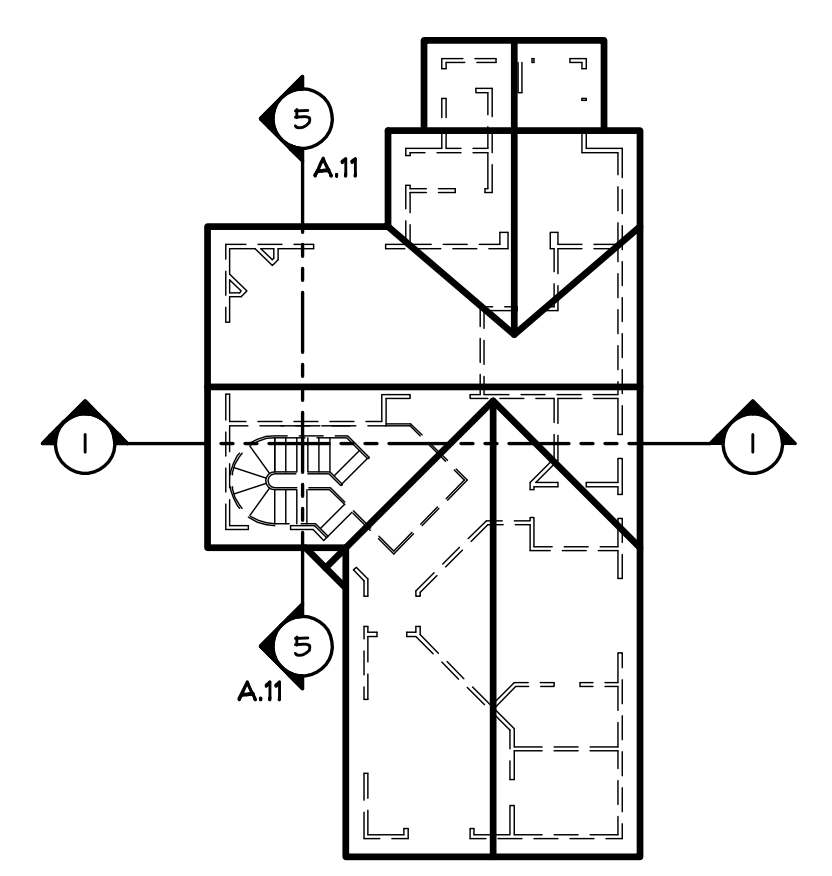
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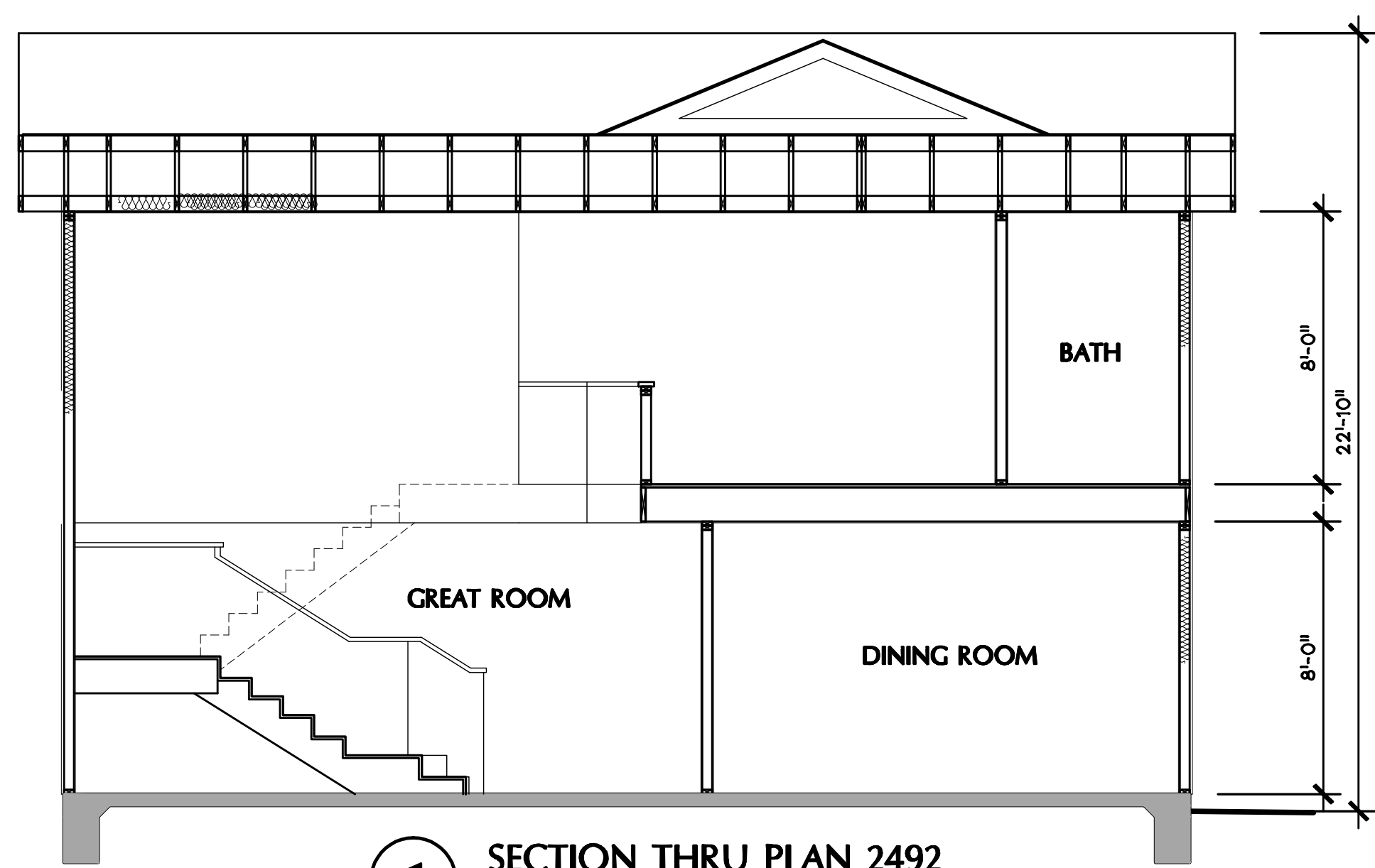
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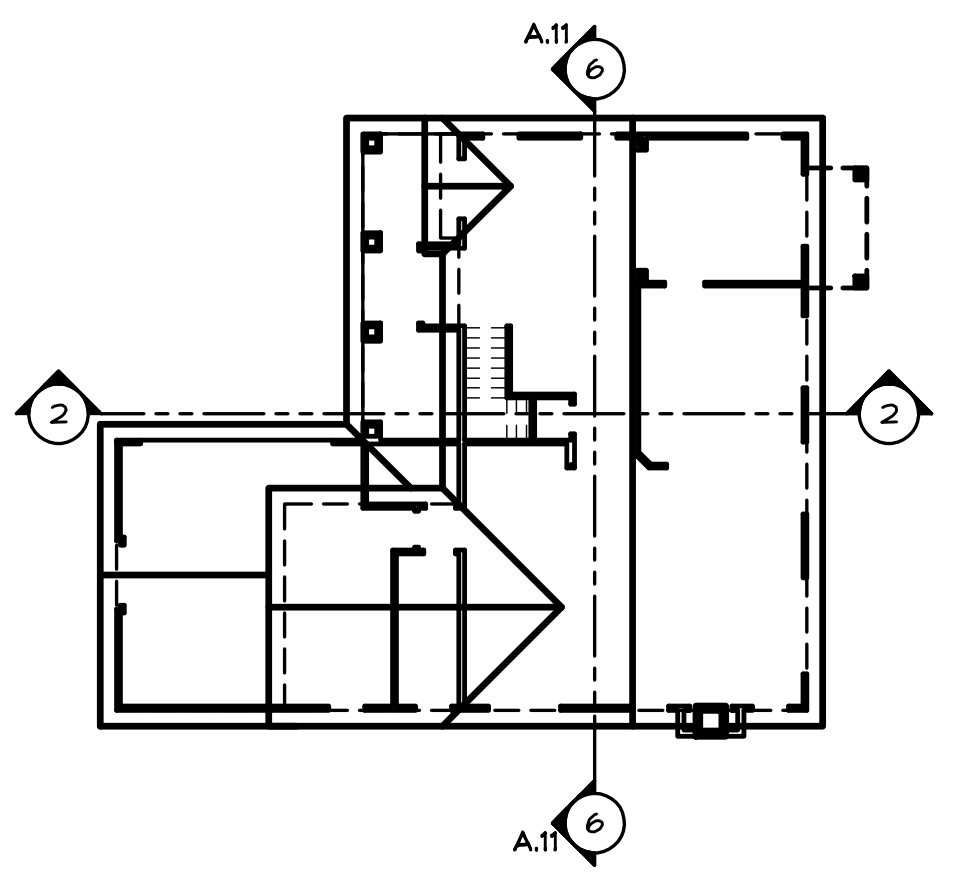
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SPARK ARRESTORS TO BE INSTALLED ON ALL CHIMNEYS PER UBC, SECTION 3102.3.8
- 2 STUCCO TO BE 1" THICK, 3 COAT STUCCO OVER EXPANDED METAL LATH



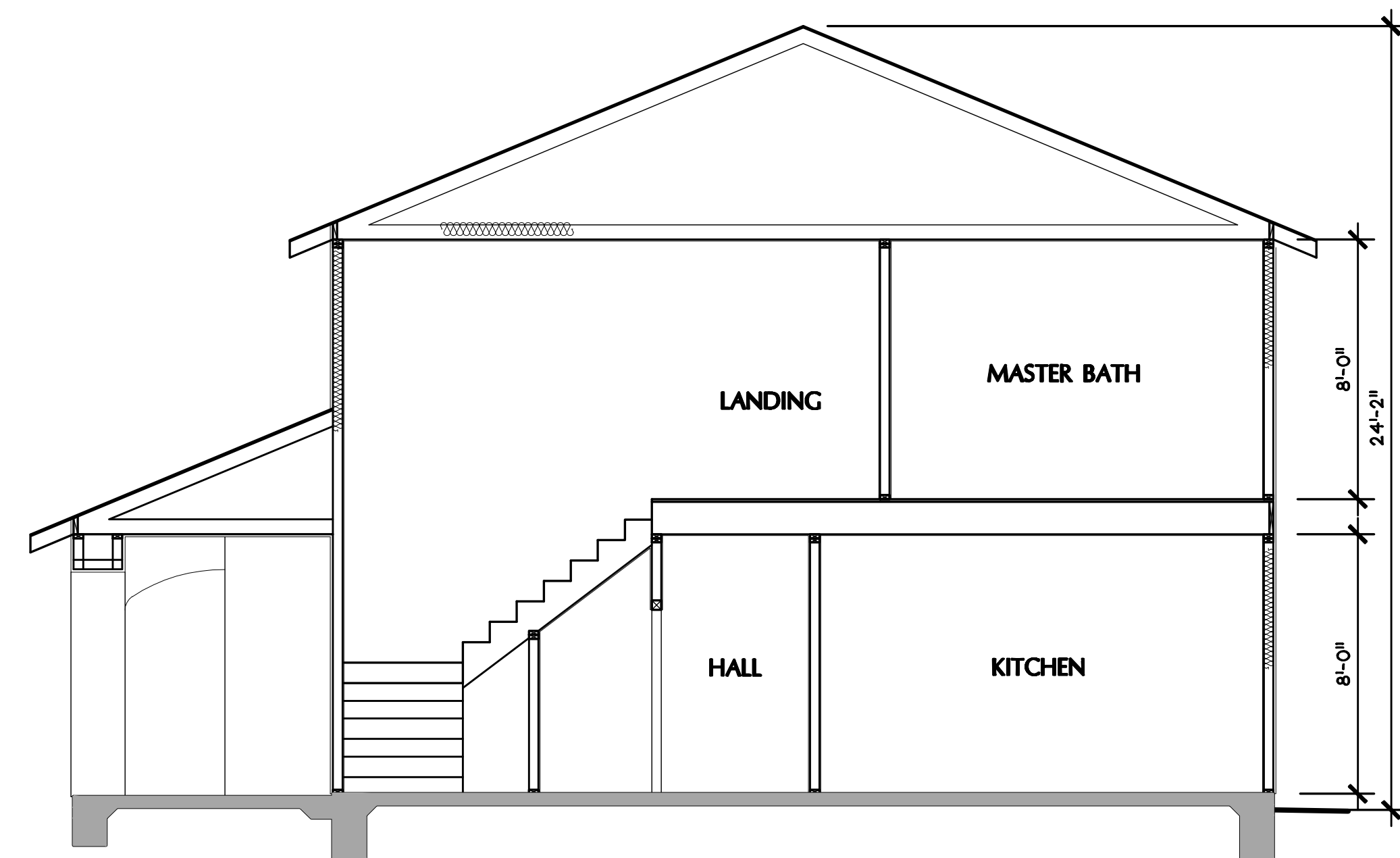
1a UNIT 2492 KEY PLAN
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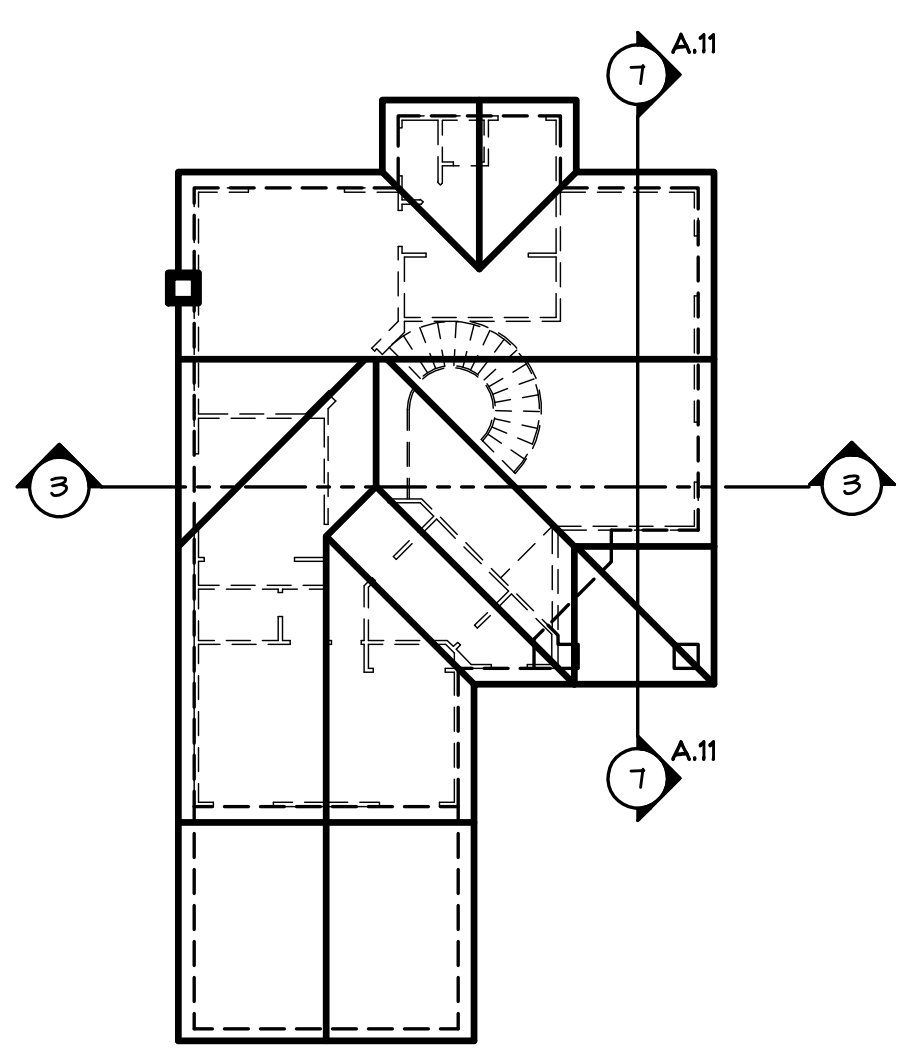
1 SECTION THRU PLAN 2492
 SCALE: 1/4"=1'-0"



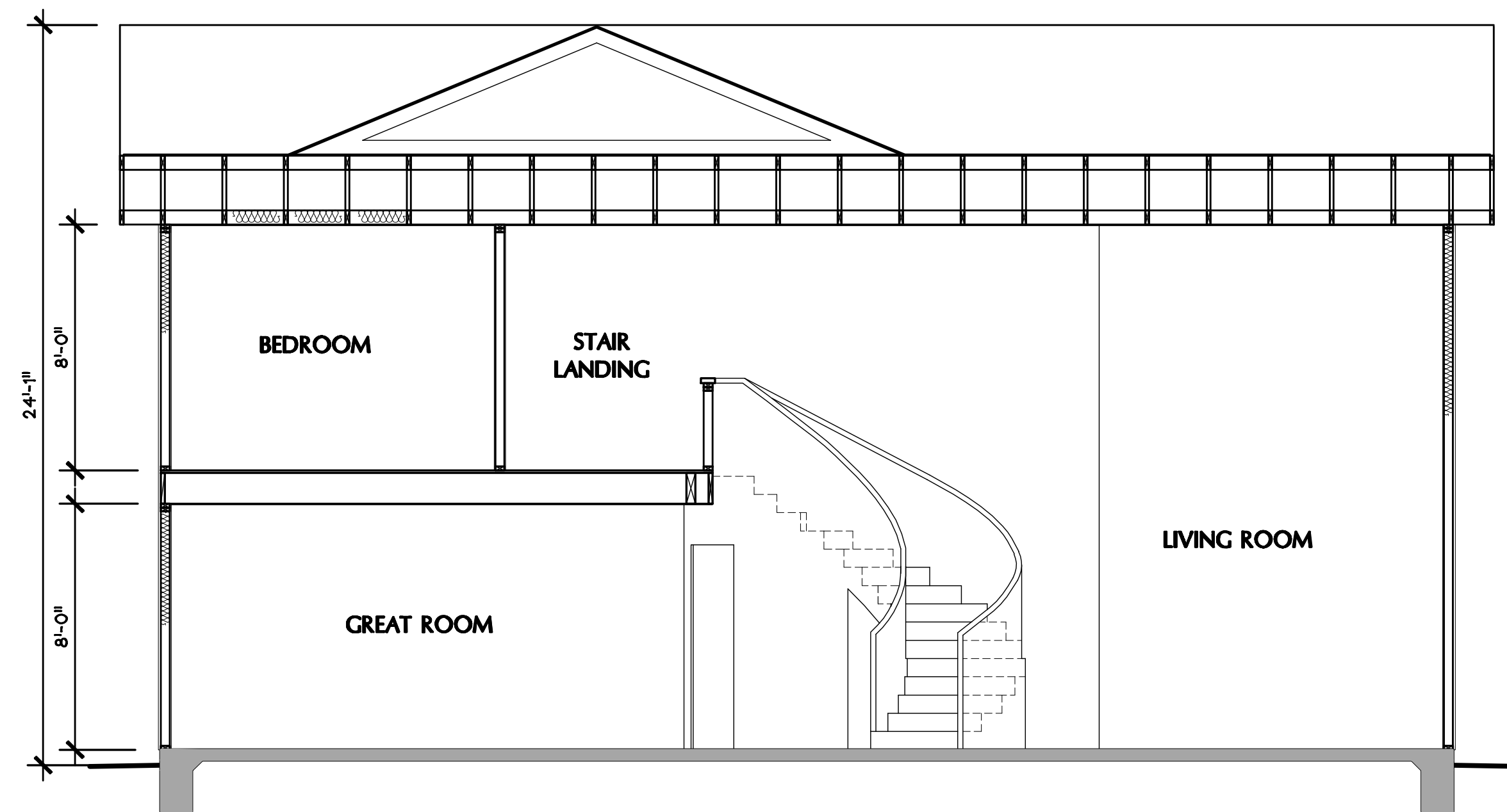
2a UNIT 2656 KEY PLAN
 SCALE: 1/16"=1'-0"



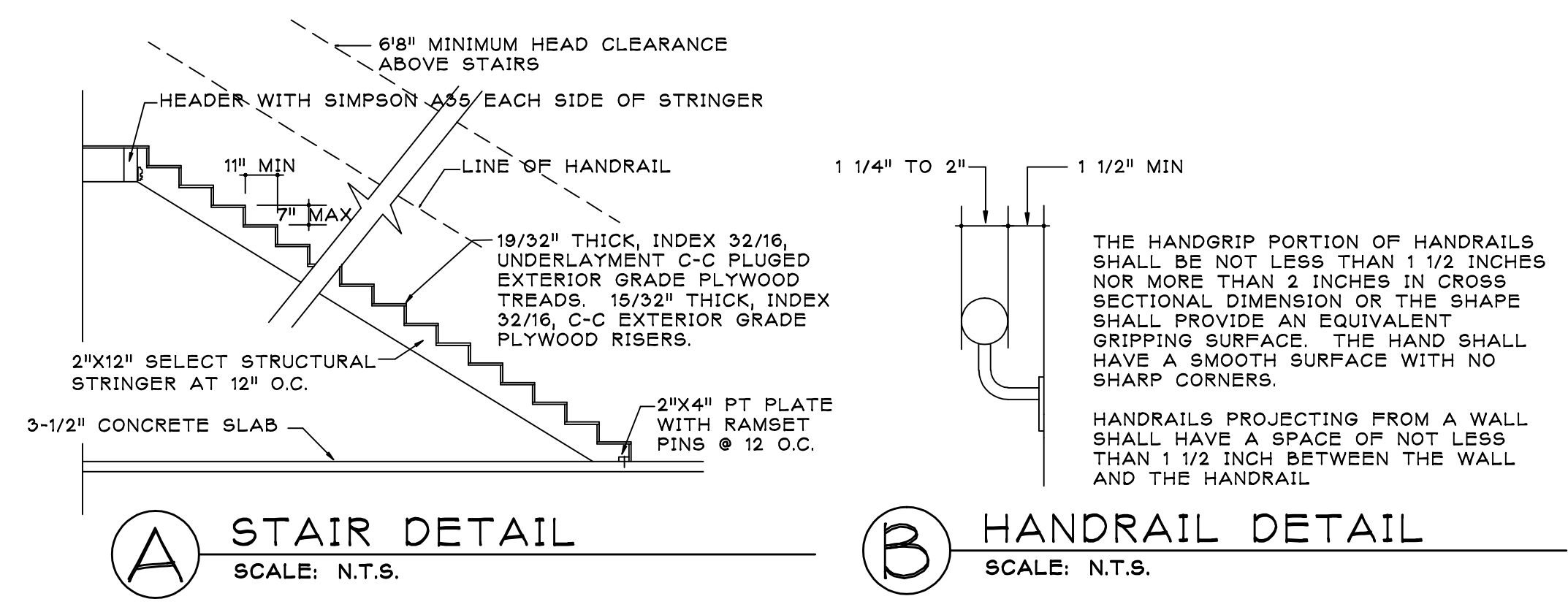
2 SECTION THRU PLAN 2656
 SCALE: 1/4"=1'-0"



3a UNIT 2828 KEY PLAN
 SCALE: 1/16"=1'-0"



3 SECTION THRU PLAN 2828
 SCALE: 1/4"=1'-0"



STAIR NOTES

WIDTH: STAIRWAYS SHALL BE 36 INCHES IN WIDTH MINIMUM. HANDRAILS MAY PROJECT INTO THE REQUIRED DISTANCE 3 1/2 INCHES FROM EACH SIDE OF STAIRWAY. STRINGERS AND OTHER PROJECTIONS SUCH AS TRIM AND SIMILAR DECORATIVE FEATURES MAY PROJECT INTO THE REQUIRED WIDTH 1 1/2 INCHES ON EACH SIDE.

RISE AND RUN: THE RISE OF EVERY STEP IN A STAIRWAY SHALL BE NOT LESS THAN 4 INCHES NOR GREATER THAN 8 INCHES. THE RUN SHALL BE NOT LESS THAN 9 INCHES AS MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FURTHEMOST PROJECTION OF ADJACENT TREADS. THE GREATEST RISE HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. EXCEPT FOR WINDING, CIRCULAR, AND SPIRAL STAIRWAYS THE LARGEST TREAD RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.

LANDINGS: EVERY LANDING SHALL HAVE A DIMENSION MEASURED IN THE DIRECTION OF TRAVEL EQUAL TO THE WIDTH OF THE STAIRWAY

HANDRAILS: STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE.

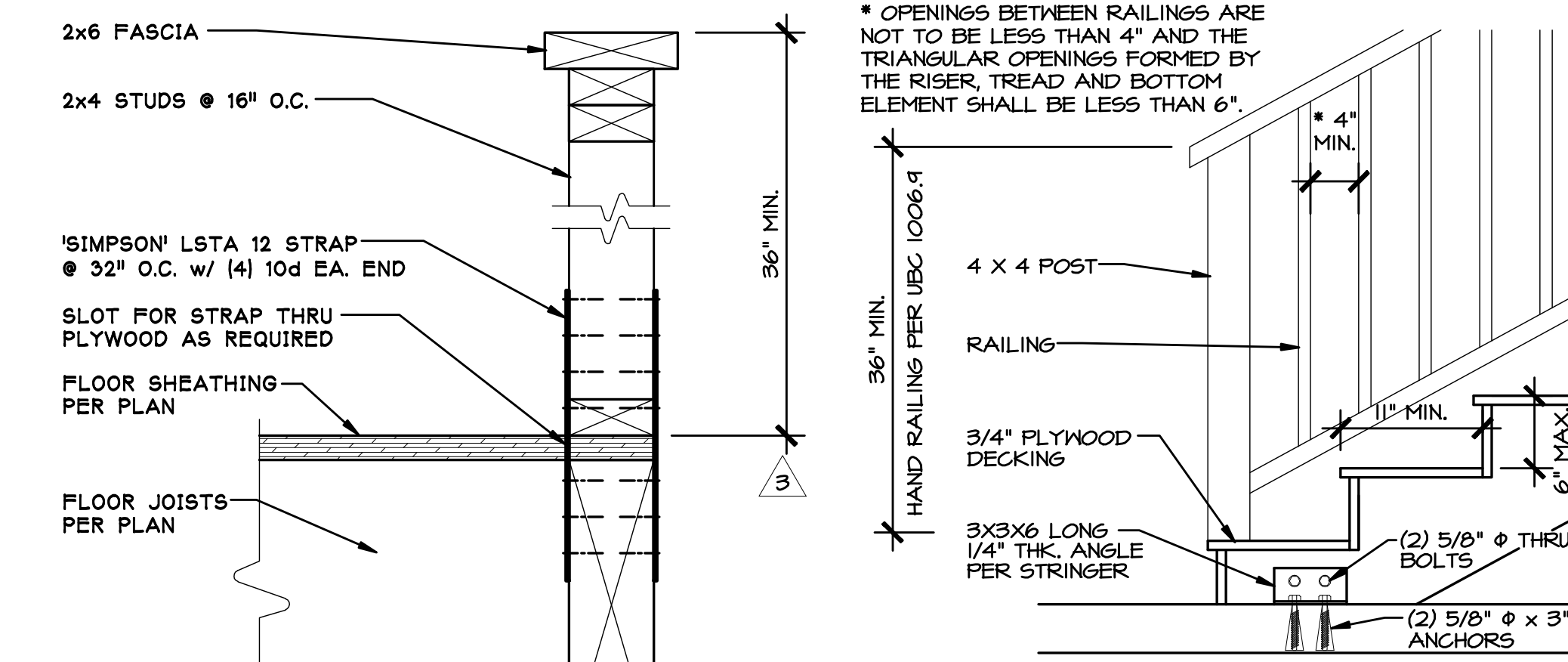
EXCEPTIONS:

1. STAIRWAYS LESS THAN 44 INCHES IN WIDTH OR STAIRWAYS SERVING ONE INDIVIDUAL DWELLING UNIT MAY HAVE ONE HANDRAIL.
2. PRIVATE STAIRWAYS 30 INCHES OR LESS IN HEIGHT MAY HAVE HANDRAILS ON ONE SIDE ONLY.
3. STAIRWAYS HAVING LESS THAN FOUR RISERS AND SERVING ONE INDIVIDUAL DWELLING UNIT IN GROUP R, DIVISION 1 OR SERVING GROUP M OCCUPANCIES NEED NOT HAVE HANDRAILS.

THE TOP OF HANDRAILS SHALL BE PLACED NOT LESS THAN 34 INCHES NOR MORE THAN 38 INCHES ABOVE THE NOSING OF TREADS THEY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS AND EXCEPT FOR PRIVATE STAIRWAYS AT LEAST ONE HANDRAIL SHALL EXTEND NOT LESS THAN 6 INCHES BEYOND THE TOP AND BOTTOM RISERS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1 1/2 INCHES NOR MORE THAN 2 INCHES IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HAND SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.

HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCH BETWEEN THE WALL AND THE HANDRAIL

HEADROOM: EVERY STAIRWAY SHALL HAVE A HEADROOM CLEARANCE OF NOT LESS THAN 6 FEET 8 INCHES. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM A PLANE PARALLEL AND TANGENT TO THE STAIRWAY TREAD NOSING TO THE SOFFIT ABOVE AT ALL POINTS.

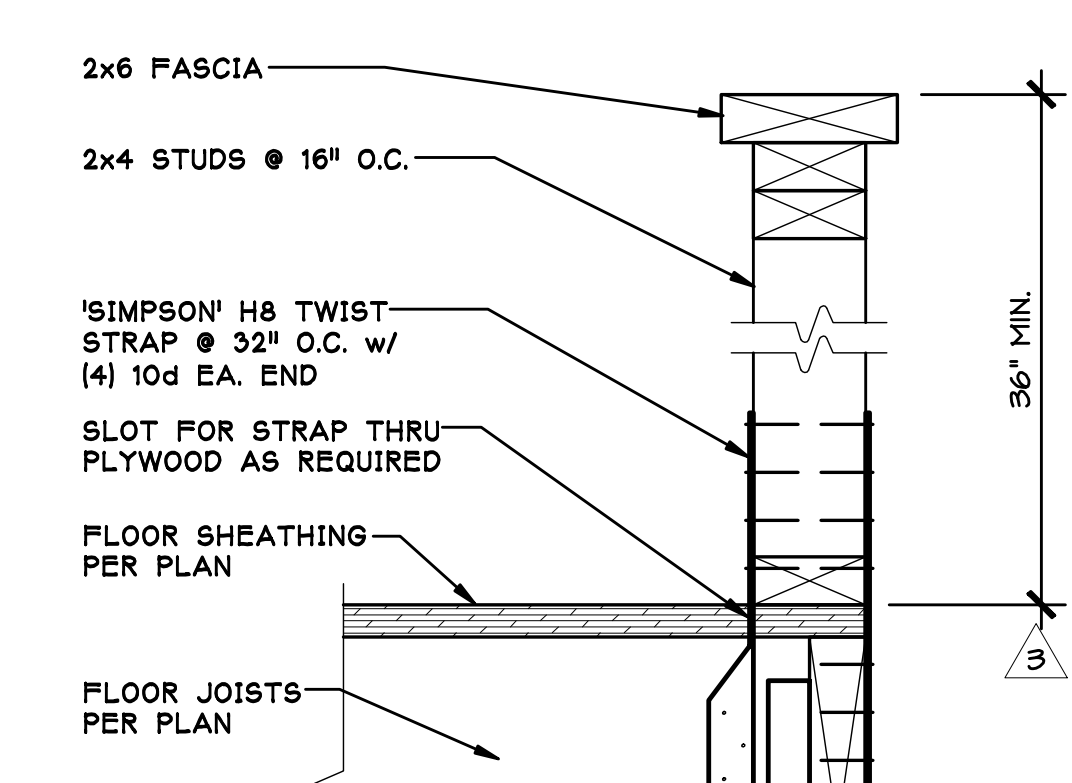


HANDRAIL NOTES:

1. HANDRAILING TO RESIST THE LATERAL LOAD AS DESCRIBED IN TABLE 16-B.
2. HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS.
3. HANDGRIP SHALL NOT BE LESS THAN 1 1/4" NOR MORE THAN 2" IN CROSS SECTION DIMENSION.
4. HANDRAILS SHALL HAVE AT LEAST 1/2" BETWEEN THE WALL AND THE HANDRAIL.
5. THE ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.

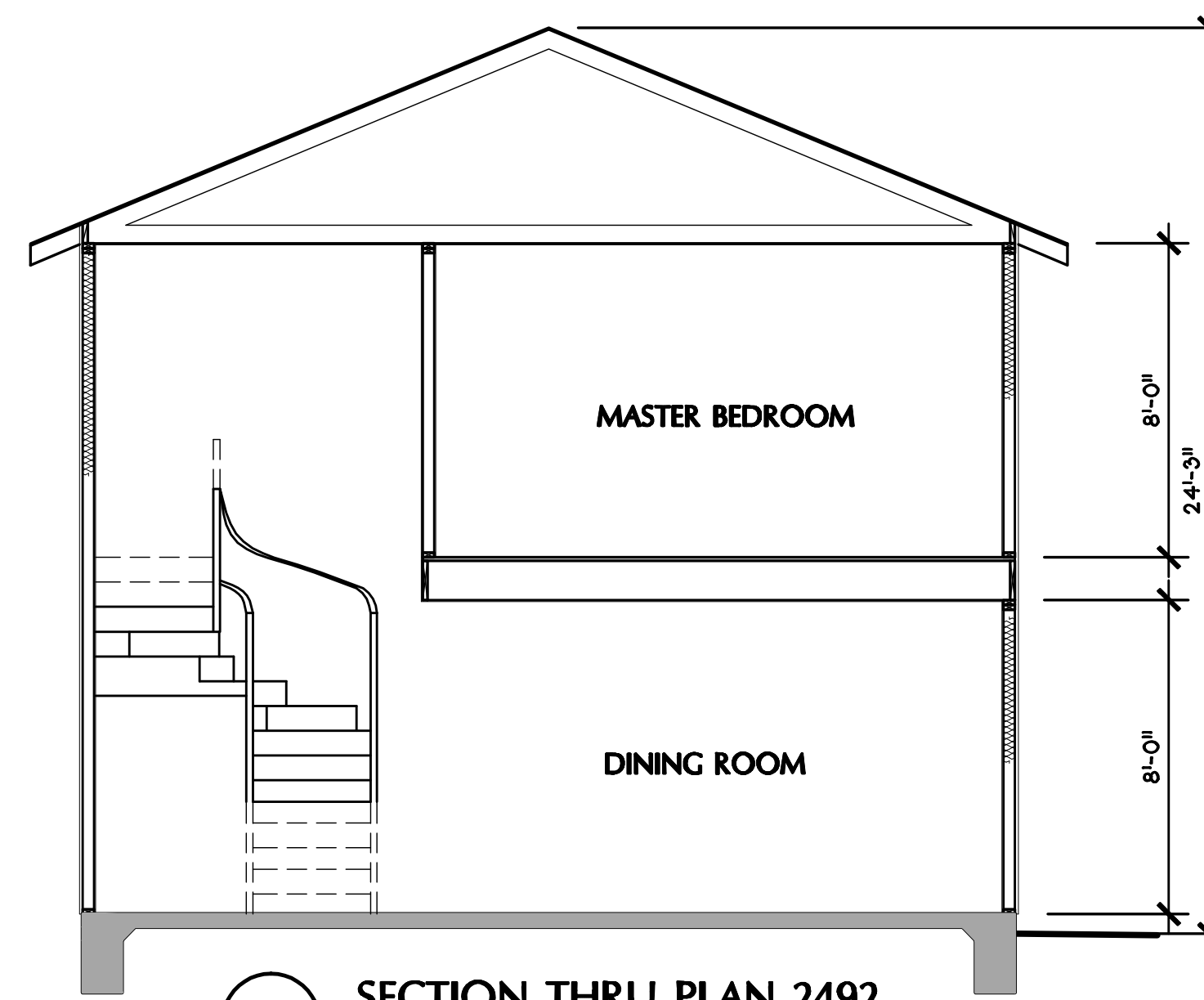
TYPICAL HANDRAIL DETAIL

A GUARDRAIL @ 4x EDGE BEAM
 SCALE: 2"=1'-0"

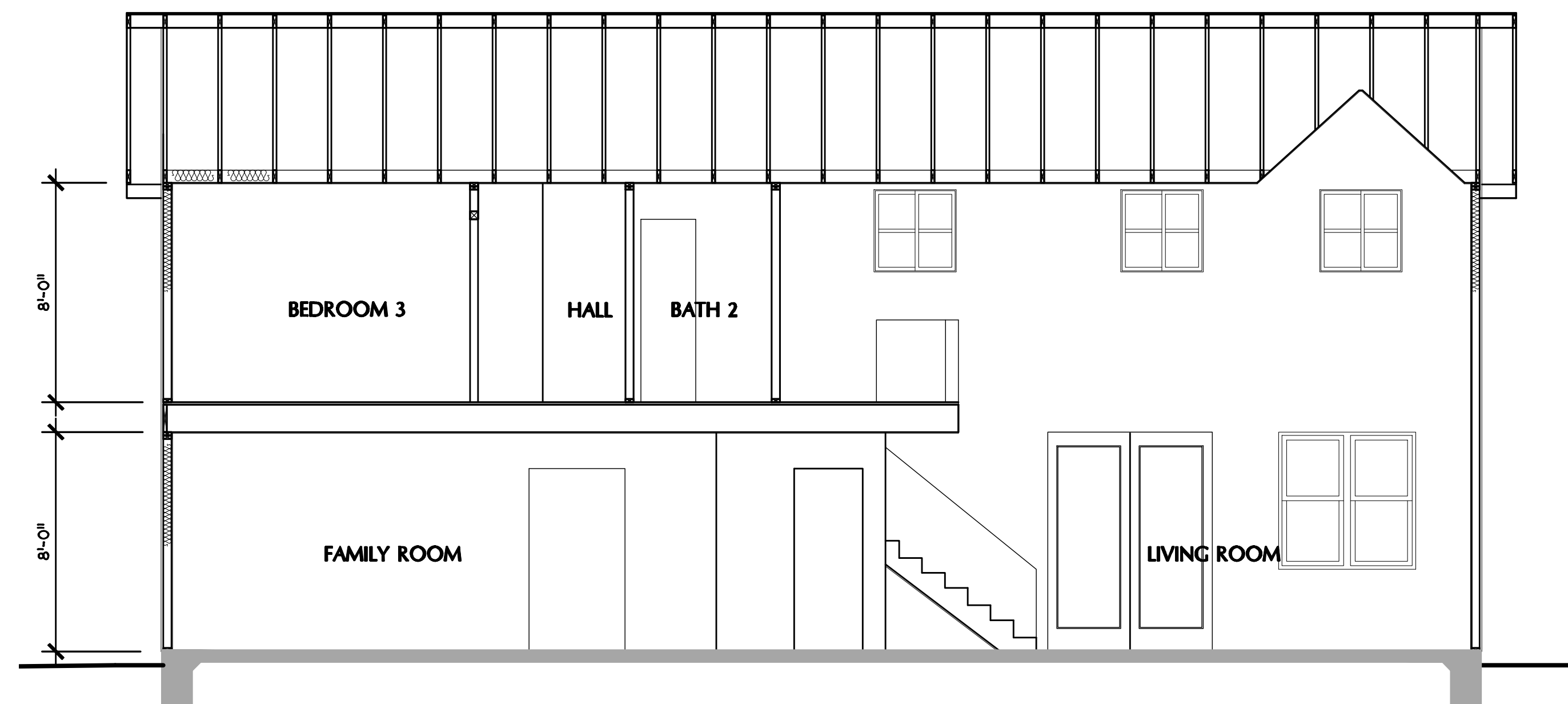


B GUARDRAIL @ 1 3/4" EDGE BEAM (RIM)
 SCALE: 2"=1'-0"

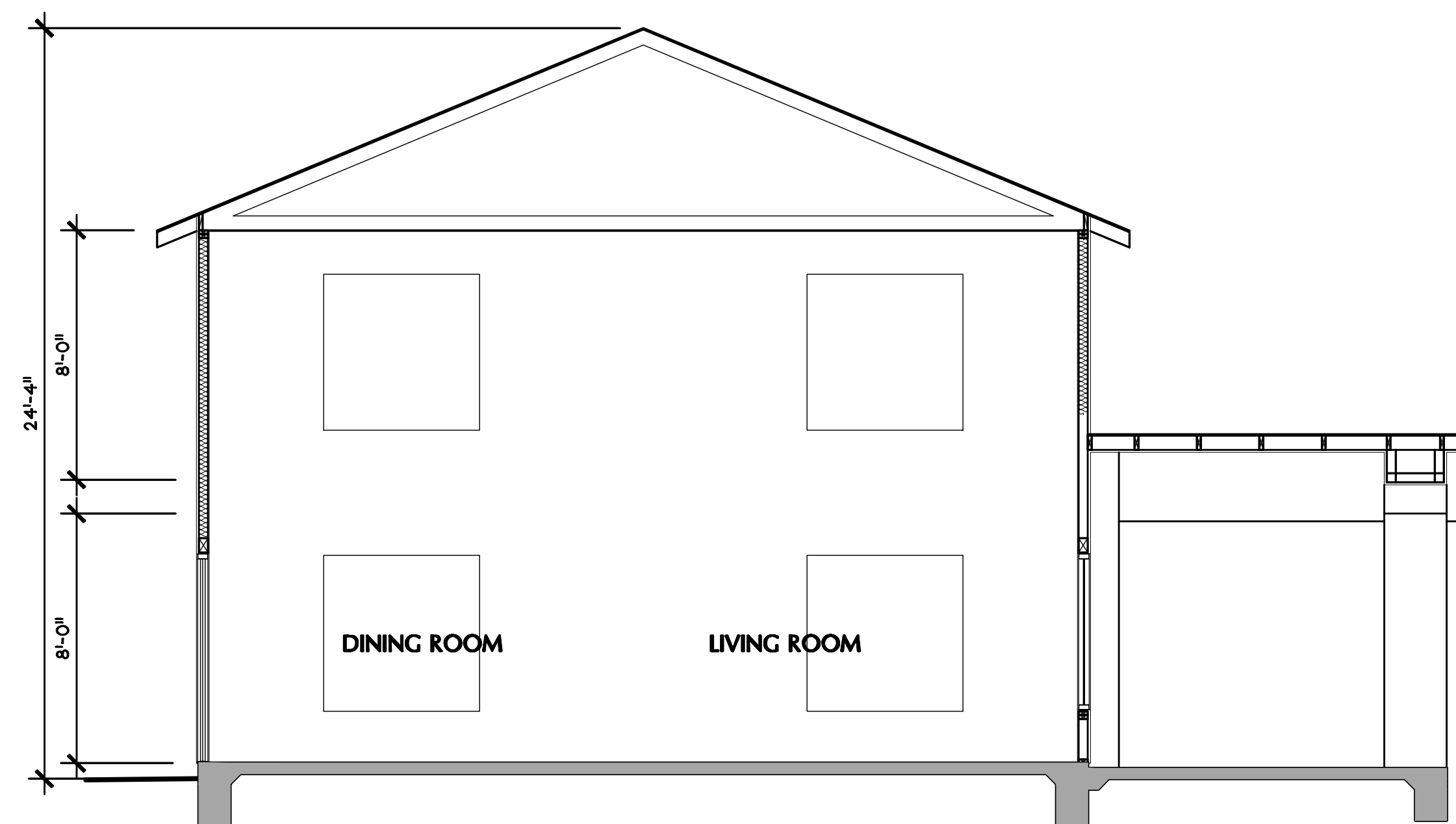




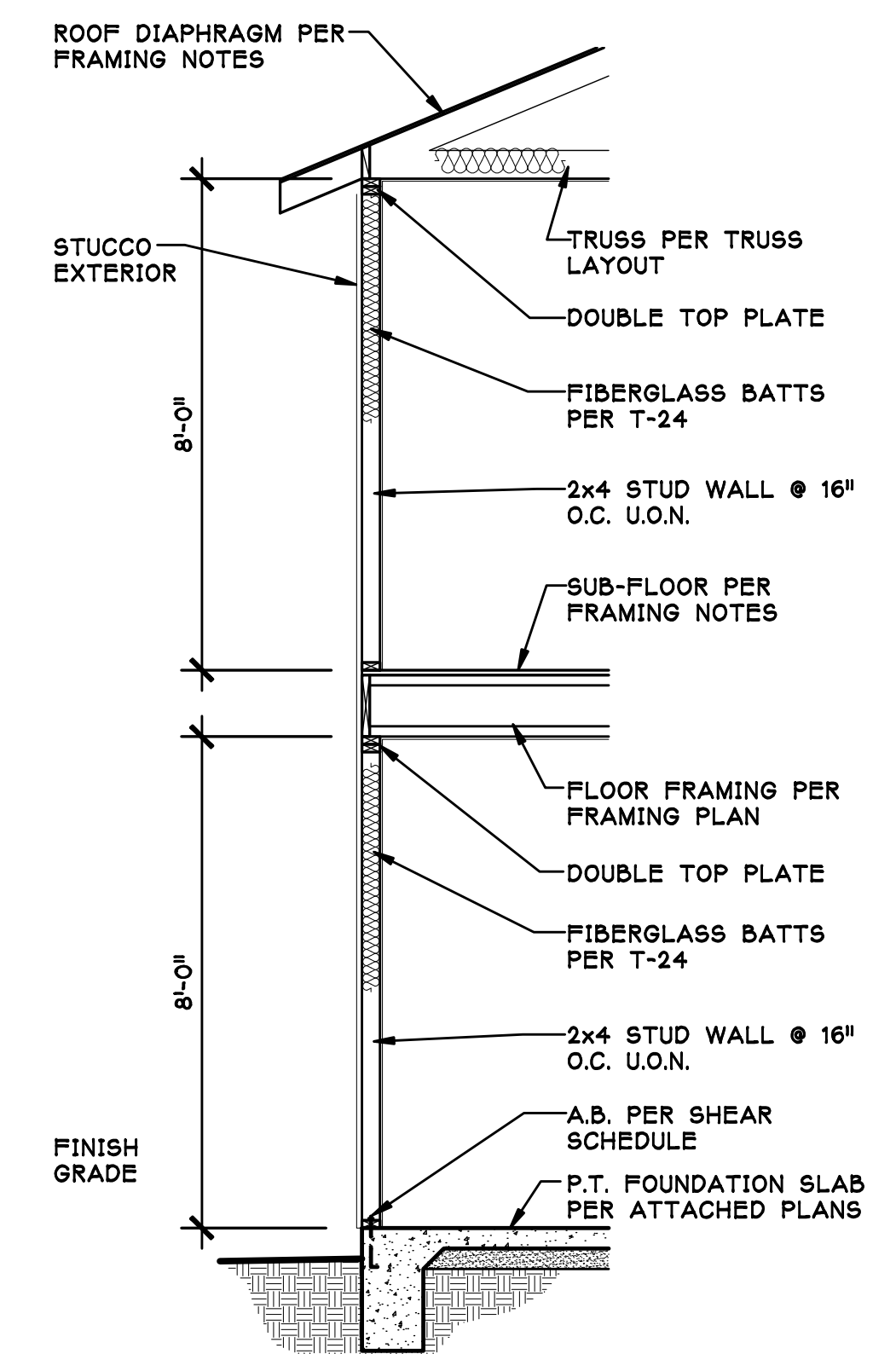
5 SECTION THRU PLAN 2492
SCALE: 1/4"=1'-0"



6 SECTION THRU PLAN 2656
SCALE: 1/4"=1'-0"



7 SECTION THRU PLAN 2828
SCALE: 1/4"=1'-0"



4 TYPICAL WALL SECTION
SCALE: 3/8"=1'-0"

ARCHITECT:

STUDIO 4

2909 MESA DRIVE
OCEANSIDE, CA 92054

(760) 722-4904 PH
(760) 722-4903 FX

PLONGTON@PACBELL.NET

PAUL LONGTON
PRINCIPAL

PROJECT:

BREANNA II

OCEANSIDE, CA 92056

OWNER:

**NORTON
CONSTRUCTION, INC.**

7950 SILVERTON AVE,
SUITE 111
SAN DIEGO, CA 92126-6343

OWNER'S REP:

PAUL LONGTON

2909 MESA DR.
OCEANSIDE, CA 92054
(760) 722-4904

RELEASE DATES:

ISSUED: 7/7/05

REVISIONS:

11/10/03 PLAN CHECK
12/29/03 PLAN CHECK

DRAWING STATUS:

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- PRELIMINARY DRAWINGS
- DESIGN DEVELOPMENT DRAWINGS
- CHECK SET
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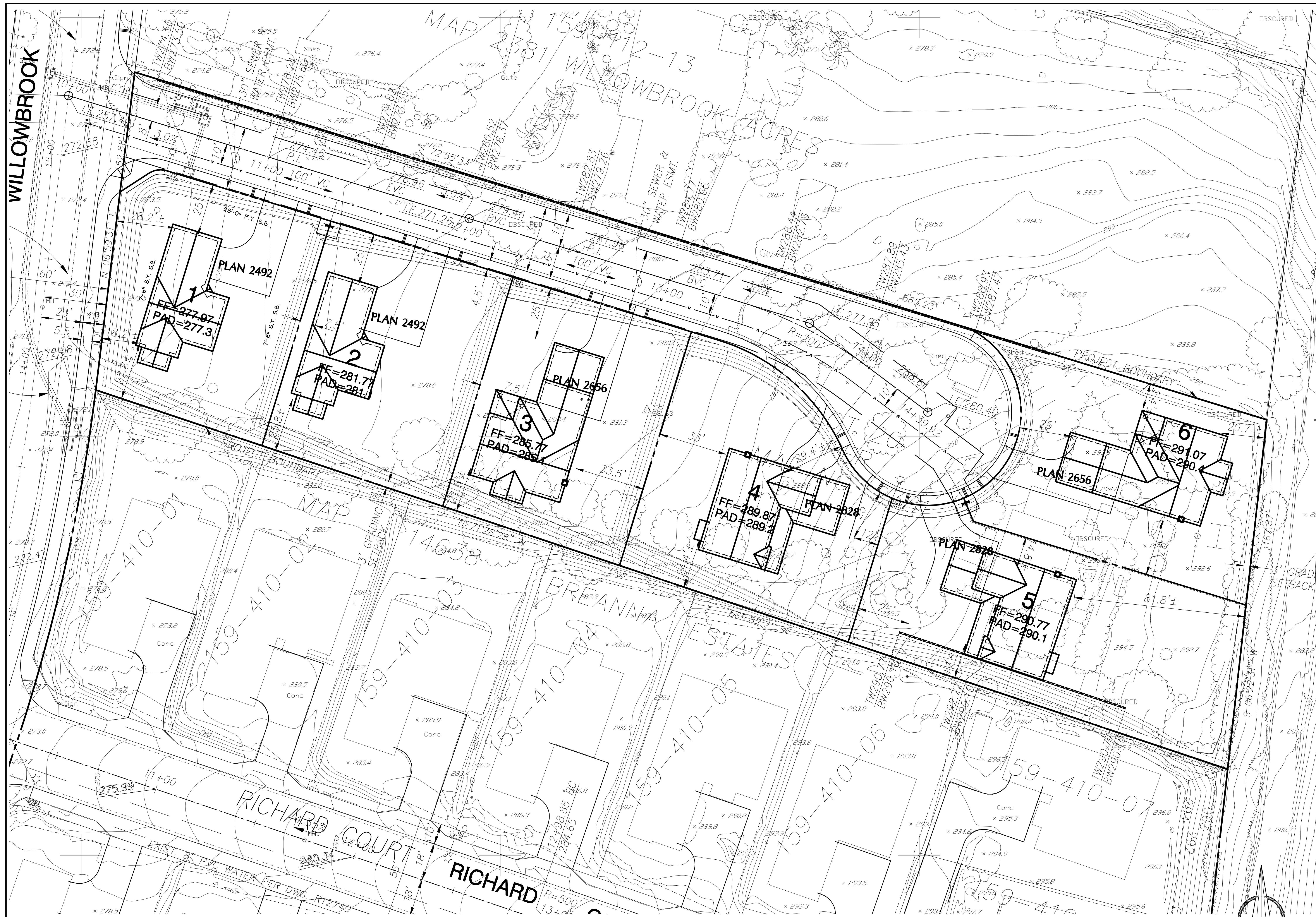
CHECKED BY: **PL**

SHEET TITLE

**TYP. SECTION
& BLDG. SECT'S**

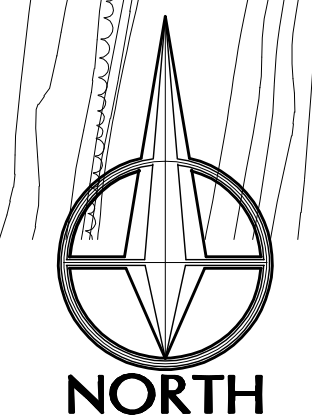
SHEET NO:

A.11



SITE PLAN

SCALE 1" = 20'-0"



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CHECKED BY: PL

SHEET TITLE:
SITE PLAN

SHEET NO:
SP.1

BREANNA II ESTATES



PLAN 2492



PLAN 2656



PLAN 2828

LOT #	LOT SIZE	PLAN	FOOTPRINT	COVERAGE
LOT 1	10,227 SF	2492	1,880 SF	18%
LOT 2	10,309 SF	2492	1,880 SF	18%
LOT 3	10,285 SF	2656	2,790 SF	27%
LOT 4	11,611 SF	2828	2,735 SF	24%
LOT 5	13,864 SF	2828	2,735 SF	20%
LOT 6	11,134 SF	2656	2,790 SF	25%

DEVELOPMENT INFORMATION

ZONING: RE-B (RESIDENTIAL ESTATE DIST. B)
 TOTAL AREA: 5 ACRES
 GENERAL PLAN USE: ESTATE B
 LOT SIZE: MIN. 10,000 SQ. FT.
 EXISTING LAND USE: VACANT
 PROPOSED LAND USE: SINGLE FAMILY RESIDENCE
 EXISTING LOT COVERAGE: 0%
 PROPOSED LOT COVERAGE: APPROX. 17.75%

SETBACKS:
 FRONT YARD 25'-0"
 SIDE YARD 7'-6"
 REAR YARD 20'-0"
 HEIGHT MAX. 2 STORIES OR 36'-0" & NOT TO EXCEED 25'-0" WITHIN 100' OF GUAJOME REGIONAL PARK

DEMOLITION: NONE

CONSTRUCTION (NEW): HEATED GARAGE COVERED PORCHES

PLAN 2492: (2 TOTAL)	HEATED	GARAGE	COVERED PORCHES
1st FLOOR	1078.0 SQ. FT.	470.0 SQ. FT.	0.0 SQ. FT.
2nd FLOOR	1,414.0 SQ. FT.		
TOTAL EACH UNIT:	2,492.0 SQ. FT.	470.0 SQ. FT.	0.0 SQ. FT.

PLAN 2656: (2 TOTAL)	HEATED	GARAGE	COVERED PORCHES
1st FLOOR	1,392.0 SQ. FT.	714.0 SQ. FT.	171.0 SQ. FT.
2nd FLOOR	1,264.0 SQ. FT.		
TOTAL EACH UNIT:	2,656.0 SQ. FT.	714.0 SQ. FT.	171.0 SQ. FT.

OPTIONAL DECK (NOT A PART OF THIS PERMIT) 50.0 SQ. FT.

PLAN 2828: (2 TOTAL)	HEATED	GARAGE	COVERED PORCHES
1st FLOOR	1,543.0 SQ. FT.	628.0 SQ. FT.	104.0 SQ. FT.
2nd FLOOR	1,285.0 SQ. FT.		
TOTAL EACH UNIT:	2,828.0 SQ. FT.	628.0 SQ. FT.	104.0 SQ. FT.

TOTAL FOOTAGES:
 6 UNITS TOTAL x 3 PLANS

	HEATED	GARAGE
(2) PLAN 2,492.0 X 2	= 4,984.0 SQ. FT.	940.0 SQ. FT.
(2) PLAN 2,656.0 X 2	= 5,312 SQ. FT.	1428.0 SQ. FT.
(2) PLAN 2,828.0 X 2	= 5,656 SQ. FT.	1256.0 SQ. FT.
TOTAL	= 15,952 SQ. FT.	

SERVICE AGENCIES
 WATER RAINBOW WATER DISTRICT
 SCHOOL FALLBROOK UNIFIED SCHOOL DISTRICT
 FIRE NORTH COUNTY FIRE PROTECTION SERVICE
 GAS/ELEC SAN DIEGO GAS & ELECTRIC
 SEWER RAINBOW WATER DISTRICT

BUILDING CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:
 2001 CALIFORNIA BUILDING CODE (TITLE 24)
 2000 CALIFORNIA PLUMBING CODE
 2000 UNIFORM MECHANICAL CODE
 1997 UNIFORM FIRE CODE
 1999 NATIONAL ELECTRICAL CODE
 1997 UNIFORM BUILDING CODE

PROJECT INFORMATION

OWNER:

NORTON CONSTRUCTION, INC.
 7950 SILVERTON AVE., SUITE 111
 SAN DIEGO, CA 92126-6343

PROJECT ADDRESS:

ASSESSOR'S PARCEL #:

PROJECT SUMMARY:

(6) SIX NEW SINGLE FAMILY RESIDENCES ON NEWLY CREATED LOTS WITH A 2-LANE LOCAL ROAD

LEGAL DESCRIPTION:

ALL THAT PORTION ON LOT 19 OF WILLOWBROOK ACRES, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2381, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, FEBRUARY 21, 1947 DESCRIBED AS FOLLOWS:

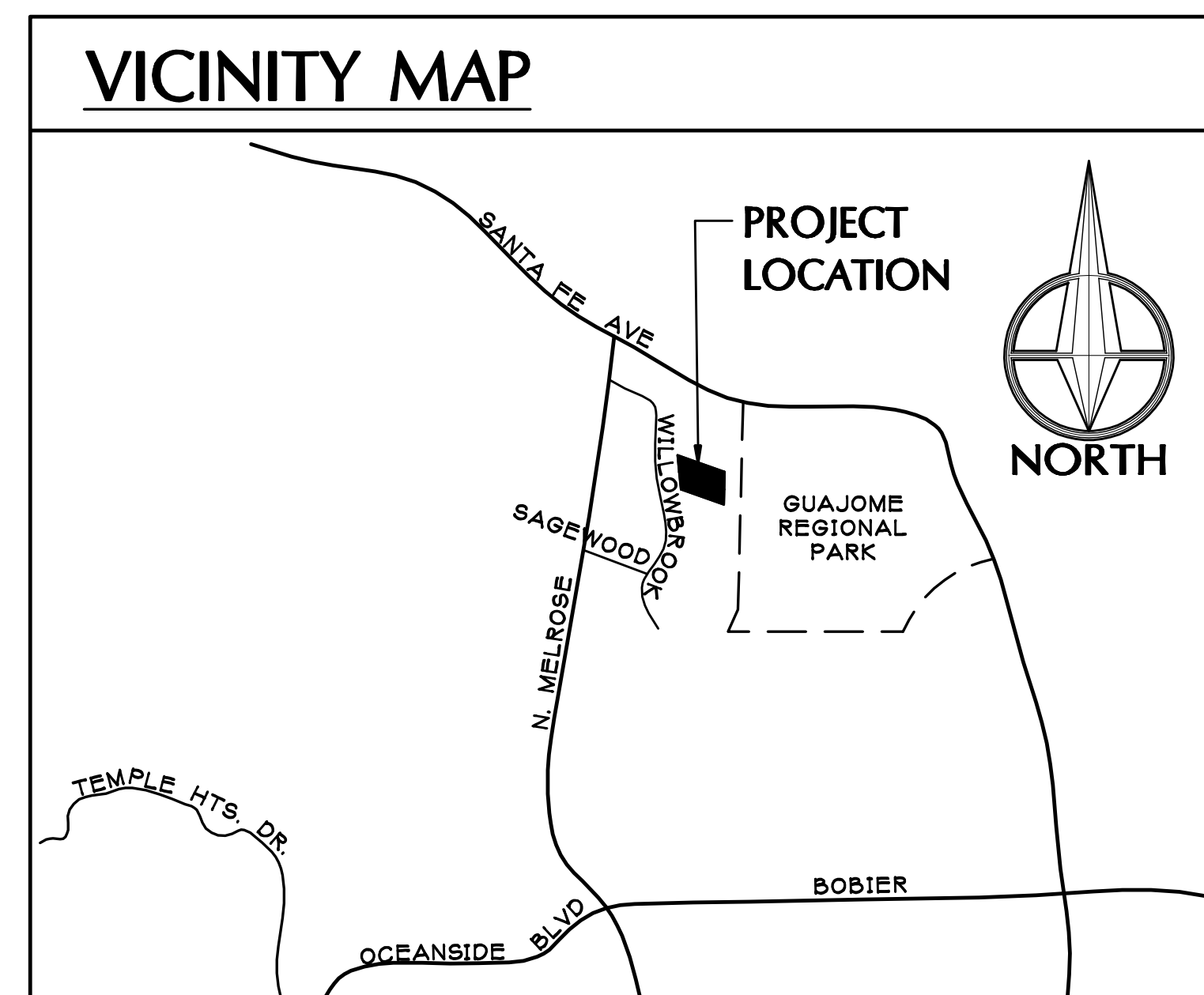
BEGINNING AT THE NORTHWESTERLY CORNER OF SAID LOT, SAID CORNER BEING THE BEGINNING OF A CURVE CONCAVE WESTERLY AND HAVING A RADIUS 880.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 83°34'27" EAST; THENCE SOUTHERLY ALONG THE ARC OR SAID CURVE AND ALONG THE WESTERLY LINE OF SAID LOT THROUGH A CENTRAL ANGLE OF 19°30'20" AN ARC DISTANCE OF 289.58 FEET TO THE END OF SAID CURVE; THENCE LEAVING SAID LINE SOUTH 60°14'54" EAST, 667.88 FEET TO A POINT IN THE EASTERLY LINE OF SAID LOT, SAID POINT BEING SOUTH 54°50' WEST, 443.53 FEET FROM THE NORTHEASTERLY CORNER THEREOF; THENCE NORTH 54°50' EAST ALONG SAID EASTERLY LINE 443.53 FEET TO THE NORTHEAST CORNER THEREOF; THENCE NORTH 71°57'18" WEST ALONG THE NORTHERLY LINE OF SAID LOTS 569.88 FEET TO THE POINT OF BEGINNING.

CONSULTANTS:

GRADING PLAN BY:
 LUNDSTROM & ASSOC.
 3335 CAMINO DEL RIO SOUTH, STE. 300
 SAN DIEGO, CA 92108
 (619) 641-5900

SHEET INDEX

T.1	COVER SHEET
SP.1	SITE PLAN
A.1	PLAN 2492 - FIRST FLOOR PLAN
A.2	PLAN 2492 - SECOND FLOOR PLAN
A.3	PLAN 2492 - ROOF PLAN AND ELEVATIONS
A.4	PLAN 2656 - FIRST FLOOR PLAN
A.5	PLAN 2656 - SECOND FLOOR PLAN
A.6	PLAN 2656 - ROOF PLAN AND ELEVATIONS
A.7	PLAN 2828 - FIRST FLOOR PLAN
A.8	PLAN 2828 - FIRST FLOOR PLAN
A.9	PLAN 2828 - SECOND FLOOR PLAN
A.10	PLAN 2828 - ROOF PLAN AND ELEVATIONS



ARCHITECT:

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PAUL LONGTON
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SHEET TITLE:

COVER SHEET

SHEET NO:

T.1