

AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

HOME

EXECUTIVE
SUMMARY

AERIALS/
MAPS

PROPERTY
INFO

PHOTOS

SITE PLAN

TM/GRADING
PLAN

LANDSCAPE
PLAN MAP

COST
ESTIMATES

ELEVATIONS/
FLOOR PLANS

COMPS/
MARKET INFO

SALE PRICE: \$4,950,000

- High Quality Infill Townhome Project
- #2 in the Nation on Redfin's 2013 Ten Hottest Neighborhoods
- 1.53 Acres
- 1,798 - 2,004 SF Units
- No Affordable Units



COMMERCIAL REAL ESTATE SERVICES

1900 Wright Place, Suite 200 | Carlsbad, CA 92008

T: 760.929.9700 | F: 760.929.9977

MATT WEAVER

mweaver@lee-associates.com

(760) 448-2458

CalBRE Lic# 01367183

AL APUZZO

aapuzzo@lee-associates.com

(760) 448-2442

CalBRE Lic# 01323215

PATRICK MILLER, CCIM

pmiller@lee-associates.com

(760) 929-9700

CalBRE Lic# 00296599



AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

HOME

EXECUTIVE SUMMARY

AERIALS/ MAPS

PROPERTY INFO

PHOTOS

SITE PLAN

TM/GRADING PLAN

LANDSCAPE PLAN MAP

COST ESTIMATES

ELEVATIONS/ FLOOR PLANS

COMPS/ MARKET INFO

EXECUTIVE SUMMARY

Aura is an approved 30 unit large townhome project located in the community of Mira Mesa in San Diego, California. The property is located near the intersection of Zapata Avenue and Camino Ruiz, less than two miles from Interstate 15 and within five miles of Interstate 805, both Riverside and San Diego County are easily accessible from this site. All discretionary approvals are in place including an approved Tentative Map, Grading Plans, Architectural and Site Plans.

Mira Mesa is currently the largest community in San Diego with more than 60,000 residents. To the West, the Sorrento Mesa business and tech area serves as one of the largest employment hubs in San Diego. In addition, several new commercial and industrial centers have been built within the Mira Mesa area, providing local jobs to the growing population. Adjacent to Interstate 15, the Mira Mesa Towne Center provides visitors and residents with shopping, a movie theatre, and several popular restaurants.

In proximity to employers like UC San Diego, Qualcomm, and MCAS Miramar, Mira Mesa attracts an extremely diverse population, creating a unique community culture. Homebuyers in this area are well-educated, mid-income earners who are looking for new construction in well-established neighborhoods. They enjoy the convenient access to downtown San Diego for shopping and entertainment, but are searching for an alternative to the busy lifestyle of downtown. Last year, Mira Mesa was listed as #2 on Redfin's nationwide "Top 10 Neighborhood's in 2013."

Mira Mesa schools are highly rated, with Mira Mesa High consistently ranking at or near the top of high schools in San Diego. Mira Mesa is also home to Miramar College, which has just undertaken a \$341 million dollar renovation to expand its offerings and provide a modern, state-of-the-art campus. The project is a rare, approved site in a heavily built-out area of Mira Mesa. With its open floor plans, desirable finishes, and proposed contemporary architecture, this project will meet the demand for new, large townhomes in Mira Mesa.



Information contained herein has been obtained from sources we deem to be reliable. While we have no reason to doubt its accuracy, we do not guarantee it.

AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

HOME

EXECUTIVE
SUMMARY

AERIALS/
MAPS

PROPERTY
INFO

PHOTOS

SITE PLAN

TM/GRADING
PLAN

LANDSCAPE
PLAN MAP

COST
ESTIMATES

ELEVATIONS/
FLOOR PLANS

COMPS/
MARKET INFO

NORTH VIEW



AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

HOME

EXECUTIVE
SUMMARY

AERIALS/
MAPS

PROPERTY
INFO

PHOTOS

SITE PLAN

TM/GRADING
PLAN

LANDSCAPE
PLAN MAP

COST
ESTIMATES

ELEVATIONS/
FLOOR PLANS

COMPS/
MARKET INFO

EAST VIEW



SCRIPPS
RANCH

LAKE MIRAMAR

Scripps Poway Pkwy
15

CASA MIRA
VIEW COMMUNITY

SAN DIEGO
ICE ARENA

MIRA MESA
SQUARE

MIRA MESA
MARKET CENTER

Mira Mesa Blvd

ERICSON
ELEMENTARY
SCHOOL

Subject Property

Zapata Ave

Camino Ruiz



AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

HOME

EXECUTIVE
SUMMARY

AERIALS/
MAPS

PROPERTY
INFO

PHOTOS

SITE PLAN

TM/GRADING
PLAN

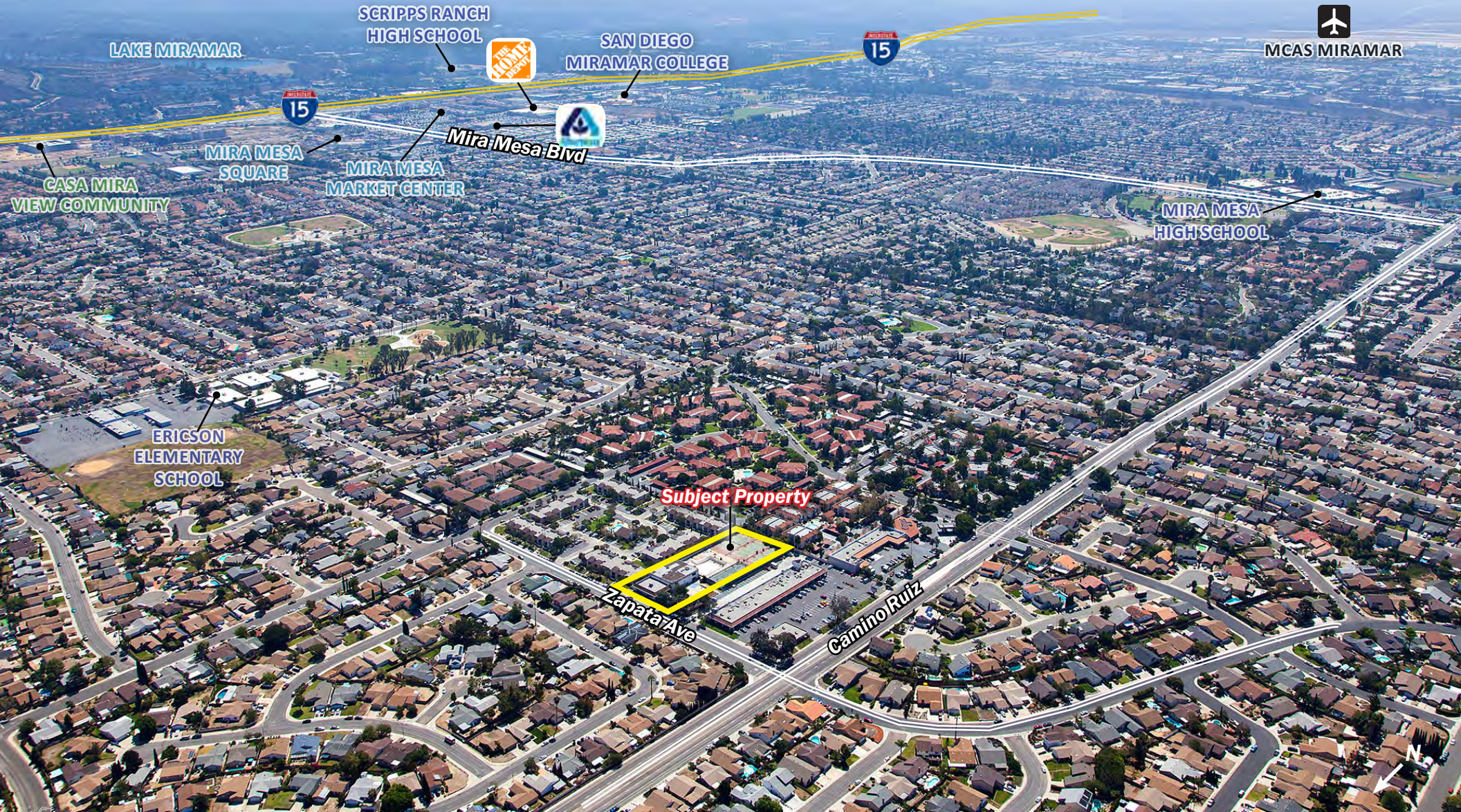
LANDSCAPE
PLAN MAP

COST
ESTIMATES

ELEVATIONS/
FLOOR PLANS

COMPS/
MARKET INFO

SOUTHEAST VIEW



AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

HOME

EXECUTIVE
SUMMARY

AERIALS/
MAPS

PROPERTY
INFO

PHOTOS

SITE PLAN

TM/GRADING
PLAN

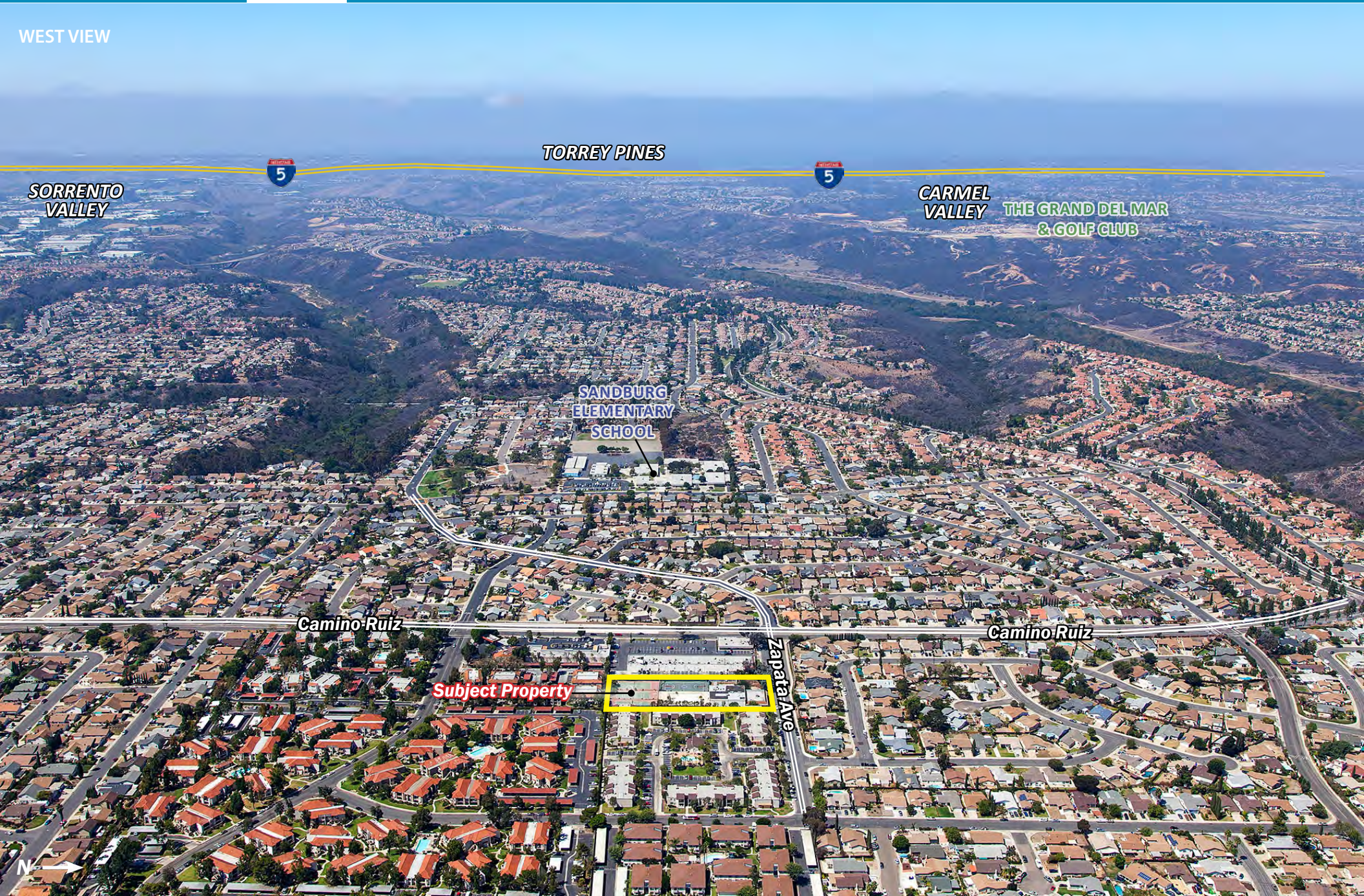
LANDSCAPE
PLAN MAP

COST
ESTIMATES

ELEVATIONS/
FLOOR PLANS

COMPS/
MARKET INFO

WEST VIEW



AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

HOME

EXECUTIVE
SUMMARY

AERIALS/
MAPS

PROPERTY
INFO

PHOTOS

SITE PLAN

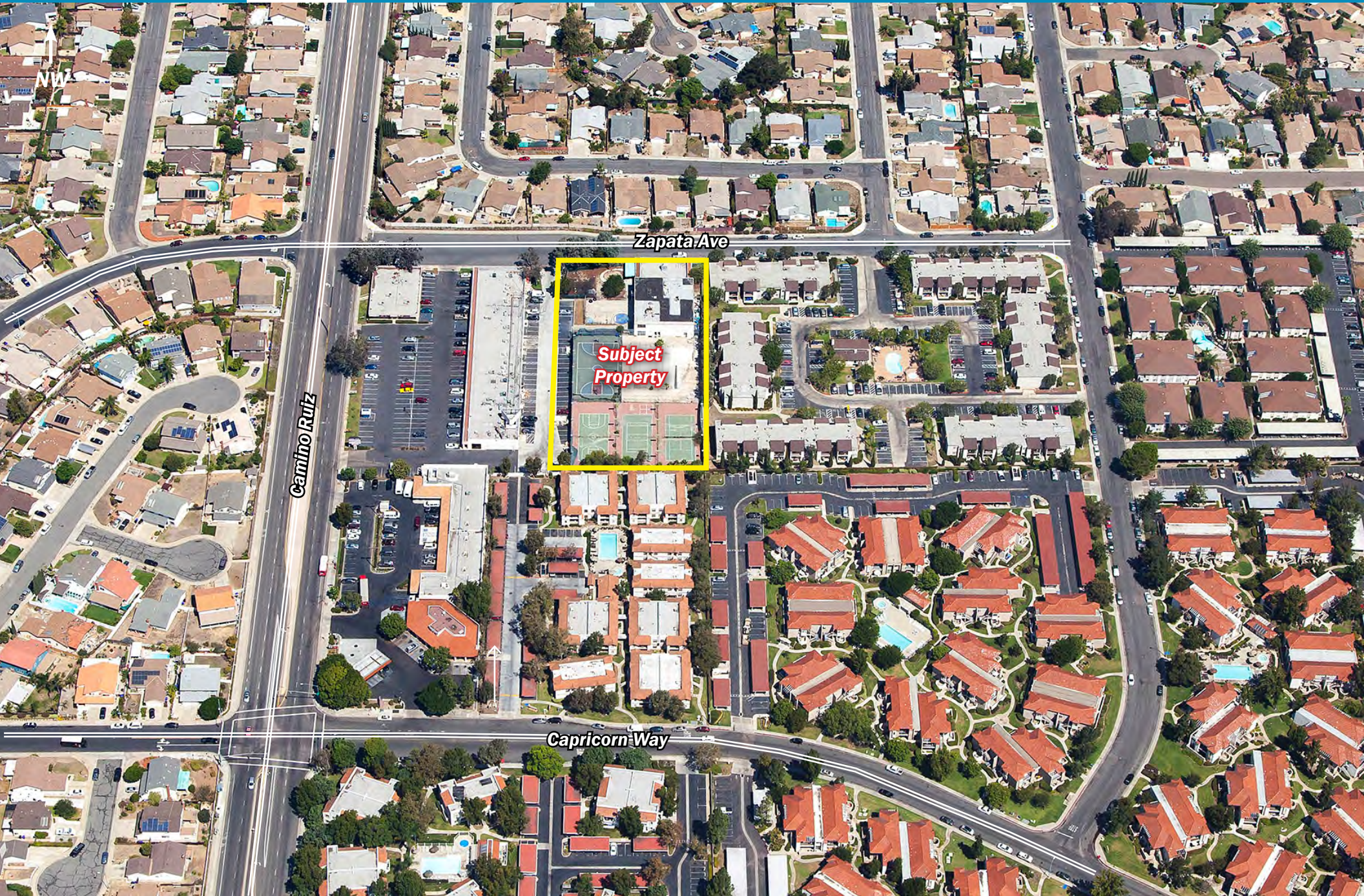
TM/GRADING
PLAN

LANDSCAPE
PLAN MAP

COST
ESTIMATES

ELEVATIONS/
FLOOR PLANS

COMPS/
MARKET INFO



AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

HOME

EXECUTIVE
SUMMARY

AERIALS/
MAPS

PROPERTY
INFO

PHOTOS

SITE PLAN

TM/GRADING
PLAN

LANDSCAPE
PLAN MAP

COST
ESTIMATES

ELEVATIONS/
FLOOR PLANS

COMPS/
MARKET INFO



**Subject
Property**

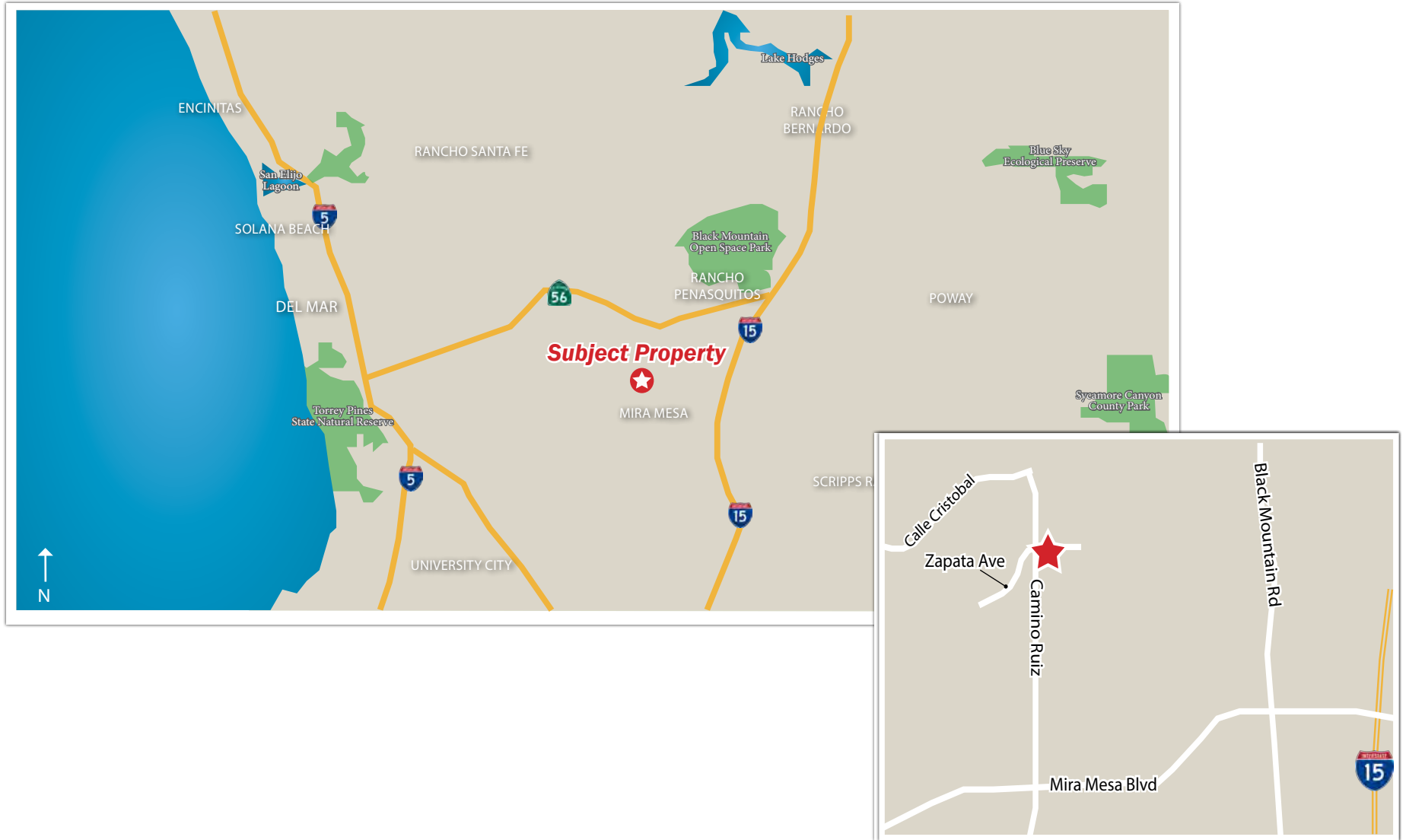
Zapata Ave

AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

- HOME
- EXECUTIVE SUMMARY
- AERIALS/ MAPS
- PROPERTY INFO
- PHOTOS
- SITE PLAN
- TM/GRADING PLAN
- LANDSCAPE PLAN MAP
- COST ESTIMATES
- ELEVATIONS/ FLOOR PLANS
- COMPS/ MARKET INFO

LOCATION MAP



AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

HOME	EXECUTIVE SUMMARY	AERIALS/ MAPS	PROPERTY INFO	PHOTOS	SITE PLAN	TM/GRADING PLAN	LANDSCAPE PLAN MAP	COST ESTIMATES	ELEVATIONS/ FLOOR PLANS	COMPS/ MARKET INFO
----------------------	-----------------------------------	-------------------------------	-------------------------------	------------------------	---------------------------	---------------------------------	------------------------------------	--------------------------------	-----------------------------------------	------------------------------------

PROPERTY INFO

Location:	Zapata Townhomes is located at 11345 Zapata Avenue, just east of Camino Ruiz in the community of Mira Mesa in San Diego County.
APN:	309-260-01
Acreage:	1.53 Acres – 19.6 DU/Acre
Jurisdiction:	City of San Diego
Project Summary:	30 Large Townhomes; No Affordable or Age Restricted Units Required
Unit Breakdown & Sizes:	14 Units – 4 Beds – 1,798 Square Feet 8 Units – 4 Beds – 1,849 Square Feet 8 Units – 4 Beds – 2,004 Square Feet
Building Height:	Max Height – 3 Stories/36'
Open Space Provided:	23,214 SF Common Open Space 807 SF Private Exterior Open Space
Parking:	Standard Parking – 68 Spaces Guest Parking – 14 Spaces Van Accessible – 2 Spaces Motorcycle Parking – 3 Spaces Total – 87 Spaces
Lot Coverage:	Building Area – 23,320 SF (34.9%) Landscape Area – 20,850 SF (31.2%)
School District:	San Diego Unified School District
Services:	Water/Sewer – City of San Diego Gas/Electric – SDG&E Fire – City of San Diego Police – City of San Diego

CLICK HERE FOR THE FOLLOWING ITEMS:

1. [ALTA Survey](#)
2. [Parking Study & Fire Access Sheet](#)
3. [Plat Map](#)
4. [Demolition Plan](#)
5. [Planned Development Permit & Resolutions](#)
6. [Conditions of Tentative Map Approval](#)

Improvement Costs:	\$30,604/unit*
Architectural/Engineering:	\$5,225/unit*
Fees & Permits:	\$58,789/unit*

**Buyer to verify*

AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

- HOME
- EXECUTIVE SUMMARY
- AERIALS/ MAPS
- PROPERTY INFO
- PHOTOS
- SITE PLAN
- TM/GRADING PLAN
- LANDSCAPE PLAN MAP
- COST ESTIMATES
- ELEVATIONS/ FLOOR PLANS
- COMPS/ MARKET INFO

UNIT MIX

UNIT MIX SUMMARY

		TOWNHOMES					
		<u>Plan 1</u>	<u>Plan 1R</u>	<u>Plan 2</u>	<u>Plan 2R</u>	<u>Plan 3</u>	<u>Plan 3R</u>
		1,798 SF	1,798 SF	1,849 SF	1,849 SF	2,004 SF	2,004 SF
TOTAL		4Bd/3Ba	4Bd/3Ba	4Bd/3Ba	4Bd/3Ba	4Bd/3Ba	4Bd/3Ba
Building #1	3	-	1	-	1	1	-
Building #2	3	1	-	1	1	-	-
Building #3	3	1	-	1	-	-	1
Building #4	3	-	1	-	1	1	-
Building #5	3	1	-	1	1	-	-
Building #6	3	1	-	1	-	-	1
Building #7	6	2	2	-	-	1	1
Building #8	6	2	2	-	-	1	1
TOTAL	30	8	6	4	4	4	4
% of Total	100%	27%	20%	13%	13%	13%	13%



COMMERCIAL REAL ESTATE SERVICES
 1900 Wright Place, Suite 200 | Carlsbad, CA 92008
 T: 760.929.9700 | F: 760.929.9977

MATT WEAVER
 mweaver@lee-associates.com
 (760) 448-2458
 CalBRE Lic# 01367183

AL APUZZO
 aapuzzo@lee-associates.com
 (760) 448-2442
 CalBRE Lic# 01323215

PATRICK MILLER, CCIM
 pmiller@lee-associates.com
 (760) 929-9700
 CalBRE Lic# 00296599

AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

HOME

EXECUTIVE
SUMMARY

AERIALS/
MAPS

PROPERTY
INFO

PHOTOS

SITE PLAN

TM/GRADING
PLAN

LANDSCAPE
PLAN MAP

COST
ESTIMATES

ELEVATIONS/
FLOOR PLANS

COMPS/
MARKET INFO

PROPERTY PHOTOS



CLICK HERE TO VIEW DETAILED SITE PLAN

Project Description:

Tentative map, Planned Development Permit, and Neighborhood Development Permit to subdivide 1 existing lot into 2 lots. Lot 1 proposes 20 condominium units, while lot 2 will remain as existing condition.

Legal Description:

Lot 1 of Mira Mesa Plaza unit no. 1, in the City of San Diego, County of San Diego, State of California, according to map titled no. 1421, filed in the office of the County Recorder of San Diego County on September 6, 1972.

Mapping Note:

A final map will be filed at the County Recorder's Office prior to the expiration of the tentative map. A detailed procedure of survey will be shown on the final map and all property corners will be set on the final map.

Condominium Note:

This is a Condominium project as defined in section 1350 et seq. of the Civil Code of the State of California and is filed pursuant to the Subdivision Map Act. Total number of residential units = 30.

General Notes:

1. Project Name: Zapata Townhomes
2. APN: 309-290-01
3. Project Location: 11345 Zapata Avenue No. 47 San Diego, California
4. Gross Project Area: 3.68 Acres ± Net Project Area: 3.68 Acres ±
5. Proposed Units: 30 Condominium Units (3 Bedrooms)
6. Esasements: Existing SDG&E 76-2099625 & 77-028106 (Not Plottable)
7. Proposed Lots: 2
8. Proposed Lots: 2
9. Zoning: Existing: CN-1-2 & RM-2.5 Proposed: RM-2.5
10. Density Zones: Airport Influence Area - MCAS Miramar & Residential Tandem Parking Overlay Zone
11. Net Density: Allowed: 174,500 s.f. (31 D.U.) Proposed: 1,255,000 s.f. (30 D.U.)
12. Public Utilities: Gas and Electric: SDG&E Telephone: AT&T City and Police Area: City of San Diego Water: City of San Diego Storm Drain: City of San Diego
13. Topography Source: Aerial Survey, dated 06-2013; R.J. Ling & Associates.
14. M&D 27: M&D 85: 1918-8287
15. Occupancy Type: R-3, U
16. Construction Type: V-B
17. Number of Stories: 3
18. Provide building address numbers, visible and legible from the street to road fronting the property per F.H.P.S. Policy P-00-6 (L.P.C. 2014.4)
19. Geologic Hazard Category: S2
20. An Affirmative Marketing Program is required in accordance with City Council Policy 800-20, prior to the recreation of the final map.
21. Landscape Area: 19,310 s.f.

General Design Notes:

1. Proposed above design conforms to City of San Diego Street Standards.
2. Finish grades and pad limits shown herein are approximate only and are subject to change in final engineering.
3. Esasements will be provided as required by the city engineer.
4. All proposed utilities are to be underground.
5. Private drainage systems required to drain rear yards and other minor areas are not shown herein but will be incorporated into the final design as required.
6. No overhead electric lines are located adjacent to the site.
7. All buildings in lot 1 to remain. Attached building on lot 2 to be demolished with all hardscape.
8. All existing sewer laterals will be abandoned in place at the property line and all existing public water services will be killed at the front.
9. Proposed fire gates will have optical sensor with knee switch override.

Zone CN-1-2 Development Regulations Table		
Development Regulation	Permitted	Provided
Max. Residential Density	44	30
Min. Lot Area	5,000 s.f.	1,101 s.f.
Max. Lot Area	15,000 s.f.	1,400 s.f.
Min. Lot Width	50'	22'-6"
Min. Street Frontage	25'	22'-0"
Max. Lot Depth	100'	48'-7"
Min. Front Setback	0'	0'
Min. Side Setback	10'	25'
Opt. Side Setback	0'	25'
Side Setback	10'	15'
Street Side Setback	10'	15'
Min. Rear Setback	0'	10'
Rear Setback	10'	24'
Max. Structure Height	30'	36'-11"
Max. Floor Area Ratio	7:1	13:1
Reduction Plans	Applies	Provided
Transparency	Applies	Provided
Building Automation	Applies	Provided
Roofing And Recyclable	Applies	Provided
Mechanical Storage	Applies	Provided
Loading Dock And Overhead	Applies	Not
Screening Regulations	Applies	Not

Required Open Space Per 143.0420:

Required: 30 Units x 190 s.f. per unit = 5,700 s.f. of Usable Open Space
Provided: 24,021 s.f. of Usable Open Space

Open Space Legend:

Usable Open Space shall consist of Common Open Space and Private Exterior Open Space.
Any Common Open Space and/or Private Exterior Open Space that will be included as Usable Open Space to satisfy requirements per 143.0420 will meet the City's definition of Usable Open Space (100 s.f. area minimum with no dimension being less than 6 ft.)

Fire Protection Note:

Parking permitted on the private street, red curb or no parking signs required on those portions needed for the protection services.

Open Space Legend:

Common Open Space: 300 s.f. x 25 s.f. x 30 = 750 s.f.
Private Exterior Open Space: 75% x 30 = 22.5 x 60 s.f. = 1,350 s.f.

Required Open Space: Common: 300 s.f. x 25 s.f. x 30 = 750 s.f.
Private Exterior: 75% x 30 = 22.5 x 60 s.f. = 1,350 s.f.

Provided Open Space: Common: 23,214 s.f.
Private Exterior: 3,126 s.f.

Private Exterior Open Space Notes:
1. At least 75% of the dwelling units shall be provided with outdoor recreational facilities available only to the residents and guests of the development.

Common Open Space Notes:
1. The Common Open Space area shall be at least 300 s.f. or 25 s.f. per dwelling unit, whichever is greater.
2. At least one area of Common Open Space shall be provided with a minimum dimension of 12'-0" x 15'-0". This space shall be proposed as a usable area with lawn or recreational facilities.
3. Rooftop structures may occupy a maximum of 50% of the Common Open Space area, but enclosed buildings are permitted in the Common Open Space area.
4. Common Open Space may be provided in the required area and rear yards.
5. Common Open Space shall be landscaped or improved with outdoor recreational facilities available only to the residents and guests of the development.

Private Exterior Open Space Notes:
1. At least 75% of the dwelling units shall be provided with outdoor recreational facilities available only to the residents and guests of the development.

Private Exterior Open Space Notes:
2. The open space may be located in the required front and rear yards, but shall be no closer than 9'-0" to the front property line.



MIGA
Mark Gross & Associates, Inc.
11705 Sorrento Valley Road, Suite 130
San Diego, California 92121
Tel: 619.594.1100 Fax: 619.594.1101

ZAPATA TOWNHOMES
MIRA MESA, CALIFORNIA
ZEPHYR PARTNERS
11705 Sorrento Valley Road, Suite 130
San Diego, California 92121
Tel: 619.594.1100 Fax: 619.594.1101

SITE PLAN

Owner:
Isaac Aidi
HPH - Camino Village, LP
9404 Brock Farm Road
San Diego, California 92128

Subdivider:
Brad Termini
Zephyr Partners
11705 Sorrento Valley Road, Suite 130
San Diego, California 92121
(619)594-5128 FAX: (619)594-5655

Architect:
Mark Gross & Associates, Inc.
8581 Research Drive
Irvine, California 92618
(949)587-0800 FAX: (949)587-0700

Civil Engineer:
Landmark Consulting
9505 Camarillo Avenue, Suite 200
San Diego, California 92121
(619)597-8070 FAX: (619)597-8730

Landscape Architect:
Glasgow Moody Patterson, Inc.
4125 Sorrento Valley Boulevard, Suite D
San Diego, California 92121
(619)598-5977 FAX: (619)598-9188

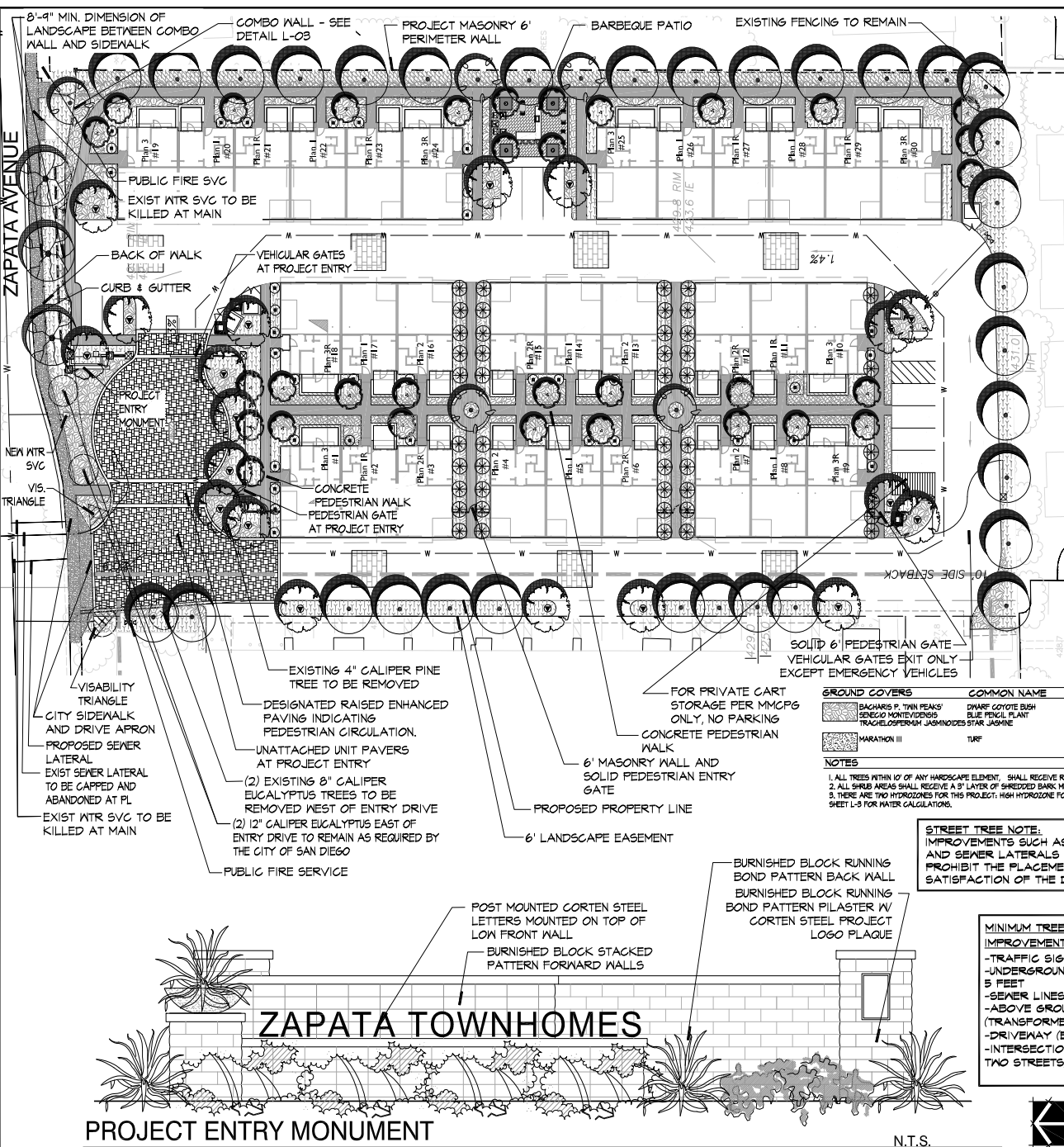
Fire Protection Note:
Parking permitted on the private street, red curb or no parking signs required on those portions needed for the protection services.

GRAPHIC SCALE
0' 10' 20' 40' 80'

SITE PLAN

1 of 17
1

CLICK HERE TO VIEW FULL LANDSCAPE PLANS



CONCEPT PLANTING LEGEND

NOTE: ALL PLANTS SHOWN ON LEGEND MAY ULTIMATELY NOT BE USED AND ADDITIONAL PLANTS MAY BE ADDED ON CONSTRUCTION DOCUMENTS.

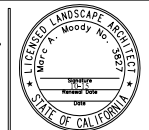
TREES	BOTANICAL NAME	COMMON NAME	FORM	FUNCTION	SIZE	WUCOLS
SYM.	ALOE HERCULES'	HERCULES ALOE	UPRIGHT, IRREGULAR (4-8' SPREAD)	ARCHITECTURAL ACCENT	24" BOX	LON
SYM.	ARBUSUS MARINA'	MARINA STRAWBERRY TREE	ROUNDED (12-18' SPREAD)	SMALL EVERGREEN SHADE COLORFUL FRUIT, DECORATIVE BARK	24" BOX	MEDIUM
SYM.	JACARANDA MIMOSIFOLIA	JACARANDA	SPREADING (16-24' SPREAD)	DECIDUOUS STREET TREE FLOWERS	24" BOX	MEDIUM
SYM.	OLEA EUROPEA SWAN HILL'	FRUITLESS OLIVE	ROUNDED (14-20' SPREAD)	EVERGREEN ACCENT FORM	36" GAL.	LON
SYM.	PITOSPORUM T. SILVER SHEEN'	SILVER SHEEN PIT	UPRIGHT, COLUMNAR (4-6' SPREAD)	ARCHITECTURAL ACCENT	15" GAL.	MEDIUM
SYM.	PODOCARPUS GRACILLIOR	FERN PINE	ROUND (20-25' SPREAD)	EVERGREEN STREET TREE	24" BOX	MEDIUM
SYM.	LOPHOSTEMON CONFERTUS	BRISBANE BOX	ROUND, OVATE (16-20' SPREAD)	EVERGREEN SCREEN TREE	24" BOX	MEDIUM

SHRUBS	BOTANICAL NAME	COMMON NAME	FORM	FUNCTION	SIZE	WUCOLS
SYM.	SMALL ANIGONANTHUS BUSH GOLD'	KANGAROO PAM	ERECT, GRASS LIKE	ACCENT SHRUB	1.6 GAL.	LON
SYM.	BOISAINVILLEA ROSENKA	ROSENKA SHRUB BOISAINVILLEA	HORIZONTAL	FLOWERING GROUNDCOVER	5.6 GAL.	LON
HEIGHT	CAREX TIMULICOLA IN WATER QUALITY BASINS AND OTHER LANDSCAPE AREAS	CALIFORNIA MEADOW SEDGE	CLUMP GRASS	WATER QUALITY MASSING	18" O.C.	MEDIUM
SYM.	FESTUCA MARIE'	ATLAS FESCUE	ERECT, GRASS	DECORATIVE MASSING	1.6 GAL.	LON
SYM.	LANTANA 'GOLD MOUND'	GOLD SPREADING LANTANA	HORIZONTAL	FLOWERING GROUNDCOVER	1.6 GAL.	LON
SYM.	LAVENDULA ANGUSTIFOLIA	ENGLISH LAVENDER	ROUNDED	ACCENT SHRUB	1.6 GAL.	LON
SYM.	MULDENBERGIA CAPILLARS	PINK MILLY	ERECT, GRASS	DECORATIVE MASSING	5.6 GAL.	MEDIUM
SYM.	SALVIA GREGGII 'HOT LIPS'	HOT LIPS SALVIA	ROUNDED	ACCENT SHRUB	1.6 GAL.	LON

SHRUBS	BOTANICAL NAME	COMMON NAME	FORM	FUNCTION	SIZE	WUCOLS	
SYM.	LARGE CISTIS PURPUREUS	ROCK ROSE	ROUNDED	ACCENT SHRUB	5.6 GAL.	LON	
SYM.	SHRUBS 4'-8'	LIGUSTRUM J. TEXANUM	TEXAS PRIVET	HEDGE	FOUNDATION SCREENING	5.6 GAL.	MEDIUM
HEIGHT	PITOSPORUM T. VARIEGATA	VARIEGATED MOCK ORANGE	ROUNDED	FOUNDATION PLANTING	5.6 GAL.	MEDIUM	
SYM.	ROSA 'ICEBERG'	ICEBERG WHITE ROSE	ROUNDED	ACCENT SHRUB	5.6 GAL.	MEDIUM	
SYM.	ROSEMARINUS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	ERECT, OVAL	FOUNDATION PLANTING	5.6 GAL.	LON	
SYM.	SALVIA LEICANTHA	SANTA BARBARA SAGE	ROUNDED	ACCENT SHRUB	5.6 GAL.	LON	
SYM.	NESTINGIA F. SMOKEY'	COAST ROSEMARY	ROUNDED, OVAL	FOUNDATION PLANTING	5.6 GAL.	LON	

SUCCULENTS	BOTANICAL NAME	COMMON NAME	FORM	FUNCTION	SIZE	WUCOLS
SYM.	AGAVES	AGAVES	ERECT	ACCENT SHRUB	5.6 GAL.	LON
SYM.	AGAVES	AGAVES	ERECT	ACCENT SHRUB	5.6 GAL.	LON
SYM.	AGAVES	AGAVES	ERECT	ACCENT SHRUB	5.6 GAL.	LON
SYM.	AGAVES	AGAVES	ERECT	ACCENT SHRUB	5.6 GAL.	LON
SYM.	AGAVES	AGAVES	ERECT	ACCENT SHRUB	5.6 GAL.	LON

VINES	BOTANICAL NAME	COMMON NAME	FORM	FUNCTION	SIZE	WUCOLS
SYM.	BOISAINVILLEA BARBARA KARST'	BOISAINVILLEA	VINE	SCREENING ACCENT	5.6 GAL.	LON
SYM.	DISTICTIS RIVERS'	VIOLET TRUMPET VINE	VINE	SCREENING ACCENT	5.6 GAL.	MEDIUM
SYM.	TRACHELOSPERUM JAGMINODES	STAR JAGMINE	VINE	SCREENING ACCENT	5.6 GAL.	MEDIUM



gmp
Landscape Architecture & Planning
www.gmplandscape.com
4125 Sorrento Valley Blvd., Suite D San Diego, California 92121
Tel: 858 558 8977
Fax: 858 558 9188

Zapata Townhomes
11345 Zapata Avenue, No. 47
SAN DIEGO, CALIFORNIA
Zephyr Partners

DATE: 2014-07-30
JOB: 13-088-00
FILE: 13-088 CONCEPT
DRAWN:
CHECKED:

GROUND COVERS

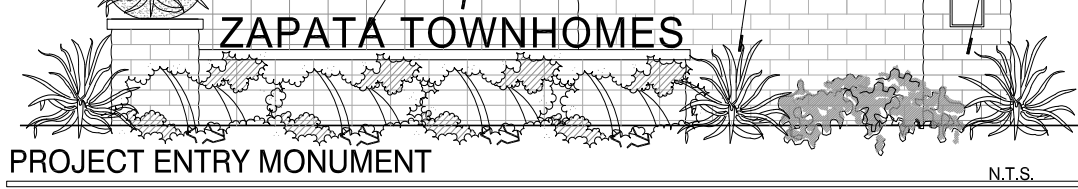
COMMON NAME	FORM	FUNCTION	SIZE	WUCOLS
BACHARIS P. TWIN PEAKS'	SPREADING GROUNDCOVER	GROUNDCOVER, EROSION CONTROL, ACCENT	FLATS 18" O.C.	LON
DEWARY COYOTE BUSH	SPREADING GROUNDCOVER	GROUNDCOVER, EROSION CONTROL, ACCENT	FLATS 18" O.C.	LON
TRACHELOSPERUM JAGMINODES	SPREADING GROUNDCOVER	GROUNDCOVER, EROSION CONTROL, ACCENT	FLATS 18" O.C.	LON
MARATHON III	TURF	MULTI-USE TURF	500	HIGH

- NOTES**
- ALL TREES WITHIN 10' OF ANY HARDSCAPE ELEMENT SHALL RECEIVE ROOT BARRIERS.
 - ALL SHRUB AREAS SHALL RECEIVE A 3" LAYER OF SHREDED BARK MULCH.
 - THERE ARE TWO HYDROZONES FOR THIS PROJECT: HIGH HYDROZONE FOR TURF AREAS, AND MEDIUM HYDROZONE FOR SHRUB AREAS. SEE SHEET L-3 FOR WATER CALCULATIONS.

STREET TREE NOTE:
IMPROVEMENTS SUCH AS DRIVEWAYS, UTILITIES, DRAINS, AND WATER AND SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES, ALL TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT

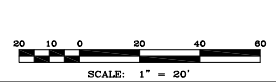
MINIMUM TREE SEPARATION DISTANCE (SECTION 142-04E) [IMPROVEMENT] MINIMUM DISTANCE TO STREET TREE

- TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
- UNDERGROUND UTILITIES INCLUDING WATER LINES - 5 FEET
- SEWER LINES - 10 FEET
- ABOVE GROUND UTILITY STRUCTURES - 10 FEET (TRANSFORMERS, HYDRANTS, UTILITY POLES ETC.)
- DRIVEWAY (ENTRIES) - 10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET



PROJECT ENTRY MONUMENT

N.T.S.



SITE/PROJECT DATA:

DESIGN TEAM:
LANDMARK CONSULTING
MARK BREWSTER (658) 587-8750
MARK GROSS & ASSOC. ARCHITECTS (503) 245-7100
LANDSCAPE ARCHITECT: GILLESPIE MOODY PATTERSON, INC. (658) 558-8977

ARCHITECT: MARK GROSS & ASSOC. ARCHITECTS (503) 245-7100
LANDSCAPE ARCHITECT: GILLESPIE MOODY PATTERSON, INC. (658) 558-8977

LEGAL DESCRIPTION:
LOT 1 OF MIRA MESA PLAZA UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7421, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 6, 1972.

ASSASSOR'S PARCEL NUMBERS: 309-260-01

PREPARED BY: GILLESPIE MOODY PATTERSON, INC. (658) 558-8977

PROJECT ADDRESS: 11345 ZAPATA AVE, NO. 47
SAN DIEGO, CALIFORNIA

PROJECT NUMBER: 340829

SHEET TITLE: LANDSCAPE CONCEPT PLAN

DATE: 2014-07-30

JOB: 13-088-00

FILE: 13-088 CONCEPT

DRAWN:

CHECKED:

SUBDIVIDER: BRAD TERMINI
ZEPHYR PARTNERS-REAL ESTATE, LLC
11750 SORRENTO VALLEY ROAD, SUITE 130
SAN DIEGO, CA 92121
858 705 0242

OWNER: ISAC ABID
HPI-CAMINO VILLAGE, LP
9484 BLACK MOUNTAIN ROAD
SAN DIEGO, CA 92126

SITE AND PROPOSED BUILDING DATA:
1. GROSS PROJECT AREA: 1.66 ACRES
NET PROJECT AREA: 1.66 ACRES
2. PROPOSED UNITS: 30 CONDOMINIUM UNITS
3. PROPOSED LOTS: 2
4. NET DENSITY: ALLOWED: 1/1500 SQ FT (51 DU)
PROPOSED: 1/2508 SQ FT (30 DU)

PROJECT ASSOCIATION:
TENTATIVE MAP TO SUBDIVIDE 1 EXISTING LOT TO 2 LOTS, EASTERN LOT PROPOSES 30 CONDOMINIUM UNITS, WHILE THE WESTERN LOT WILL REMAIN AS EXISTING CONDITION.

REVISIONS:

Revision 1:	03/03/14
Revision 2:	04/07/14
Revision 3:	04/30/14
Revision 4:	05/21/14
Revision 5:	06/16/14
Original Date:	10/31/13

Sheet **L-01** of **21**

DEP

PLOT DATE 03-03-14

AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

- HOME
- EXECUTIVE SUMMARY
- AERIALS/ MAPS
- PROPERTY INFO
- PHOTOS
- SITE PLAN
- TM/GRADING PLAN
- LANDSCAPE PLAN MAP
- COST ESTIMATES
- ELEVATIONS/ FLOOR PLANS
- COMPS/ MARKET INFO

COST ESTIMATES

Project Name Mira Mesa
Number of Units 30

Budget

Existing Condition Information		
00 31 19	Acoustic Study	5,000
00 31 20	Traffic Study	
Existing Condition Total		5,000

Survey Information		
00 31 24	Phase 1 Environmental Assessment	-
00 31 25	Environmental Impact Report Evaluation	
00 31 27	Environmental Impact Mitigation Report	
00 31 26	Existing Hazardous Material Information	
00 31 32	Geotechnical Data	
Survey Total		-

*Completed

Fees and Permits		
00 31 33	Building Permit	51,421
00 31 34	Building Plan Check Fees	51,421
00 31 35	Park Fee	
00 31 36	Traffic Impact Fee	75,690
00 31 37	Sewer Water Connection Fee	189,314
00 31 38	Water Meter Fee	140,430
00 31 39	School Fees	179,627
00 31 40	Public Facilities Fee	611,100
00 31 41	Fire Protection Fee	
00 31 42	Drainage Fee	8,670
00 31 43	Permit Application (Grading and Site Development)	-
00 31 44	Plan Check Fees (Grading and site Development)	-
00 31 46	Permits (Demo, Grading, and Site Development)	
00 31 47	Traffic Control Permits	
00 31 48	Final Map and Associated Fees	-
00 31 49	Tentative Map & Associated Fees	-
00 31 50	Inclusionary Housing fee	456,018
00 31 51	Environmental Fee	
00 31 52	Inclusionary Housing Fee	
00 31 53	SWPPP Fees	
00 31 54	Utility Deposits	
00 31 55	Temp Water Meter Deposit	
00 31 56	Water District Fees (incl. plan check)	
00 31 99	Contingency	
Fees and Permits Total		1,763,691

*Completed

*Completed

*Completed

*Completed

\$58,789 per unit

AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

- HOME
- EXECUTIVE SUMMARY
- AERIALS/ MAPS
- PROPERTY INFO
- PHOTOS
- SITE PLAN
- TM/GRADING PLAN
- LANDSCAPE PLAN MAP
- COST ESTIMATES
- ELEVATIONS/ FLOOR PLANS
- COMPS/ MARKET INFO

COST ESTIMATES

Bonds		
00 61 13	Performance and Payment Bond Premiums	
00 61 28	Improvement Bonds and Agreements and Fees	
00 61 30	Grading Bonds and Agreements and Fees	
00 61 32	Property Tax Bonds	
00 61 34	DRE Bonds, Public Report, Etc	
00 61 35	Bond Collateral - Reimbursement	
00 61 36	Miscellaneous	
Bonds Total		-

Architecture and Engineering			
00 80 01	Architect	-	*Completed
00 80 02	Title 24	-	*Completed
00 80 03	Structural		
00 80 04	Mechanical & Plumbing Engineer	-	*Completed
00 80 05	Construction Management Consultant		
00 80 10	Landscape Architecture (On and Off-Site)	35,000	
00 80 11	Soils/Geotechnical Engineering - Field Observation	45,000	
00 80 12	Miscellaneous Geotechnical		
00 80 13	Environmental Consultant	-	*Completed
00 80 14	Utility Consultant	5,000	
00 80 15	Civil Engineering Design	-	*Completed
00 80 16	Civil Engineering Staking and Surveying	50,000	
00 80 17	Civil Engineering Utility Design		
00 80 20	Civil Engineering Water Quality & Hydro Mod		
00 80 23	Civil Engineering Final Map Design		
00 80 26	Civil Engineering Estimates		
00 80 27	Civil Engineering As built		
00 80 28	Civil Engineering Monumentation		
00 80 29	Street Names and Address Assignments		
00 80 30	Reimbursables, Blueprints, mileage	7,500	
00 80 31	Colorist		
00 80 32	Waterproofing Inspections		
00 80 33	Acoustical Consultant		
00 80 34	Fire Protection Plan		
00 80 35	Environmental/Biologist		
00 80 36	Archeological Consultant		
00 80 37	Special Inspections		
00 80 38	Design Consultant		
00 80 99	Contingency	14,250	
Architecture and Engineering Total		156,750	

\$5,225 per unit



COMMERCIAL REAL ESTATE SERVICES
1900 Wright Place, Suite 200 | Carlsbad, CA 92008
T: 760.929.9700 | F: 760.929.9977

MATT WEAVER
mweaver@lee-associates.com
(760) 448-2458
CalBRE Lic# 01367183

AL APUZZO
apuzzo@lee-associates.com
(760) 448-2442
CalBRE Lic# 01323215

PATRICK MILLER, CCIM
pmiller@lee-associates.com
(760) 929-9700
CalBRE Lic# 00296599

AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

- [HOME](#)
- [EXECUTIVE SUMMARY](#)
- [AERIALS/ MAPS](#)
- [PROPERTY INFO](#)
- [PHOTOS](#)
- [SITE PLAN](#)
- [TM/GRADING PLAN](#)
- [LANDSCAPE PLAN MAP](#)
- [COST ESTIMATES](#)
- [ELEVATIONS/ FLOOR PLANS](#)
- [COMPS/ MARKET INFO](#)

COST ESTIMATES

33 05 16	Utility Structures	
33 10 00	Water Utilities	114,656
33 12 33	Water Distribution System	
33 12 34	Disinfection Water Systems	
33 30 00	Sanitary Sewerage Utilities	74,140
33 40 00	Storm Drainage Utilities	62,070
33 42 16	Concrete Culverts	
33 44 12	Catchbasins	
33 44 16	Utility Trench Drains	
33 44 19	Utility Storm Water Treatment	
33 45 00	Storm Utility Drainage Pumps	
33 46 00	Subdrainage	
33 51 13	Natural-Gas Piping	
33 51 33	Natural-Gas Metering	
33 51 34	Facility Fire Hydrants	
33 51 35	Fire-Department Connections	
33 51 36	Fire-Suppression Systems	
Electrical Utilities		
33 71 00	Dry Utilites	65,476
33 71 13	Electrical Utility Towers	
33 71 16	Electrical Utility Poles	
33 71 73	Electric Meters	
33 71 74	Utility Conversion	
33 71 75	Utility Deposits	
33 71 76	Utility Reimbursements	
33 72 00	Utility Substations	
33 73 00	Utility Transformers	
33 82 00	Communications Distribution	
Roadway Signaling and Control Equipment		
34 41 13	Traffic Signals/Street Lights	
34 41 14	Wheelstops and speed bumps	
34 41 25	Street Signs	
34 41 26	Stripping	3,000
34 41 27	Mail Boxes	2,400
34 41 99	Contingency	43,720
Site Construction Total		918,122

[CLICK HERE TO VIEW ALL COSTS](#)

\$30,604 per unit



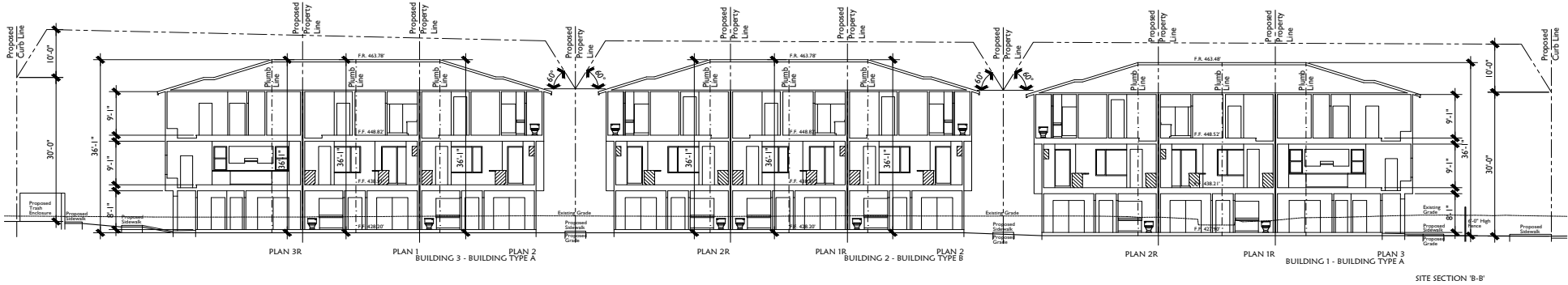
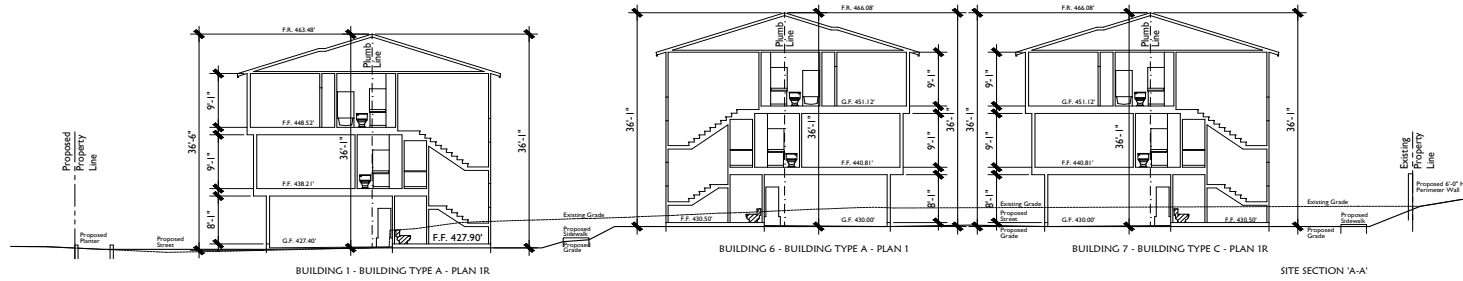
COMMERCIAL REAL ESTATE SERVICES
1900 Wright Place, Suite 200 | Carlsbad, CA 92008
T: 760.929.9700 | F: 760.929.9977

MATT WEAVER
mweaver@lee-associates.com
(760) 448-2458
CalBRE Lic# 01367183

AL APUZZO
apuzzo@lee-associates.com
(760) 448-2442
CalBRE Lic# 01323215

PATRICK MILLER, CCIM
pmiller@lee-associates.com
(760) 929-9700
CalBRE Lic# 00296599

CLICK HERE TO VIEW ALL ELEVATIONS & FLOOR PLANS



GRAPHIC SCALE



Site Design Team	Client	Site And Program Building Team
Design Team: Zahir Partners/Archi Estate, LLC 955706242 Civil Engineer: Leonard Consulting Mark Francis 9550584877 Architect: Mark Gross & Associates, Inc. 9550584877 Landscape: Mark Gross & Associates, Inc. 9550584877 Land Designer: Mark Gross & Associates, Inc. 9550584877	Name: Mark Gross & Associates, Inc. Address: 8885 Serrano Drive Suite 200 San Diego, California 92128 Phone No: 619-594-0200 Email: info@markgross.com Website: www.markgross.com Project: 1242 Janda Avenue San Diego, CA 92128 Date: 10/26/2018	Design Team: Zahir Partners/Archi Estate, LLC 955706242 Civil Engineer: Leonard Consulting Mark Francis 9550584877 Architect: Mark Gross & Associates, Inc. 9550584877 Landscape: Mark Gross & Associates, Inc. 9550584877 Land Designer: Mark Gross & Associates, Inc. 9550584877

SITE SECTIONS



Mark Gross & Associates, Inc.
 8885 Serrano Drive
 Suite 200
 San Diego, CA 92128
 Phone: 619-594-0200
 Fax: 619-594-0201
 www.markgross.com

1242 JANDA AVENUE
 MIRA MESA, CALIFORNIA
 ZAHIR PARTNERS
 ARCHITECTS

SITE SECTIONS

Section	Scale	Date
SECTION A-A	1/8" = 1'-0"	10/26/18
SECTION B-B	1/8" = 1'-0"	10/26/18



10/26/2018
 2 of 17
 2



PLAN 2

PLAN 1

PLAN 3R

REAR ELEVATION

Scheme 1



PLAN 3R

LEFT ELEVATION

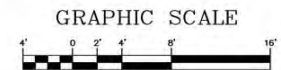


PLAN 3R

PLAN 1

PLAN 2

FRONT ELEVATION



Marty Gross & Associates, Inc.
 1800 Avenida de los Colinas, Suite 100
 Fort Lauderdale, FL 33305
 (954) 341-3300 Fax (954) 341-3700
 Copyright © Marty Gross & Associates, Inc.
 All rights reserved.

BUILDING 6- FLOOR PLANS

Zephyr Partners
 Mira Mesa



PLAN 2

PLAN 1

PLAN 3R

REAR ELEVATION

Scheme 2



PLAN 3R

LEFT ELEVATION

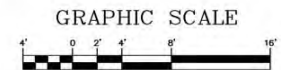


PLAN 3R

PLAN 1

PLAN 2

FRONT ELEVATION



Marty Gross & Associates, Inc.
 1805 Avenida de los Colinas, Suite 200
 Fort Lauderdale, FL 33305
 (954) 371-3300 Fax (954) 371-3700
 Copyright © MGA, 2012. All rights reserved.

BUILDING 6- FLOOR PLANS

Zephyr Partners
 Mira Mesa



PLAN 2

PLAN 1

PLAN 3R

REAR ELEVATION

Scheme 3



PLAN 3R

LEFT ELEVATION

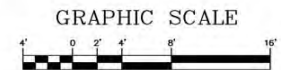


PLAN 3R

PLAN 1

PLAN 2

FRONT ELEVATION



Marky Gross & Associates, Inc.
 1805 Avenida de los Colinas, Suite 100
 Fort Lauderdale, FL 33309
 (954) 341-3300 Fax (954) 341-3700
 Copyright © MARK GROSS & ASSOCIATES, INC.
 All rights reserved.

BUILDING 6- FLOOR PLANS

Zephyr Partners
 Mira Mesa



PLAN 2

PLAN 1

PLAN 3R

REAR ELEVATION

Scheme 4



PLAN 3R

LEFT ELEVATION

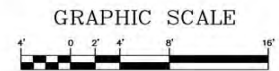


PLAN 3R

PLAN 1

PLAN 2

FRONT ELEVATION



Marky Gross & Associates, Inc.
 1805 Avenida de los Colinas, Suite 100
 Fort Lauderdale, FL 33309
 (954) 371-3300 Fax (954) 371-3700
 Copyright © MARK GROSS & ASSOCIATES, INC.
 All rights reserved.

BUILDING 6- FLOOR PLANS

Zephyr Partners
 Mira Mesa

AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

- HOME
- EXECUTIVE SUMMARY
- AERIALS/ MAPS
- PROPERTY INFO
- PHOTOS
- SITE PLAN
- TM/GRADING PLAN
- LANDSCAPE PLAN MAP
- COST ESTIMATES
- ELEVATIONS/ FLOOR PLANS
- COMPS/ MARKET INFO

As demonstrated by the following area resales, the housing stock in Mira Mesa is typically older, smaller tract homes built from 1950 through the 1980's. Some have been upgraded and updated but many have not. There have been few infill projects built over the years. The supply of attached housing is very small, outdated and unattractive to the young urban buyer.

There are no attached resale homes within the square footage of Aura to use as comparables. The condo and townhomes in the area are older and average 1,000 SF. Please see the following area resale comparables.

MIRA MESA COMPARABLE RESALES

Num	MLS #	Status	Style	FIIAdd	ZipArea	Beds	TotB	COEDate	LotSFAPx	EstSF	DOM	LP	\$/EstSF	SP	\$/EstSF
1	130042125	SOLD	TOWNH	11527 Westview Parkway	MIRA MESA (92126)	2	3	9/27/2013		1,171	18	\$375,000 - \$385,000	\$328.78	\$375,000	\$320.24
2	130046093	SOLD	TOWNH	11505 Westview Parkway	MIRA MESA (92126)	2	3	10/11/2013	196,730	1,171	20	\$389,000	\$332.19	\$389,000	\$332.19
3	130037823	SOLD	TOWNH	11653 Westview Parkway	MIRA MESA (92126)	2	3	8/26/2013	218,671	1,231	11	\$375,000 - \$395,000	\$320.88	\$400,000	\$324.94
4	130053706	SOLD	TOWNH	9519 Questa Point	MIRA MESA (92126)	2	3	11/20/2013	319,592	1,231	11	\$415,000	\$337.12	\$415,000	\$337.12
5	140007156	SOLD	TOWNH	11545 Westview Parkway	MIRA MESA (92126)	2	3	4/4/2014	196,730	1,171	42	\$408,000 - \$418,000	\$356.96	\$408,000	\$348.42
6	130060195	SOLD	TOWNH	9545 Questa Pointe	MIRA MESA (92126)	2	3	12/19/2013		1,171	6	\$399,000 - \$420,000	\$358.67	\$411,000	\$350.98
7	140011027	SOLD	TOWNH	9439 Questa Pointe	MIRA MESA (92126)	2	3	5/2/2014	319,592	1,171	9	\$405,000 - \$425,000	\$362.94	\$419,000	\$357.81
8	130045117	SOLD	TOWNH	11130 Taloncrest Way 17	MIRA MESA (92126)	2	2	11/14/2013		1,245	7	\$429,900	\$345.30	\$421,000	\$338.15
9	130043376	SOLD	TOWNH	9405 Questa Pointe	MIRA MESA (92126)	3	3	10/8/2013	45,378	1,433	8	\$435,000	\$303.56	\$441,500	\$308.09
10	130060727	SOLD	TOWNH	11645 Westview Parkway	MIRA MESA (92126)	3	3	2/14/2014		1,444	30	\$409,000 - \$439,000	\$304.02	\$440,000	\$304.71
11	140004371	SOLD	TOWNH	9511 Questa Pointe Point	MIRA MESA (92126)	3	3	4/14/2014	319,592	1,433	0	\$465,000	\$324.49	\$455,000	\$317.52
12	140021805	SOLD	TOWNH	11519 Hadar Drive	MIRA MESA (92126)	3	3	5/30/2014	38,943	1,491	10	\$425,000 - \$475,000	\$318.58	\$460,000	\$308.52
13	140027185	SOLD	TOWNH	11205 Caminito Inocenta	MIRA MESA (92126)	3	2	7/18/2014	3,210	1,706	28	\$510,000 - \$520,000	\$304.81	\$496,000	\$290.74
14	140021631	SOLD	TOWNH	8715 Westmore Road 11	MIRA MESA (92126)	4	3	6/26/2014		1,628	28	\$509,000	\$312.65	\$499,500	\$306.82
Avg						2	2		184,270	1,335	16	\$437,136	\$329.35	\$430,714	\$324.73
Min						2	2		3210	1171	0	\$385,000	\$303.56	\$375,000	\$290.74
Max						4	3		319592	1706	42	\$520,000	\$362.94	\$499,500	\$357.81
Med						2	3		196,730	1,238	11	\$427,450	\$326.64	\$420,000	\$322.59

AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

- HOME
- EXECUTIVE SUMMARY
- AERIALS/ MAPS
- PROPERTY INFO
- PHOTOS
- SITE PLAN
- TM/GRADING PLAN
- LANDSCAPE PLAN MAP
- COST ESTIMATES
- ELEVATIONS/ FLOOR PLANS
- COMPS/ MARKET INFO

There are a few newer attached properties within 5-10 miles of Aura. They all have pros and cons when compared to Aura. 3 comparable communities of note are Scripps Ranch, Sorrento Terrace and Atrium at Spectrum.

Scripps Ranch

This is a master plan community within a highly rated school district.

The units are 3 bed/3 bath, average 1,615 SF, sale price of \$524,000 or \$324 PSF.

Sorrento Ridge/Terrace

This is located in Sorrento Mesa, just west of Aura. Built by Pardee, these 113 condos were the first affordable new housing built in the area in years. They have had tremendous success and have sold out in less than 9 months.

Sorrento Ridge consists of 59 townhomes that average 1,283 SF and Sorrento Terrace consists of 71 townhomes that average 1,317 SF. Sorrento Ridge had an average sales price \$442,512 or \$336 PSF, and Sorrento Terrace had an average sales price of \$459,900, or \$306 PSF in its most recent plan types which are 1,503 SF.

Atrium at Spectrum

William Lyon opened Atrium for sale in Spectrum early this year with great success. They offer 3 plan types with larger square footage on 3 stories which are comparable to Aura. They are averaging 6 sales per month. It should be noted the project is in an industrial area and feels more urban than Aura.

ATRIUM AT SPECTRUM	Bed/Bath	Size (SF)	Price	Price/SF
Plan 1	2/2	1,166	\$392,990	\$337
Plan 2	2/2	1,339	\$437,990	\$327
Plan 4	3/3	1,884	\$463,990	\$246
Plan 5	3/3	1,969	\$523,990	\$266
Plan 6	3/3	1,995	\$562,990	\$282
Plan 7	4/3	2,410	\$599,990	\$249
AVERAGE NEW ATTACHED	3/3	1,719	\$496,990	\$284

MIRA MESA COMPARABLE RESALES

AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

HOME	EXECUTIVE SUMMARY	AERIALS/ MAPS	PROPERTY INFO	PHOTOS	SITE PLAN	TM/GRADING PLAN	LANDSCAPE PLAN MAP	COST ESTIMATES	ELEVATIONS/ FLOOR PLANS	COMPS/ MARKET INFO
------	-------------------	---------------	---------------	--------	-----------	-----------------	--------------------	----------------	-------------------------	--------------------

In addition the following is information on 2 other attached new communities in Mission Valley and Del Sur.

COMPARABLE NEW HOME COMMUNITIES

REAL ESTATE ECONOMICS
RESIDENTIAL DEVELOPMENT SUMMARY
New Housing Developments Surveyed in Select Areas of
San Diego County as of 2014 Q3 Field Audit.

Development	Builder	City	Community	SALES INFORMATION					PRICING INFORMATION				FLOOR PLAN CHARACTERISTICS						Est. Mo. Costs		
				Total Units	Units Off'd	Units Avail.	Monthly Sales Quarter	Monthly Sales Overall	List Base	Advertised Concess.	Price/ Sq. Ft.	Maximum Premiums	Size (Sq. Ft.)	BR Count	Bath Count	No. Of Levels	Garage Spaces	Min. Lot Size (Sq. Ft.)	Assoc. Dues	Tax Assess.	Mo. Pymt. (1)
Focus	Shea Homes	San Diego	Civita	76	46	3	5.14	5.05	\$517,826	\$6,000	\$362.19	\$667	1,431	3.0	2.5	2.0	2.0	1,742	\$338	\$34	\$2,864
Frame	Shea Homes	San Diego	Civita	76	39	0	5.93	4.58	\$588,846	\$6,000	\$331.68	\$0	1,781	3.0	2.5	2.5	2.0	2,500	\$338	\$39	\$3,213
Lucent	Shea Homes	San Diego	Civita	59	24	12	2.37	4.35	\$637,333	\$6,000	\$390.32	\$40,500	1,636	2.5	2.3	1.3	2.0	2,614	\$322	\$54	\$3,544
Origen Sky Loft	Shea Homes	San Diego	Civita	73	61	1	0.40	1.90	\$576,808	\$5,000	\$369.62	\$6,041	1,563	2.4	2.9	3.2	2.0	1,245	\$290	\$48	\$3,115
Origen Social Garden	Shea Homes	San Diego	Civita	127	122	3	5.53	3.77	\$555,798	\$5,000	\$341.83	\$5,616	1,651	2.8	3.3	3.2	2.0	1,245	\$283	\$46	\$3,008
Prado at Del Sur	Standard Pacific Homes	San Diego	Del Sur	63	21	4	10.55	10.55	\$711,757	\$7,500	\$325.65	\$39,333	2,200	3.7	2.8	2.0	2.0	2,700	\$199	\$445	\$4,062

In summary, as demonstrated by the short market times, limited inventory and high selling price per square foot, there is an obvious void of new housing in the central San Diego area. A compilation of the data shows buyers can expect to pay up to \$500,000, \$300 PSF, or more for a larger townhome.

MIRA MESA COMPARABLE RESALES

AURA - AN APPROVED 30 UNIT LARGE TOWNHOME SITE - MIRA MESA

IMPROVEMENT PLANS, FINAL ENGINEERING, & CONSTRUCTION DRAWINGS COMPLETED | NEAR BUILDING PERMIT

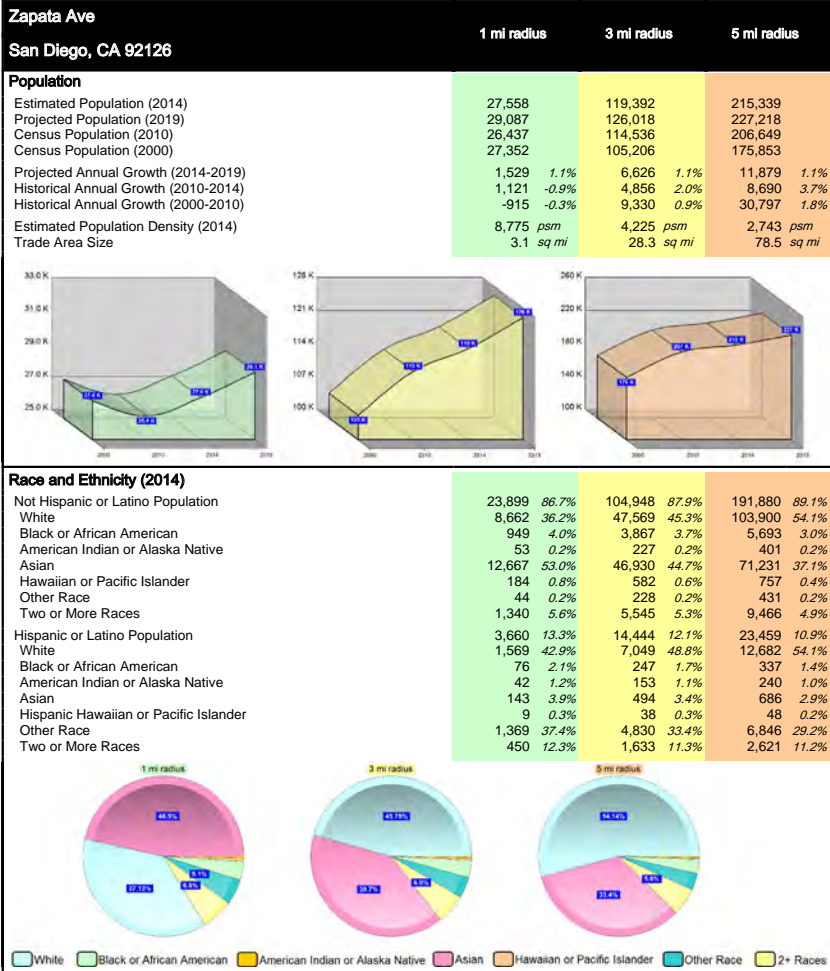
DEMOGRAPHICS REPORT

- HOME
- EXECUTIVE SUMMARY
- AERIALS/ MAPS
- PROPERTY INFO
- PHOTOS
- SITE PLAN
- TM/GRADING PLAN
- LANDSCAPE PLAN MAP
- COST ESTIMATES
- ELEVATIONS/ FLOOR PLANS
- COMPS/ MARKET INFO

GRAPHIC PROFILE

2000-2010 Census, 2014 Estimates with 2019 Projections
Calculated using Proportional Block Groups

Lat/Lon: 32.9253/-117.1461

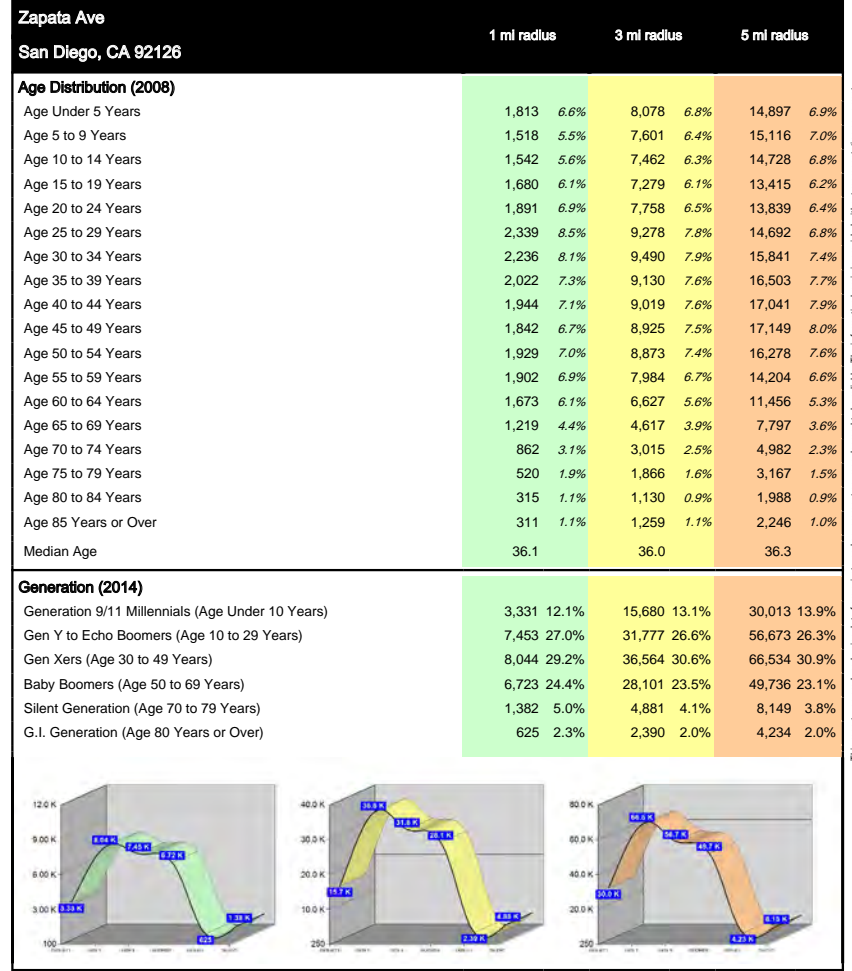


This report was produced using data from private and government sources deemed to be reliable. The information herein is provided without representation or warranty.

GRAPHIC PROFILE

2000-2010 Census, 2014 Estimates with 2019 Projections
Calculated using Proportional Block Groups

Lat/Lon: 32.9253/-117.1461



This report was produced using data from private and government sources deemed to be reliable. The information herein is provided without representation or warranty.