

6 LOT RECORDED FINAL MAP WITH CONSTRUCTION DRAWINGS

2137 WILLOWBROOK DRIVE - OCEANSIDE, CA

- **Grading can Commence upon Posting of Bonds**

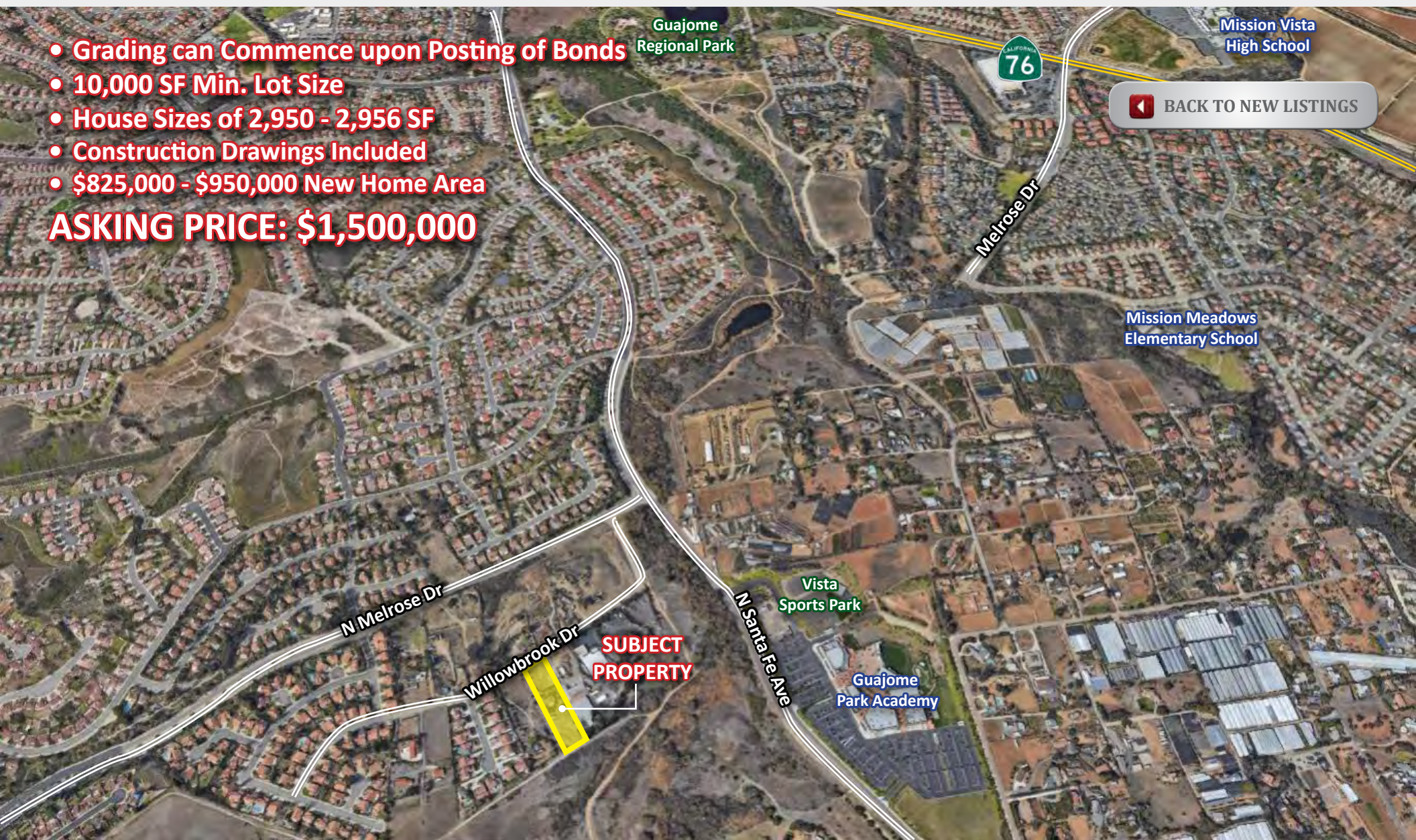
- **10,000 SF Min. Lot Size**

- **House Sizes of 2,950 - 2,956 SF**

- **Construction Drawings Included**

- **\$825,000 - \$950,000 New Home Area**

ASKING PRICE: \$1,500,000



FOR ADDITIONAL INFORMATION:

MATT WEAVER

760.448.2458

mweaver@lee-associates.com

CalBRE Lic # 01367183

LEE & ASSOCIATES

COMMERCIAL REAL ESTATE SERVICES

AL APUZZO

760.448.2442

aapuzzo@lee-associates.com

CalBRE Lic # 01323215

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No warranty or representation is made to the accuracy of the foregoing information. Terms of sale, lease and availability are subject to change or withdrawal without notice.

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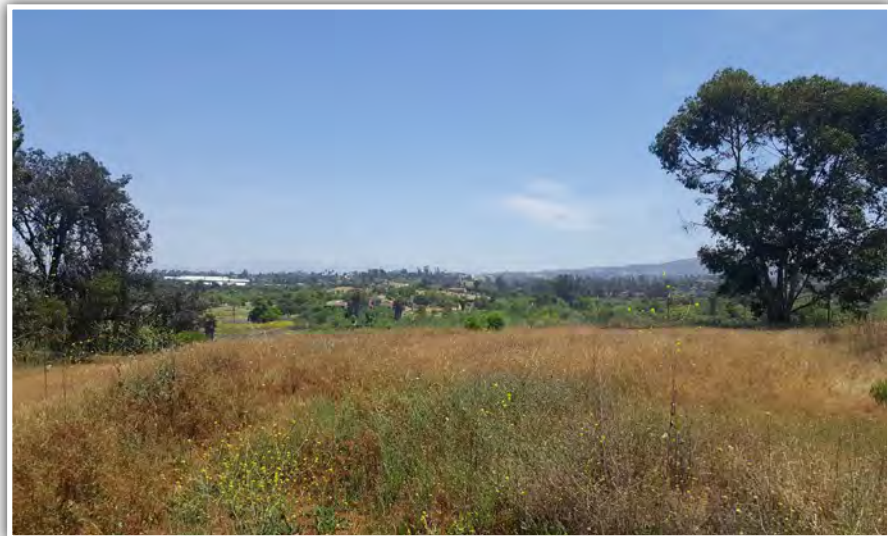
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PROPERTY PHOTOS



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PROPERTY PHOTOS



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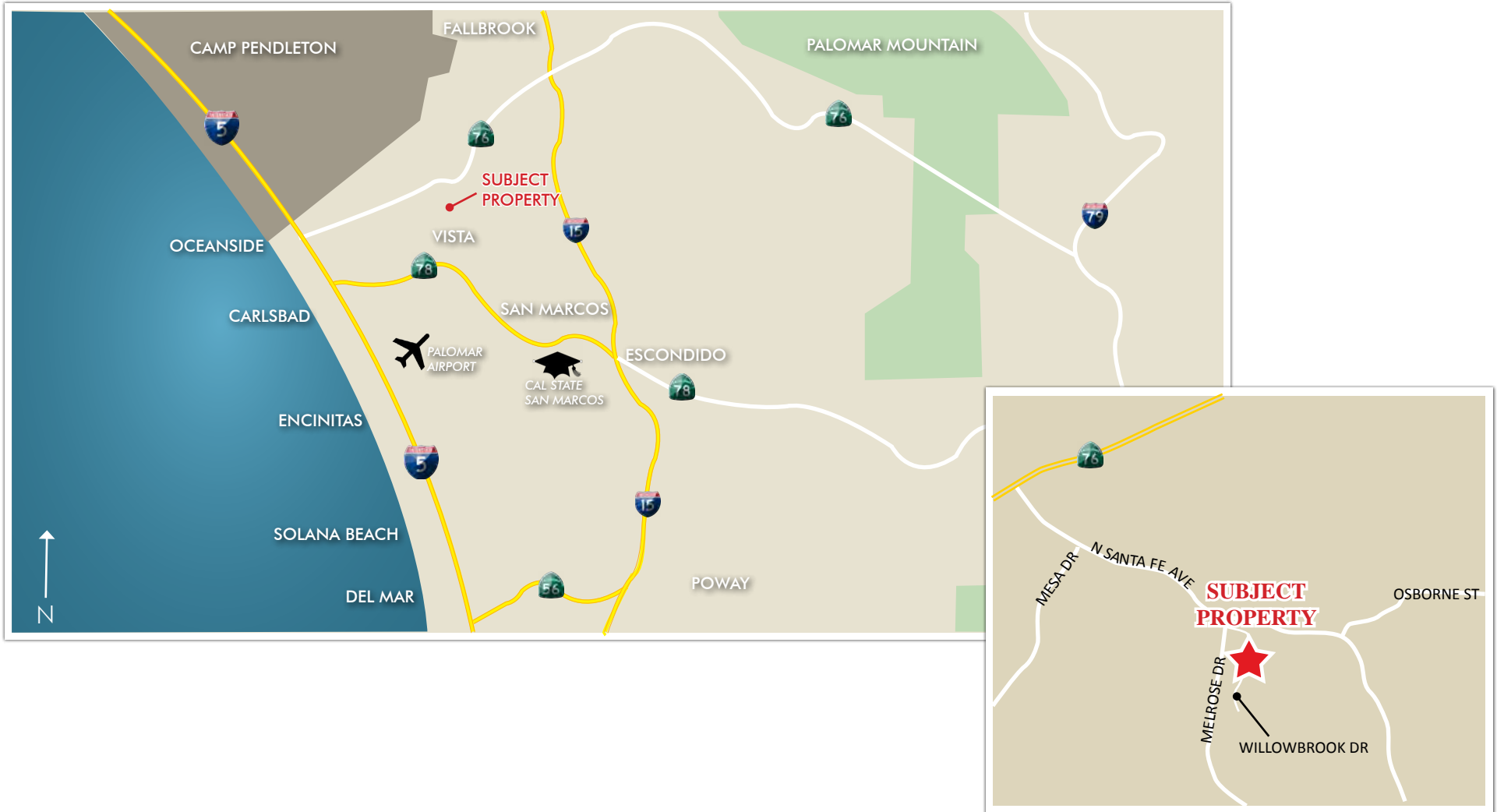


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LOCATION MAP



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6 LOT RECORDED FINAL MAP WITH CONSTRUCTION DRAWINGS

2137 WILLOWBROOK DRIVE - OCEANSIDE, CA

PROPERTY INFO

Location: Located just east of Melrose Drive and south of N. Santa Fe Avenue in Oceanside. This new cul-de-sac includes six legal parcels and a street totaling 2.16 acres. The future project will be on Shae Court.

Jurisdiction: City of Oceanside

APN #: 159-410-18 thru 24-00

Acreage: 2.6 Acres

House Floor Plans: 2,960 - 2,956 SF

Topography: Flat

Minimum Lot Size: 10,000 SF

Project Status:

- The subject property has recorded a 6 lot Final Map and the parcels are already legal and all improvement plans are complete
- Lots are approximately 10,000 SF minimum each, Lot 6 is approximately 15,000 SF
- Mike Mills is the architect
- The map is current with existing grading plan up to new SWPPP standards
- Grading can commence upon posting of the bonds and purchase of grading permits
- The existing house was built in the 60's and consists of approximately 1,354 SF according to tax records. It is in bad condition and there is a demo plan already in place
- Landscape plans are not necessary to record the final map
- There is no HOA, just a private road maintenance agreement
- There is a storm water maintenance agreement between all owners



Impact Fees: Approximately \$53,000 per lot

Site Improvement Costs: Approximately \$92,000 per lot
[Click here to view bids](#)

School District: Vista Unified School District

- Empresa Elementary - 880 API
- Roosevelt Middle School - 825 API
- Vista High School - 748 API

Services:

Water/Sewer	City of Oceanside
Gas/Electricity	SDG&E
Fire	Oceanside Fire Dept.
Police	Oceanside Police Dept.

ASKING PRICE: \$1,500,000

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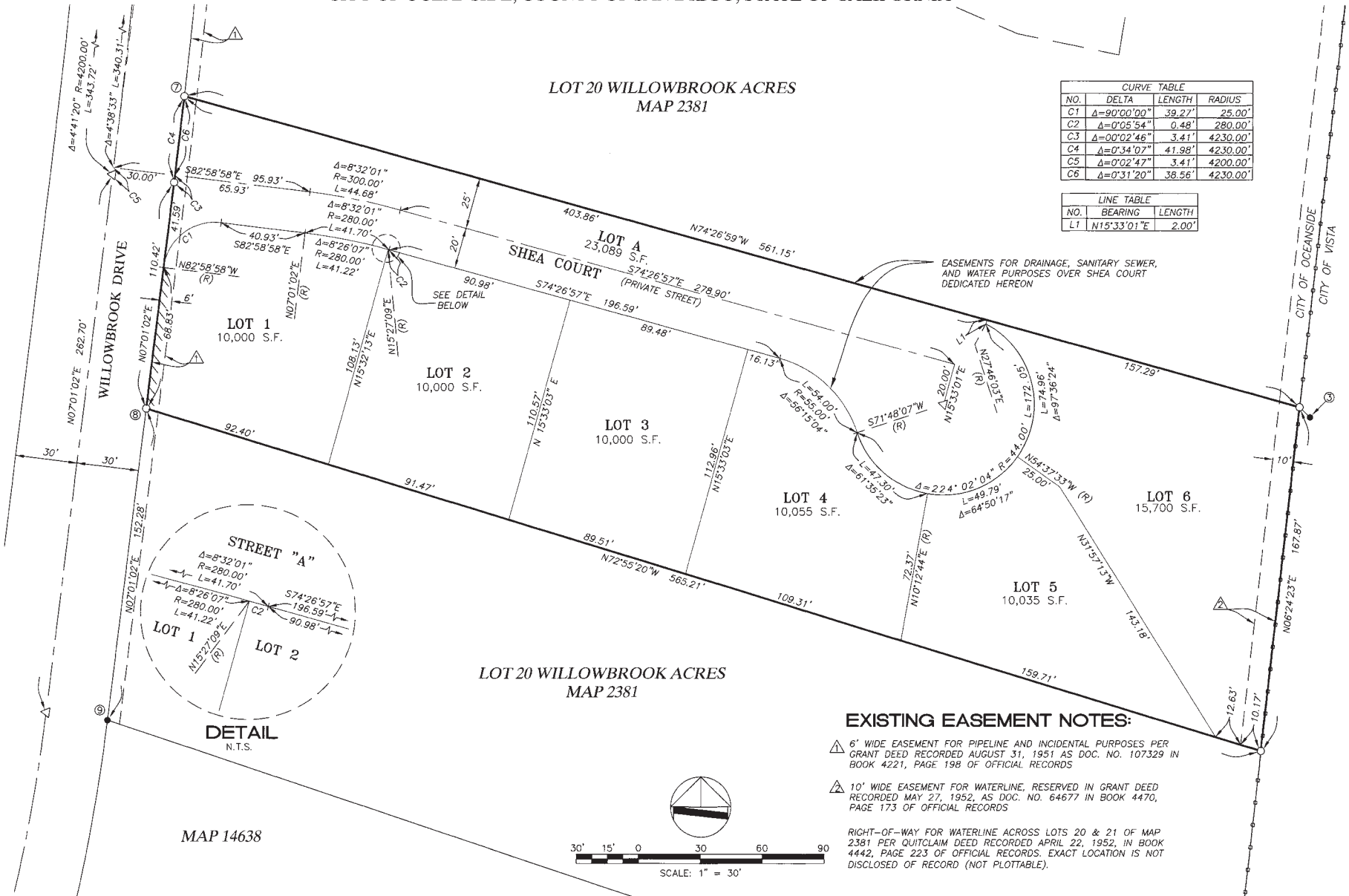
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TRACT-5-04
CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA

LOT 20 WILLOWBROOK ACRES
MAP 2381

CURVE TABLE			
NO.	DELTA	LENGTH	RADIUS
C1	$\Delta=90^{\circ}00'00''$	39.27'	25.00'
C2	$\Delta=0^{\circ}05'54''$	0.48'	280.00'
C3	$\Delta=00^{\circ}02'46''$	3.41'	4230.00'
C4	$\Delta=0^{\circ}34'07''$	41.98'	4230.00'
C5	$\Delta=0^{\circ}02'47''$	3.41'	4200.00'
C6	$\Delta=0^{\circ}31'20''$	38.56'	4230.00'

LINE TABLE		
NO.	BEARING	LENGTH
L1	$N15^{\circ}33'01''E$	2.00'



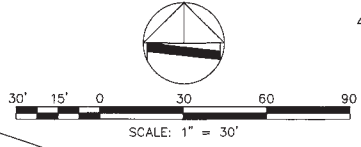
EASEMENTS FOR DRAINAGE, SANITARY SEWER, AND WATER PURPOSES OVER SHEAR COURT DEDICATED HEREON

EXISTING EASEMENT NOTES:

▲ 6' WIDE EASEMENT FOR PIPELINE AND INCIDENTAL PURPOSES PER GRANT DEED RECORDED AUGUST 31, 1951 AS DOC. NO. 107329 IN BOOK 4221, PAGE 198 OF OFFICIAL RECORDS

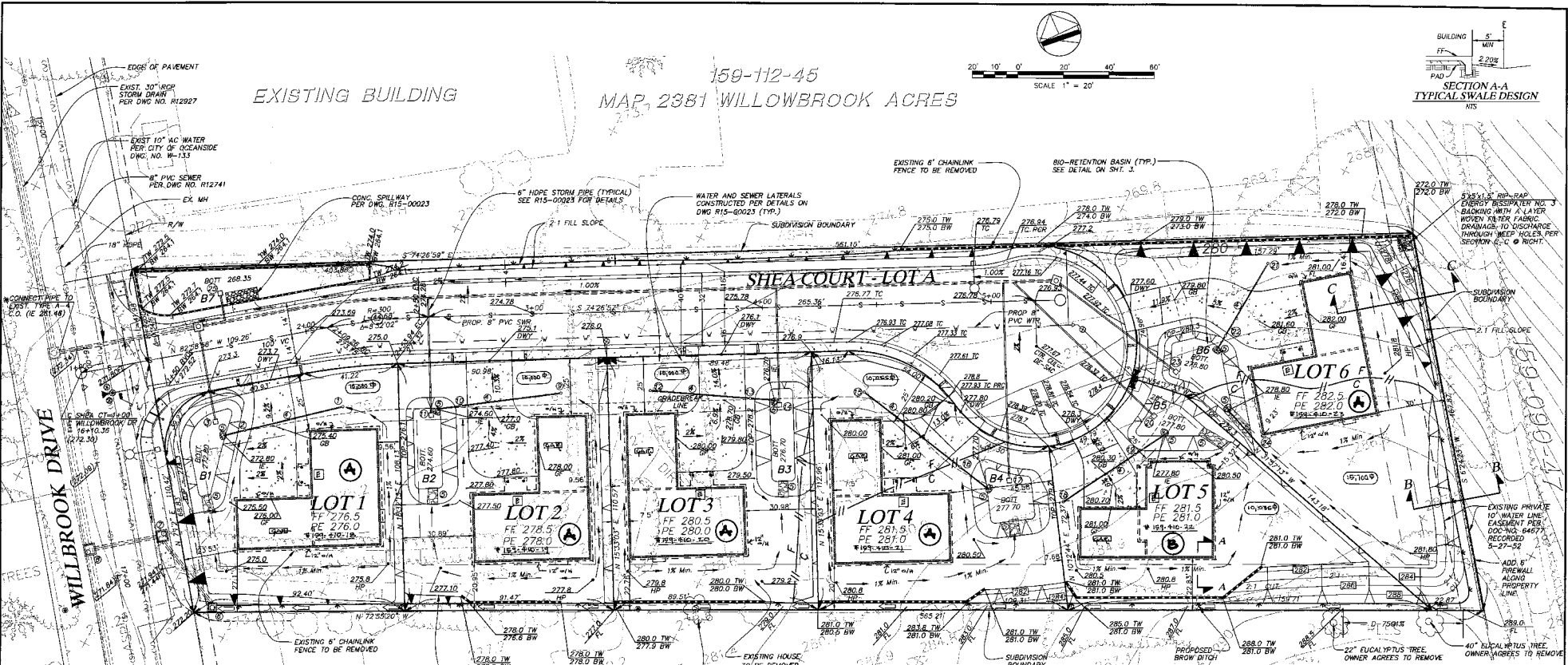
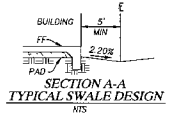
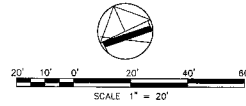
▲ 10' WIDE EASEMENT FOR WATERLINE, RESERVED IN GRANT DEED RECORDED MAY 27, 1952, AS DOC. NO. 64677 IN BOOK 4470, PAGE 173 OF OFFICIAL RECORDS

RIGHT-OF-WAY FOR WATERLINE ACROSS LOTS 20 & 21 OF MAP 2381 PER QUITCLAIM DEED RECORDED APRIL 22, 1952, IN BOOK 4442, PAGE 223 OF OFFICIAL RECORDS. EXACT LOCATION IS NOT DISCLOSED OF RECORD (NOT PLOTTABLE).



EXISTING BUILDING

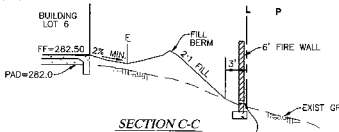
159-112-45
MAP, 2381 WILLOWBROOK ACRES



FOR WILLOWBROOK DRIVE IMPROVEMENTS SEE IMPROVEMENT DRA WING NUMBER R15-00023

159-112-12

NO.	DESCRIPTION
1	PLAN A - PLUMBING PLAN
2	PLAN B - ELECTRICAL PLAN
3	PLAN C - MECHANICAL PLAN
4	PLAN D - CIVIL PLAN
5	PLAN E - LANDSCAPE PLAN
6	PLAN F - SITE PLAN
7	PLAN G - CONSTRUCTION PLAN
8	PLAN H - UTILITIES PLAN
9	PLAN I - FENCE PLAN
10	PLAN J - SIGNAGE PLAN
11	PLAN K - IRRIGATION PLAN
12	PLAN L - PAVING PLAN
13	PLAN M - EXISTING CONDITIONS
14	PLAN N - PROPOSED CONDITIONS
15	PLAN O - FINISHED FLOOR PLAN
16	PLAN P - PROPOSED FINISHED FLOOR PLAN
17	PLAN Q - EXISTING GRADE PLAN
18	PLAN R - PROPOSED GRADE PLAN
19	PLAN S - EXISTING UTILITIES PLAN
20	PLAN T - PROPOSED UTILITIES PLAN
21	PLAN U - EXISTING FENCE PLAN
22	PLAN V - PROPOSED FENCE PLAN
23	PLAN W - EXISTING SIGNAGE PLAN
24	PLAN X - PROPOSED SIGNAGE PLAN
25	PLAN Y - EXISTING IRRIGATION PLAN
26	PLAN Z - PROPOSED IRRIGATION PLAN
27	PLAN AA - EXISTING PAVING PLAN
28	PLAN AB - PROPOSED PAVING PLAN



DATA TABLE

1	6" NDS CATCH BASIN	TO = 274.90
2	6" NDS CATCH BASIN	TO = 275.10
3	6" NDS CATCH BASIN	TO = 275.30
4	6" NDS CATCH BASIN	TO = 275.50
5	6" NDS CATCH BASIN	TO = 275.70
6	6" NDS CATCH BASIN	TO = 275.90
7	6" NDS CATCH BASIN	TO = 276.10
8	6" NDS CATCH BASIN	TO = 276.30
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16	6" NDS CATCH BASIN	TO = 277.90
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35	6" NDS CATCH BASIN	TO = 281.70
36	6" NDS CATCH BASIN	TO = 281.90
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56	6" NDS CATCH BASIN	TO = 285.90
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81	6" NDS CATCH BASIN	TO = 290.90
82	6" NDS CATCH BASIN	TO = 291.10
83	6" NDS CATCH BASIN	TO = 291.30
84	6" NDS CATCH BASIN	TO = 291.50
85	6" NDS CATCH BASIN	TO = 291.70
86	6" NDS CATCH BASIN	TO = 291.90
87	6" NDS CATCH BASIN	TO = 292.10
88	6" NDS CATCH BASIN	TO = 292.30
89	6" NDS CATCH BASIN	TO = 292.50
90	6" NDS CATCH BASIN	TO = 292.70
91	6" NDS CATCH BASIN	TO = 292.90
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95	6" NDS CATCH BASIN	TO = 293.70
96	6" NDS CATCH BASIN	TO = 293.90
97	6" NDS CATCH BASIN	TO = 294.10
98	6" NDS CATCH BASIN	TO = 294.30
99	6" NDS CATCH BASIN	TO = 294.50
100	6" NDS CATCH BASIN	TO = 294.70

FOR BFI DEVELOPMENT
3942 FORESTLY DR. SUITE 108
CARLSBAD, CALIF. 92008 FAX: 761 / 441-8446

MILLS DESIGN & CONSTRUCTION
760-559-4071
(SAN DIEGO)

bha, inc.
land planning, civil engineering, surveying
5115 AVENIDA ENCINAS
SUITE
CARLSBAD, CA 92008-4387
(760) 931-8700

THIS DRAWING PLAN IS THE PROPERTY OF BHA, INC. THE DESIGN, MATERIALS AND CONSTRUCTION SHALL BE AS SHOWN ON THIS SET OF PLANS. DATE: 10/15/10 SHEET 1 OF 2b

M

As a condition of the permit application, the following checked items will also require special inspection in accordance with Sec. 504 of the Uniform Building Code.

DATE COMPLIANCE	PERMITS TO BE ISSUED	REMARKS
CONSTRUCTION INSPECTION	X	
STRUCTURAL CONCRETE OVER 1500 PSI		
PROPOSED STEEL		
STEEL TRUSS		
STEEL TENSION RODS		
WOODING JOISTS		
WOODING BOARDING		
WALLS ON TIES		
WOODING		
WOODING		

Part 2. The 2013 California Building Code (CBC) as based on the 2012 IBC, but includes numerous State of California amendments.

Part 3. The 2013 California Residential Code (CRC) as based on the 2012 IRC, but includes numerous State of California amendments and does not include the electrical, energy, mechanical, or plumbing portions of the IRC, and instead parts 3 through 6 of the 24 as listed below apply.

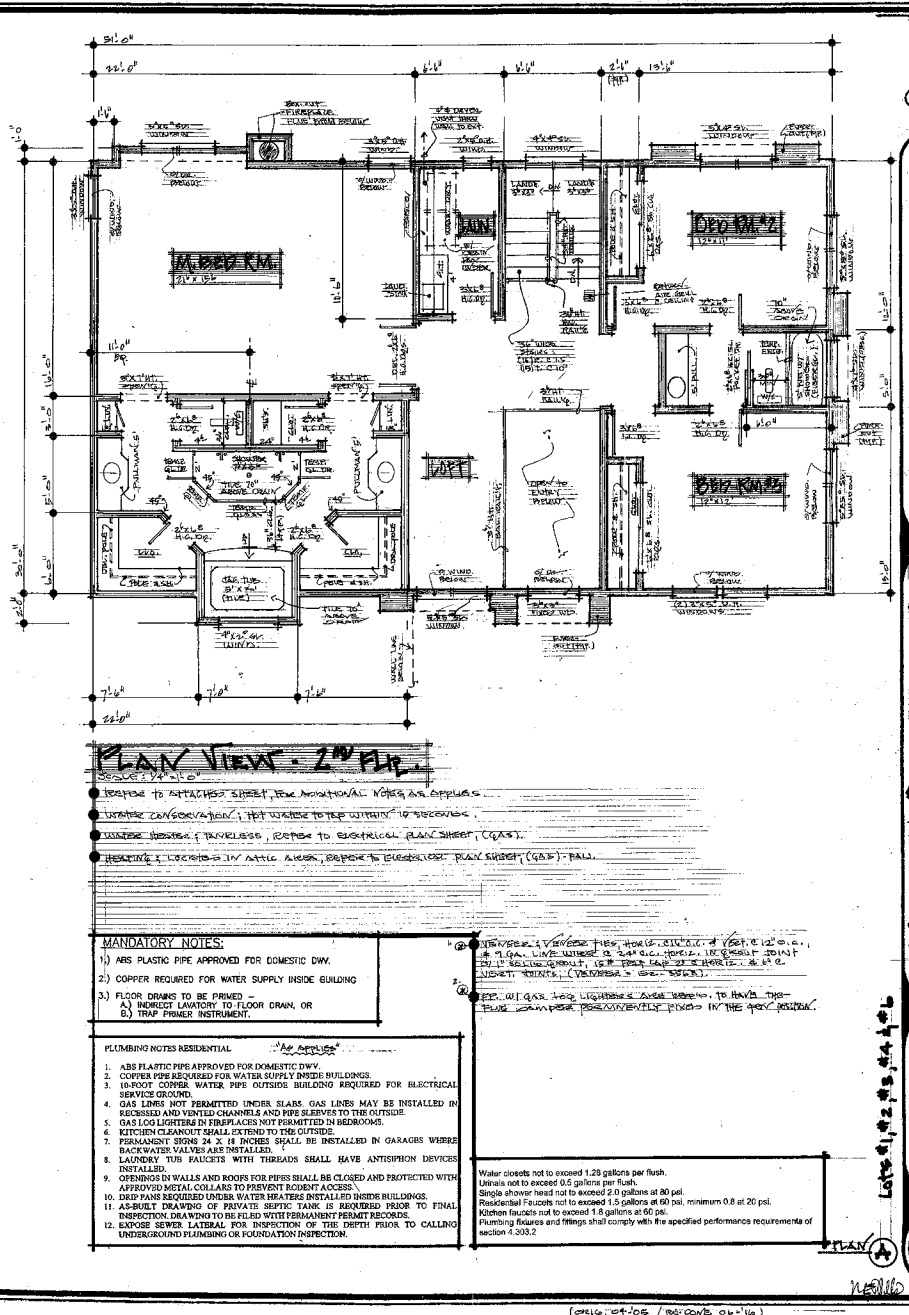
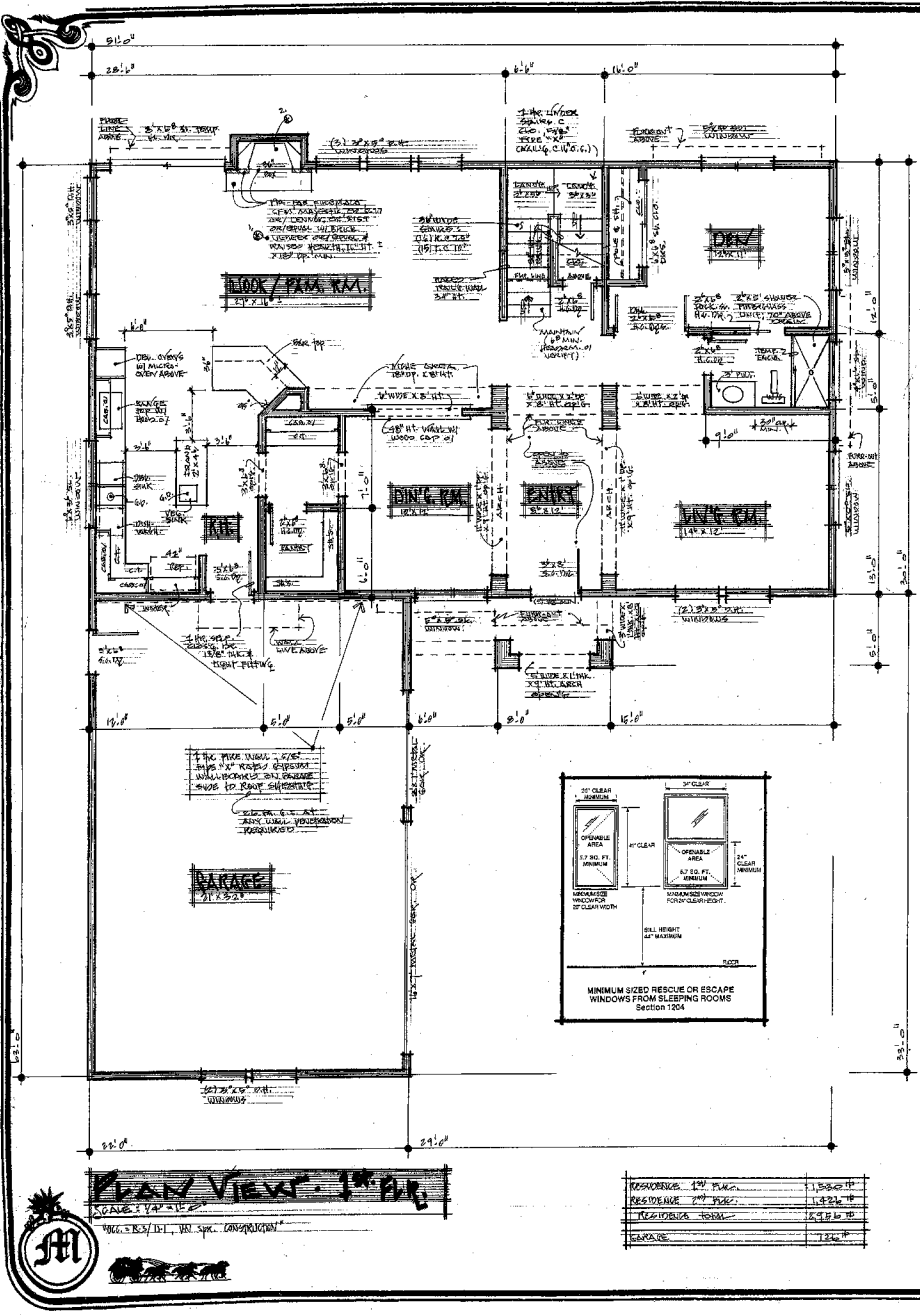
Part 4. The 2013 California Electrical Code (CEC) as based on the 2011 NEC with State of California amendments.

Part 5. The 2013 California Mechanical Code (CMC) as based on the 2012 IMC with State of California amendments.

Part 6. The 2013 California Energy Code (CEC) as based on the 2008 Building Energy Efficiency Standards, please visit the California Energy Commission website at: <http://www.energy.ca.gov/energyefficiency> where the Standards, Compliance Manuals, and additional information can be downloaded for free. The Energy Code is often mistakenly referred to as Title 24, but as seen here it is only part of Title 24.

Part 7. The 2013 California Fire Code (FC) as based on the 2012 IFCC with State of California amendments.

Part 8. The 2013 California Green Building Standards Code (CALGreen Code) This Part is known as the California Green Building Standards Code, and it is intended that it shall also be known as the CALGreen Code.



DATE: 6-2-18

DESIGN & CONSTRUCTION

MILLS

FOR: BFI DEVELOPMENT

2946 FREELY DR. SUITE 103
 CARLESTOWN, GA 30008 FAX: 770-271-8440

1st FLOOR PLANS

DATE: 6-2-18

SHEET 26 OF 26

PLAN VIEW - 2ND FLR

- REFER TO ATTACHED SHEET FOR ADDITIONAL NOTES AND SPECIFICATIONS.
- WATER CONSERVATION: HOT WATER TO BE LIMITED TO SLEEPING ROOMS.
- WATER HEATER: TRAVELERS, REFER TO ELECTRICAL PLAN SHEET (ELECT).
- HEATING: LOCATED IN ATTIC AREA, REFER TO ELECTRICAL PLAN SHEET (ELECT) - RAIL.

MANDATORY NOTES:

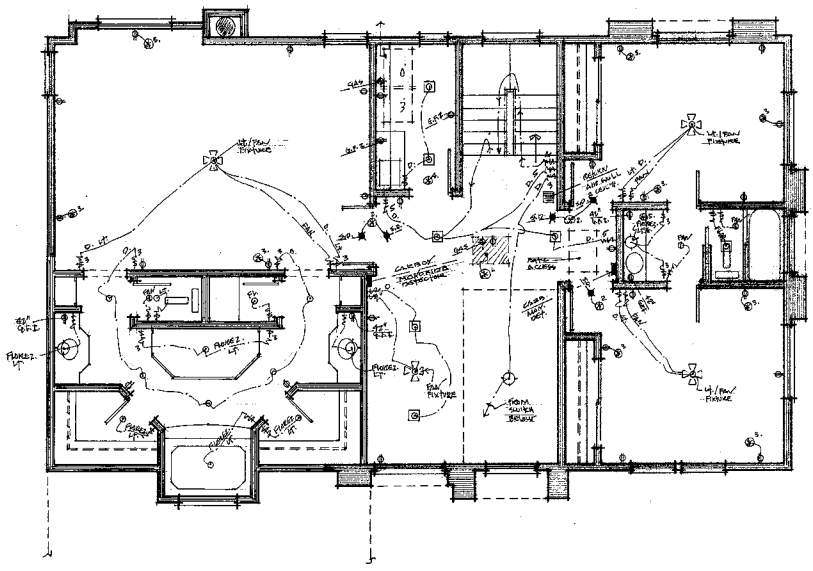
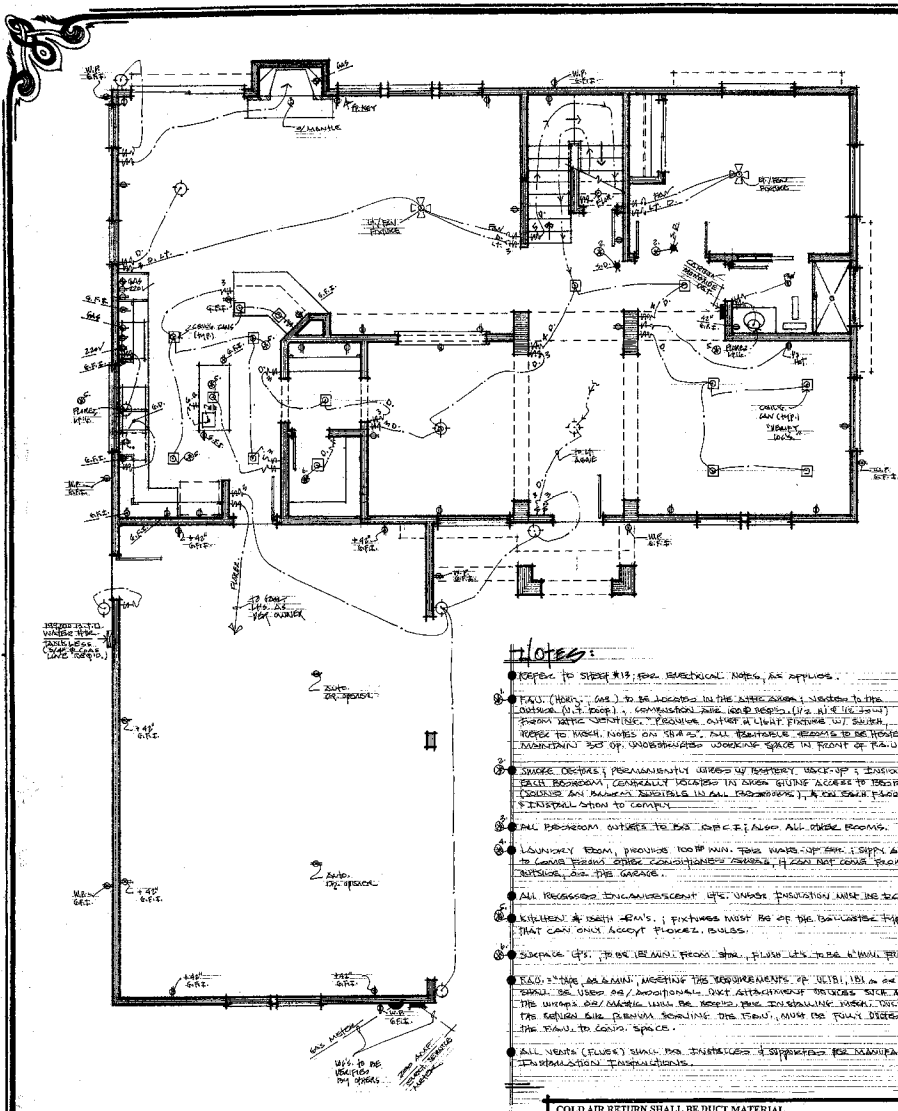
- 1) ABS PLASTIC PIPE APPROVED FOR DOMESTIC DWV.
- 2) COPPER REQUIRED FOR WATER SUPPLY INSIDE BUILDING.
- 3) FLOOR DRAINS TO BE PROVIDED -
 - A) INDIRECT LAUNDRY TO FLOOR DRAIN OR
 - B) TRAP PRIMER INSTRUMENT.

PLUMBING NOTES RESIDENTIAL

1. ABS PLASTIC PIPE APPROVED FOR DOMESTIC DWV.
2. COPPER PIPE REQUIRED FOR WATER SUPPLY INSIDE BUILDINGS.
3. (6) 1/2" COPPER WATER PIPING OUTSIDE BUILDING REQUIRED FOR ELECTRICAL SERVICE GROUND.
4. GAS LINES NOT PERMITTED UNDER SLABS. GAS LINES MAY BE INSTALLED IN RECESS AND VENTIL CHANNELS AND PIPE SLEEVES TO THE OUTSIDE.
5. GAS LOG LIGHTERS IN FIREPLACES NOT PERMITTED IN BEDROOMS.
6. KITCHEN CLEANOUT SHALL EXTEND TO THE OUTSIDE.
7. PERMANENT SIGNS 24 X 18 INCHES SHALL BE INSTALLED IN GARAGES WHERE BACKWATER VALVES ARE INSTALLED.
8. LAUNDRY TUB FAUCETS WITH THREADS SHALL HAVE ANTI-SIPHON DEVICES INSTALLED.
9. OPENINGS IN WALLS AND ROOFS FOR PIPES SHALL BE CLOSED AND PROTECTED WITH APPROVED METAL COLLARS TO PREVENT RODENT ACCESS.
10. DUMP PANS REQUIRED UNDER WATER METERS INSTALLED INSIDE BUILDINGS.
11. AS-BUILT DRAWING OF PRIVATE SEPTIC TANK IS REQUIRED PRIOR TO FINAL INSPECTION. DRAWING TO BE FILED WITH PERMANENT PERMIT RECORDS.
12. EXPOSED SEWER LATERAL FOR INSPECTION OF THE DRAIN FLOOR TO CALLING UNDERGROUND PLUMBING OR FOUNDATION INSPECTION.

Water closets not to exceed 1.29 gallons per flush.
 Urinals not to exceed 0.5 gallons per flush.
 Single shower head not to exceed 2.0 gallons at 80 psi.
 Residential Faucets not to exceed 1.5 gallons at 60 psi, minimum 0.8 at 20 psi.
 Kitchen faucets not to exceed 1.8 gallons at 60 psi.
 Plumbing fixtures and fittings shall comply with the specified performance requirements of section 4.3.3.2.





Notes:

- 1. REFER TO SHEET #19 FOR MECHANICAL NOTES, AS APPLIES.
- 2. WALL (RECYCLED) TO BE LOCATED IN THE APARTMENT UNITS IN THE INTERIOR (I.E. BATH), COMMERCIAL KITCHEN AND SERVICE (I.E. ALL RESTROOM) FROM THESE UNITS (I.E. RECEPTION, OFFICE & LIGHT FIXTURES) WITHIN ROOMS TO MATCH NOTES ON SHEET #2. ALL ELECTRICAL SYMBOLS TO BE PROVIDED. MINIMUM SET OF UNOBTAINED WORKING SPACE IN FRONT OF PANELS.
- 3. SOUND DEADENING PERMANENTLY MOUNTED BY TEMPORARY WORKTOP & BENCH OR SMALL RECEPTION, GENERALLY LOCATED IN BATH GIVING ACCESS TO RECEPTIONS. LOCATED AN APARTMENT UNIT IN ALL ROOMS (I.E. A RECYCLED PANELS). ELECTRICAL SYMBOLS TO CORRECT.
- 4. ALL BATHROOM OUTLET TO BUS (I.E. C) ALSO ALL OTHER ROOMS.
- 5. LAUNDRY ROOM, PROVIDES 100 WATT, 250 WATT, 500 WATT, 1000 WATT TO COVER BATHS OTHER ROOMS (I.E. RECYCLED) FROM THE OUTSIDE OF THE GARAGE.
- 6. ALL RECYCLED INCANDESCENT LPS UNDER INSULATION AND IN THE BATHS.
- 7. ALL RECYCLED LPS IN BATHS (I.E. RECYCLED) MUST BE OF THE DECLASSIFIED TYPE THAT CAN ONLY ACCEPT FLOUOR. BULBS.
- 8. SOUNDING LPS TO BE RECYCLED FROM THE FLOOR LPS IN THE BATH ROOMS.
- 9. RECYCLED LPS IN BATHS (I.E. RECYCLED) MUST BE OF THE DECLASSIFIED TYPE THAT CAN ONLY ACCEPT FLOUOR. BULBS. THE RECYCLED LPS IN BATHS (I.E. RECYCLED) MUST BE OF THE DECLASSIFIED TYPE THAT CAN ONLY ACCEPT FLOUOR. BULBS.
- 10. ALL WELLS (I.E. RECYCLED) SHALL BE INSTALLED & SUPPORTED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

COLD AIR RETURN SHALL BE DUCT MATERIAL
 Building cavities, support platforms for air handlers, and plenums defined or constructed with materials other than sealed sheet metal, duct board or flexible duct shall not be used for conveying conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support plenums shall not be compressed to cause reductions in the cross sectional area of the ducts.

Plan View 1st Flr

- ELECTRICAL NOTES RESIDENTIAL**
1. GFI RECEPTACLES REQUIRED
 - A. BATHROOMS
 - B. ATTACHED GARAGES AND DETACHED GARAGES WITH POWER
 - C. OUTDOORS
 - D. ACCESSIBLE CREW SPACES
 - E. UNFINISHED BASEMENTS
 - F. RECEPTACLES SERVING KITCHEN COUNTER TOPS
 - G. ONE PER SUITE
1. A 40 AMP BRANCH CIRCUIT REQUIRED FOR ELECTRIC RANGES WITH RATINGS OF 1350 WATTS.
 2. A MAXIMUM OF TWELVE (12) RECEPTACLES ON CIRCUITS SUPPLYING CORD AND PLEAS CONNECTED LOADS.
 3. BRANCH CIRCUITS REQUIRED FOR THE PURPOSE OF LIGHTING, CENTRAL ALARM, SIGNAL COMMUNICATIONS, OR OTHER NEEDS FOR PUBLIC OR COMMON AREAS OF A TWO-FAMILY OR MULTIFAMILY DWELLING SHALL NOT BE SUPPLIED FROM EQUIPMENT THAT SUPPLIES AN INDIVIDUAL DWELLING UNIT.
 4. OUTLETS FOR APPLIANCES SHALL BE INSTALLED WITHIN 6 FEET OF THE INTENDED LOCATION OF THE APPLIANCE.
 5. OUTLETS TO BE 16 TO 18 FEET MAXIMUM FROM WALL END MAXIMUM OF TWELVE (12) FEET APART. DOORWAYS AND SLIDING PORTION OF SLIDING DOOR EXCLUDED. FLOOR OUTLETS SHALL BE WITHIN 18 INCHES FROM THE WALL TO BE INCLUDED. OUTLETS LOCATED IN CARPETS OR LOCATED OVER 1/2 FT. ABOVE THE FLOOR ARE EXCLUDED.
 6. REFRIGERATION EQUIPMENT AND GARBAGE DISPOSAL SHALL BE ON SEPARATE CIRCUITS. KITCHEN OUTLETS SHALL HAVE A BALANCED LOAD.
 7. IN THE KITCHEN, ONE OUTLET REQUIRED FOR EVERY 18 INCH COUNTER SPACE OR WIDER.
 8. ISLAND COUNTER SPACES REQUIRE 1 OUTLET.
 9. OUTLETS MAXIMUM 18 INCHES ABOVE COUNTER TOP.
 10. OUTLETS SHALL NOT BE LOCATED FACE UP IN COUNTER TOPS.
 11. ONE 20 AMP GFI RECEPTACLE REQUIRED IN BATHROOMS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
 12. FRONT AND BACK OF DWELLING UNIT REQUIRES ONE OUTLET, NOT MORE THAN 6' ABOVE FINISHED GRADE.
 13. EACH HALLWAY SHALL BE PROVIDED WITH ONE OUTLET FOR EACH 16-FOOT LENGTH.
 14. ONE WALL SWITCHED OUTLET REQUIRED IN EACH HABITABLE ROOM.
 15. SWITCHED LIGHTING REQUIRED AT ENTRANCES AND EXTERIOR DOORS OF DWELLINGS (EXCLUDES VEHICLE DOOR IN GARAGE).

- 1. ALL RECYCLED LPS TO BE RECYCLED FROM THE FLOOR LPS IN THE BATH ROOMS.
- 2. RECYCLED LPS IN BATHS (I.E. RECYCLED) MUST BE OF THE DECLASSIFIED TYPE THAT CAN ONLY ACCEPT FLOUOR. BULBS.
- 3. ALL OTHER BATHROOM SPACES & HALLWAYS, PROVIDES INCANDESCENT LPS, OR INCANDESCENT FIXTURES TO BE RECYCLED FROM THE FLOOR LPS IN THE BATH ROOMS.
- 4. EXTERIOR LPS TO BE RECYCLED FROM THE FLOOR LPS IN THE BATH ROOMS.

DATE: 6/21/02

DESIGN & CONSTRUCTION

MILLS

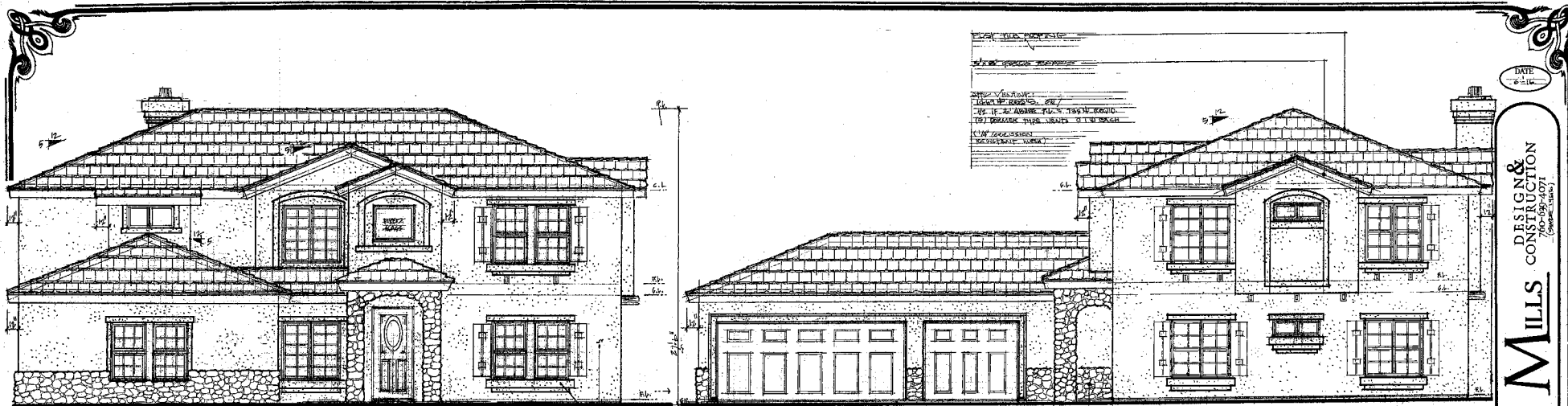
FOR: BFI DEVELOPMENT

ELECTRICAL PLANS

SHEET 20



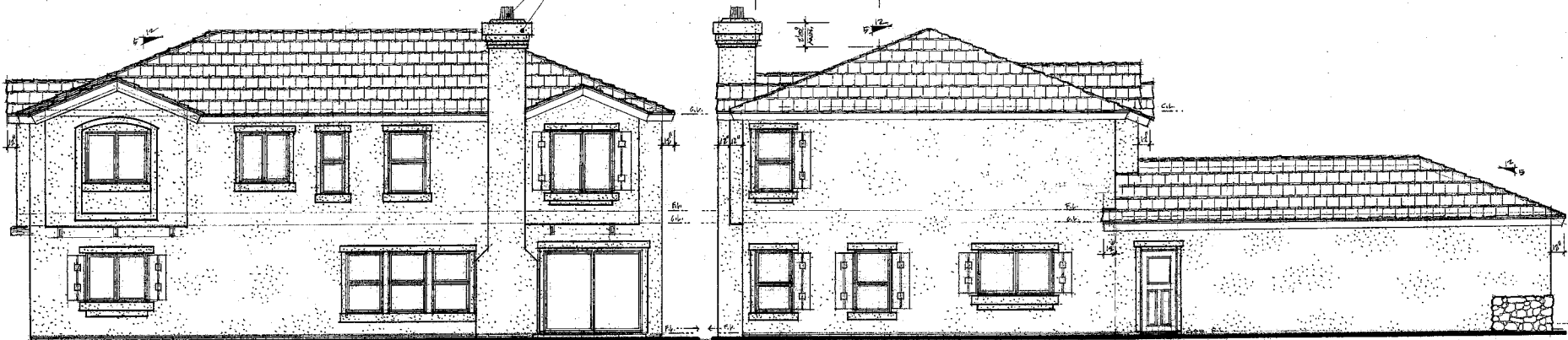
MILLS #1, #2, #3, #4, #5, #6, #7, #8, #9, #10



PROJECT: [REDACTED]
 DATE: 4-11-11
 ARCHITECT: [REDACTED]
 CLIENT: [REDACTED]
 ADDRESS: [REDACTED]
 CITY: [REDACTED]
 COUNTY: [REDACTED]
 STATE: [REDACTED]

FRONT & RIGHT SIDE ELEVATIONS

EXTERIOR FINISHES: [REDACTED]
 INTERIOR FINISHES: [REDACTED]
 ROOFING: [REDACTED]
 FOUNDATION: [REDACTED]
 MECHANICAL: [REDACTED]
 ELECTRICAL: [REDACTED]
 PLUMBING: [REDACTED]



REAR & LEFT SIDE ELEVATIONS



DATE: 4-11-11

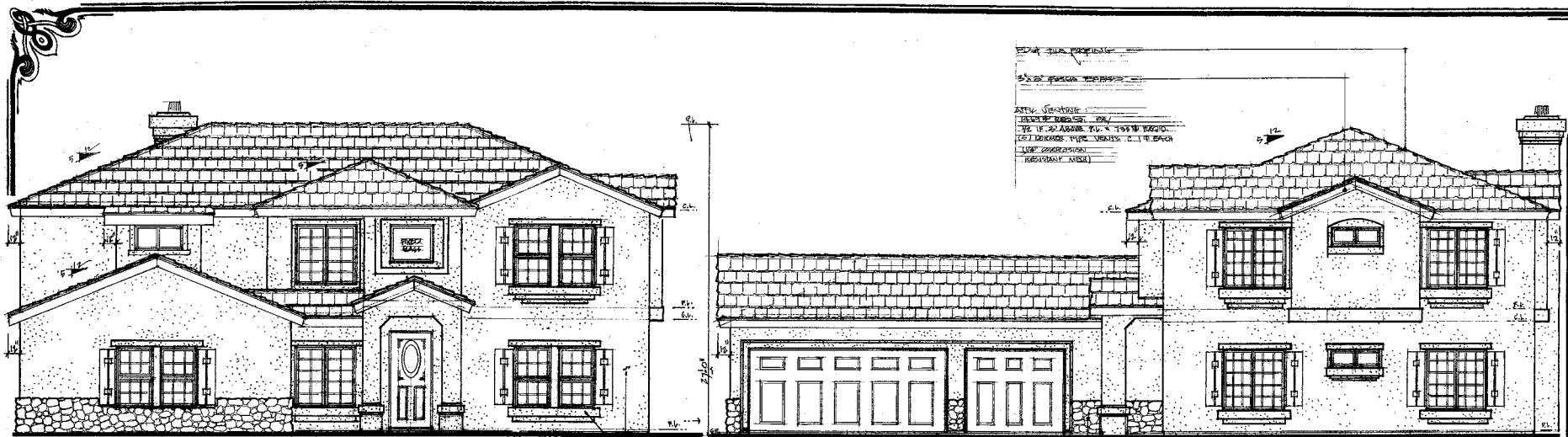
MILLS
 DESIGN & CONSTRUCTION
 1000 PINE BLVD. #100
 CARLESDALE, CALIF. 94501

FOR: BFI DEVELOPMENT
 1946 PRIESTLY DR. - SUITE 105
 CARLESDALE, CALIF. 94501

ELEVATIONS

SHEET
 OF
 26

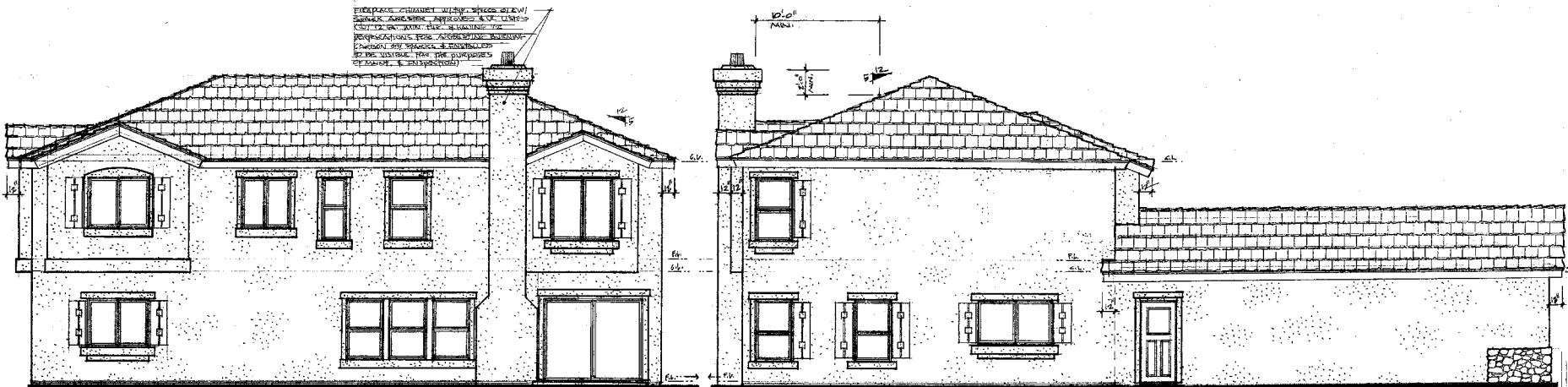
Leaf #1



FRONT & RIGHT SIDE ELEVATIONS

EXTERIOR WALLS STORAGE W/ TRUSS BRACKETS (CONC. STIFFENING) AT JOINTS

TRUSS BRACKETS TO BE SET IN 2" DEEP GROUT. BRACKETS TO BE SET IN 2" DEEP GROUT. BRACKETS TO BE SET IN 2" DEEP GROUT. BRACKETS TO BE SET IN 2" DEEP GROUT.



REAR & LEFT SIDE ELEVATIONS

ALL DIMS SHOWN EQUAL UNLESS OTHERWISE SPECIFIED. ALL DIMS SHOWN EQUAL UNLESS OTHERWISE SPECIFIED. ALL DIMS SHOWN EQUAL UNLESS OTHERWISE SPECIFIED.

DESIGN & CONSTRUCTION

MILLS

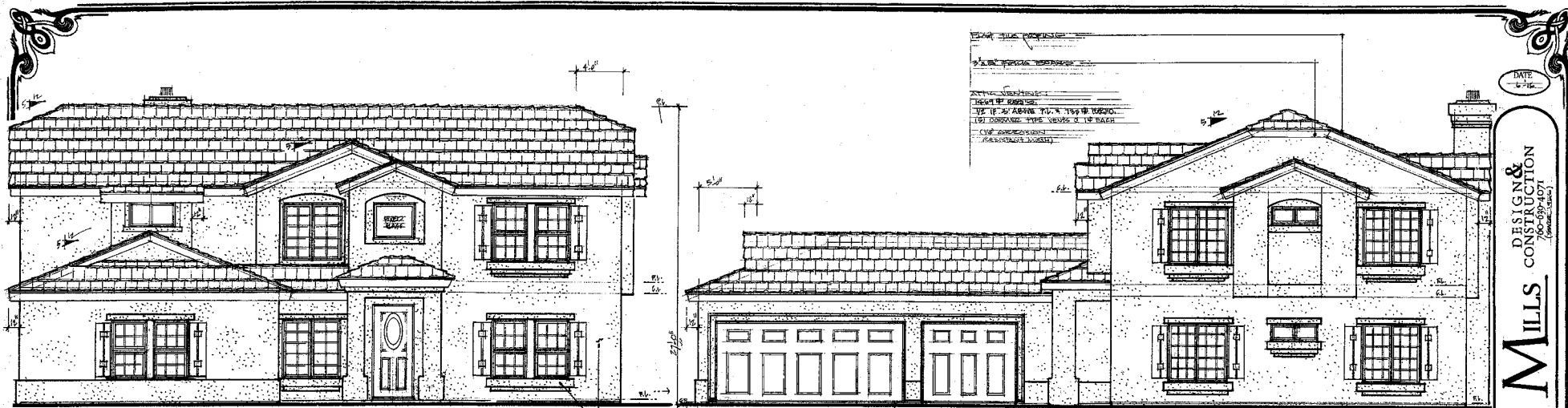
FOR: BFT DEVELOPMENT

2946 PINEHURST DR., SUITE 103
 CONCORD, CALIF. 94508 FAX: 925-201-8466

ELEVATIONS

SHEET OF 25



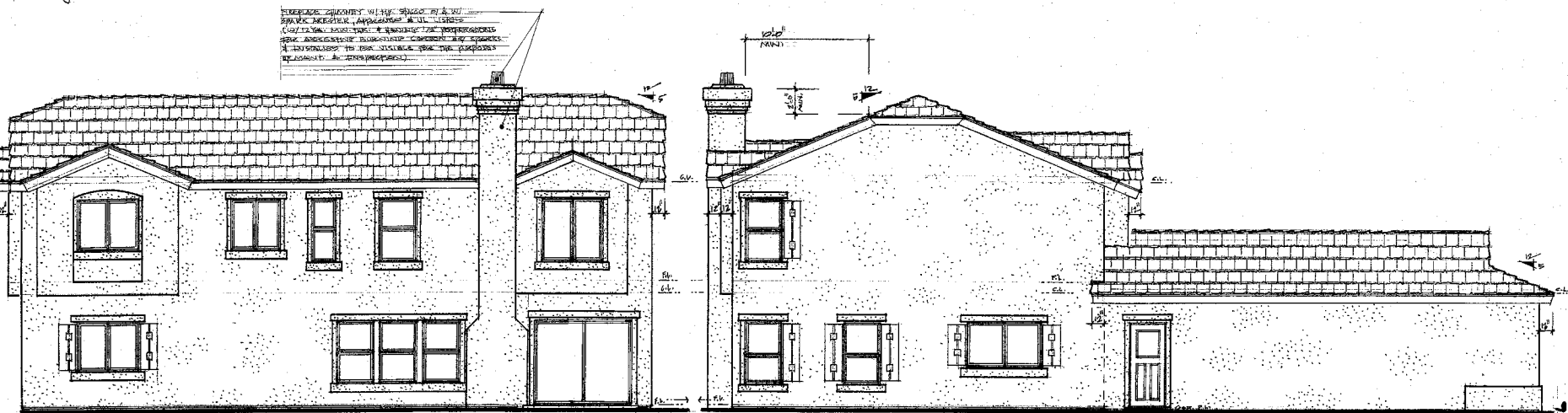


DATE: 4-14-16
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE BOOK.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.

DATE: 4-14-16
MILLS
 DESIGN & CONSTRUCTION
 700-699-4071
 (904) 444-1111

FRONT & RIGHT SIDE ELEVATIONS

EXTERIOR WALLS FINISH W/ STUCCO (SEE SPECIFICATIONS)
 INTERIOR WALLS FINISH W/ GYP. BOARD (SEE SPECIFICATIONS)
 FLOORING TO BE DETERMINED BY OWNER.
 ROOFING TO BE DETERMINED BY OWNER.
 PAINT TO BE DETERMINED BY OWNER.



STUCCO FINISH TO BE DETERMINED BY OWNER.
 INTERIOR WALLS FINISH W/ GYP. BOARD (SEE SPECIFICATIONS)
 FLOORING TO BE DETERMINED BY OWNER.
 ROOFING TO BE DETERMINED BY OWNER.
 PAINT TO BE DETERMINED BY OWNER.

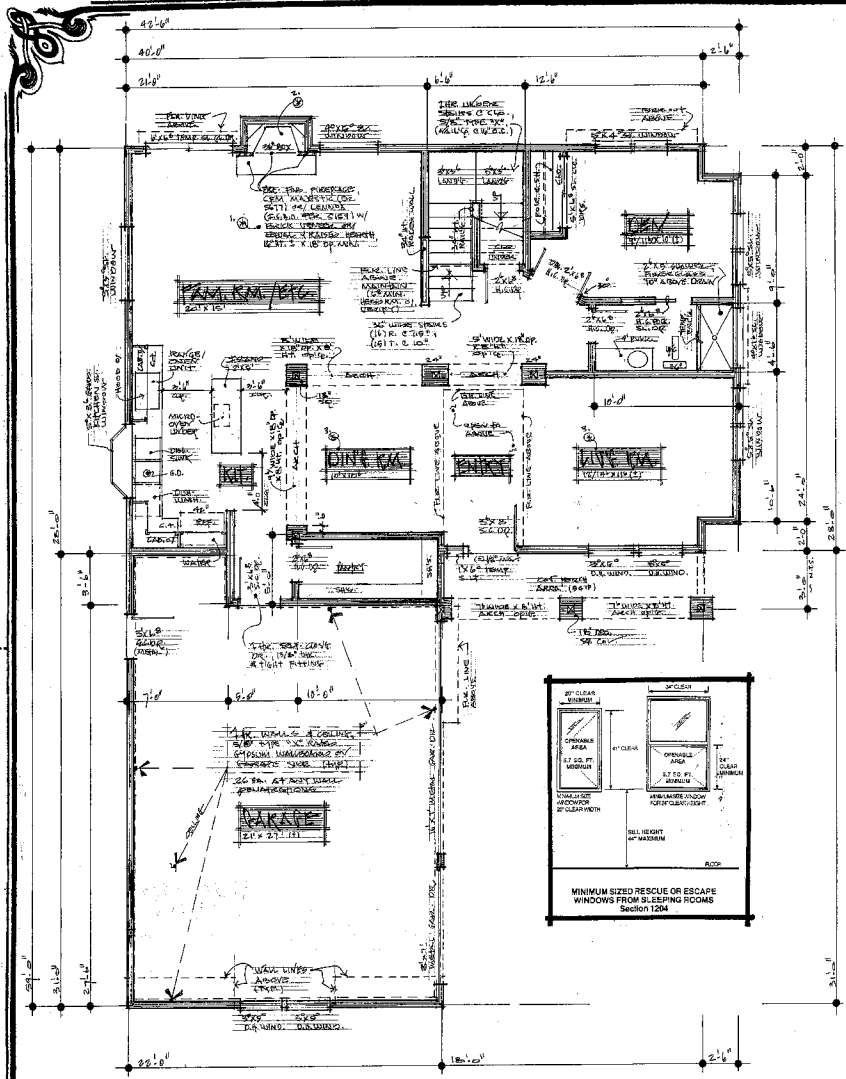
REAR & LEFT SIDE ELEVATIONS

ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE BOOK.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.

FOR: 1361 DEVELOPMENT
 5746 PINEAPPLE DR., SUITE 105
 CANTONMENT, FLORIDA 32909
 CONTACT: DAVID F. FERRARI (904) 444-1111
ELEVATIONS

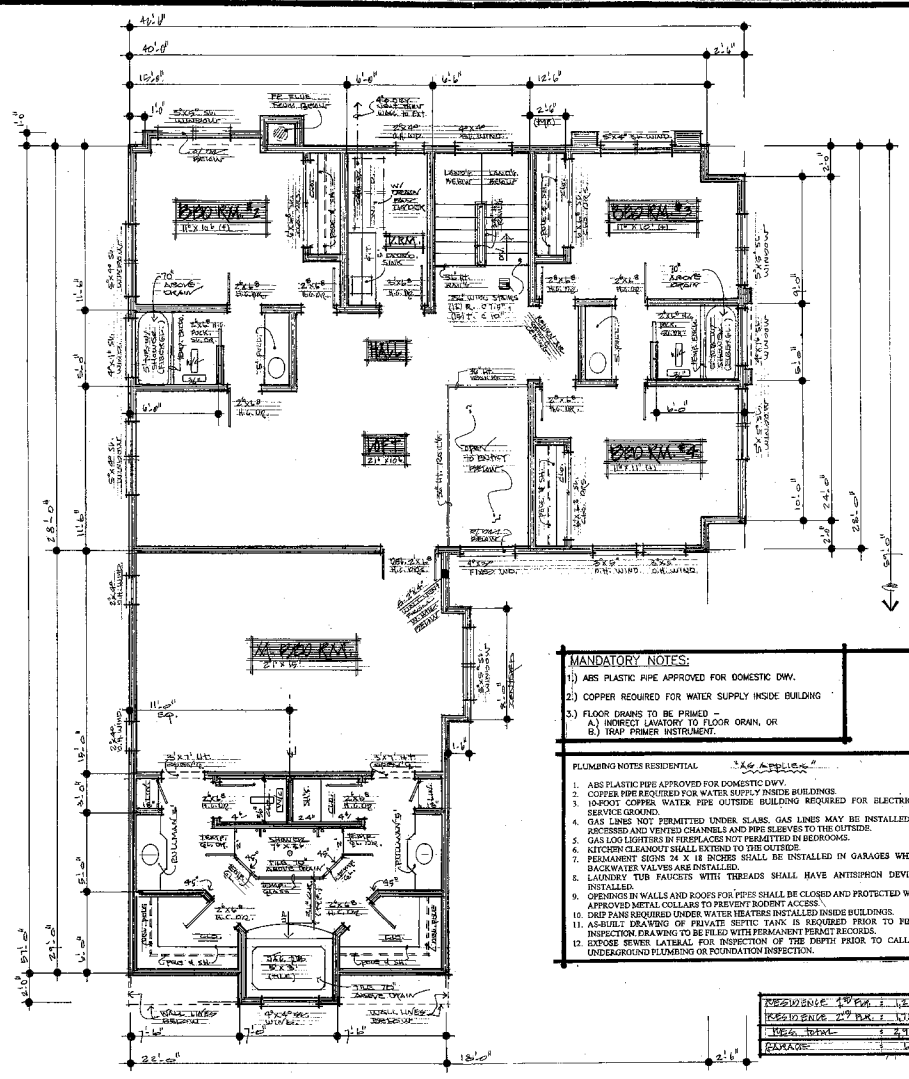
SHEET 11
 OF 26





PLAN VIEW - 1st FLOOR
 SCALE: 1/8" = 1'-0" DEC. 8, 1981 D.L. MILLER - CONSTRUCTION

- 1. REFER TO ATTACHED SHEET FOR ADDITIONAL NOTES, A.S. & PAGES.
- 2. UNDER CONSTRUCTION, THE WORK IS TO BE IN ACCORDANCE WITH RECORDS.
- 3. WATER HEATER & TANKLESS, REFER TO ELECTRICAL PLAN SHEET (EAS).
- 4. HEATING & VENTS IN GATE AREA, REFER TO ELECTRICAL PLAN SHEET (EAS) - PART



PLAN VIEW - 2nd FLOOR
 SCALE: 1/8" = 1'-0" DEC. 8, 1981 D.L. MILLER - CONSTRUCTION

- 1. REFER TO ATTACHED SHEET FOR ADDITIONAL NOTES, A.S. & PAGES.
- 2. UNDER CONSTRUCTION, THE WORK IS TO BE IN ACCORDANCE WITH RECORDS.
- 3. WATER HEATER & TANKLESS, REFER TO ELECTRICAL PLAN SHEET (EAS).
- 4. HEATING & VENTS IN GATE AREA, REFER TO ELECTRICAL PLAN SHEET (EAS) - PART

- MANDATORY NOTES:**
- 1) ABS PLASTIC PIPE APPROVED FOR DOMESTIC DWV.
 - 2) COPPER REQUIRED FOR WATER SUPPLY INSIDE BUILDING.
 - 3) FLOOR DRAINS TO BE PRIMED.
 - A.) IN ROOST LAVATORY TO FLOOR DRAIN, OR
 - B.) TRAP PRIMER INSTRUMENT.
- PLUMBING NOTES RESIDENTIAL**
1. ABS PLASTIC PIPE APPROVED FOR DOMESTIC DWV.
 2. COPPER PIPE REQUIRED FOR WATER SUPPLY INSIDE BUILDINGS.
 3. IN ROOST COPPER WATER PIPE OUTSIDE BUILDING REQUIRED FOR ELECTRICAL SERVICE GROUND.
 4. GAS LINES NOT PERMITTED UNDER SLABS. GAS LINES MAY BE INSTALLED IN UNFINISHED AREAS AND VENTED THROUGH ROOF OR TO THE OUTSIDE.
 5. GAS LOG LIGHTERS IN FIREPLACES NOT PERMITTED IN BEDROOMS.
 6. KITCHEN CLEANSINK SHALL EXTEND TO THE OUTSIDE.
 7. PERMANENT SIGNS 24 X 18 INCHES SHALL BE INSTALLED IN GARAGES WHERE BACKWATER VALVES ARE INSTALLED.
 8. LAUNDRY TUB FAUCETS WITH THREADS SHALL HAVE ANTI-SIPHON DEVICES INSTALLED.
 9. OPENINGS IN WALLS AND ROOFS FOR PIPES SHALL BE CLOSED AND PROTECTED WITH APPROVED METAL COLLARS TO PREVENT ROOFHOLE ACCESS.
 10. DIEP PANS REQUIRED UNDER WATER HEATERS INSTALLED INSIDE BUILDINGS.
 11. AS-BUILT DRAWING OF PRIVATE SEPTIC TANK IS REQUIRED PRIOR TO FINAL INSPECTION DRAWING TO BE FILED WITH PERMANENT PERMIT RECORDS.
 12. EXPOSED SEWER LATERAL FOR INSPECTION OF THE DEPTH PRIOR TO CALLING UNDERGROUND PLUMBING OR FOUNDATION INSPECTION.

REVISIONS	DATE	BY
NO. 1	12/8/81	D.L.M.
NO. 2	12/8/81	D.L.M.
NO. 3	12/8/81	D.L.M.
NO. 4	12/8/81	D.L.M.

Water closets not to exceed 1.28 gallons per flush.
 Urinals not to exceed 0.5 gallons per flush.
 Single shower heads not to exceed 2.0 gallons at 60 psi.
 Residential Faucets not to exceed 1.5 gallons at 60 psi, minimum 0.8 at 20 psi.
 Kitchen faucets not to exceed 1.8 gallons at 60 psi.
 Plumbing fixtures and fittings shall comply with the specified performance requirements of Section 4.203.2.

DATE
12/8/81

MILLS

DESIGN & CONSTRUCTION
 (408) 999-0077
 (408) 999-0077

FOR: BFI DEVELOPMENT

1994, PROJECT # D.P. SUITE 103
 12000 BAYVIEW, CALIF. 92008 FAYRELLI / GEN. # 10-271-846

FLOOR PLANS

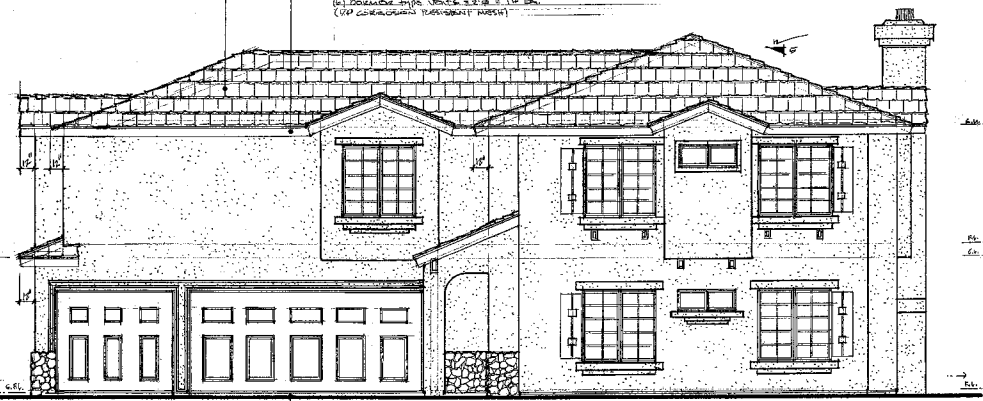
SHEET
OF
26

12/8/81

DATE: 6-11-12
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

DATE: 6-11-12

DESIGN & CONSTRUCTION
 MILLS
 700-990-4071
 (COMMERCIAL ONLY)

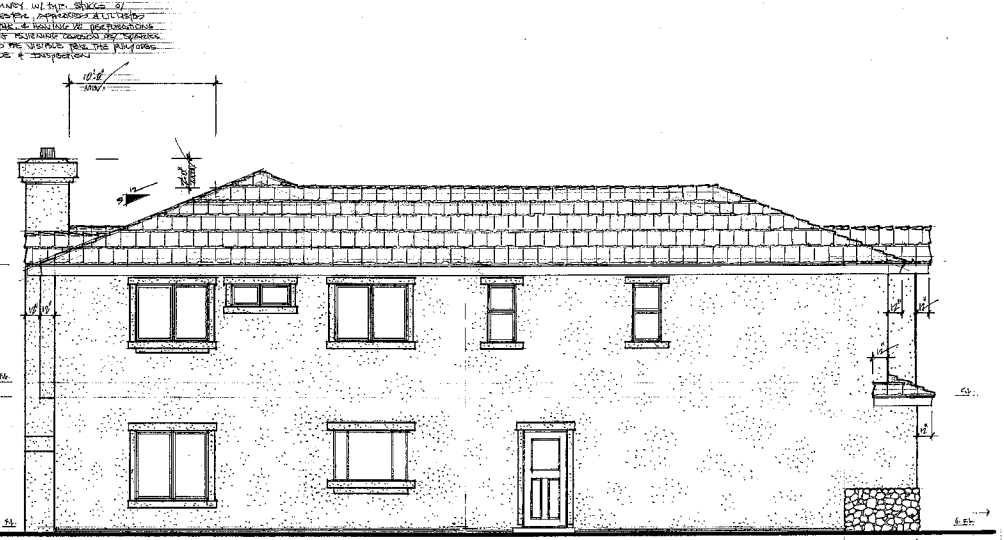
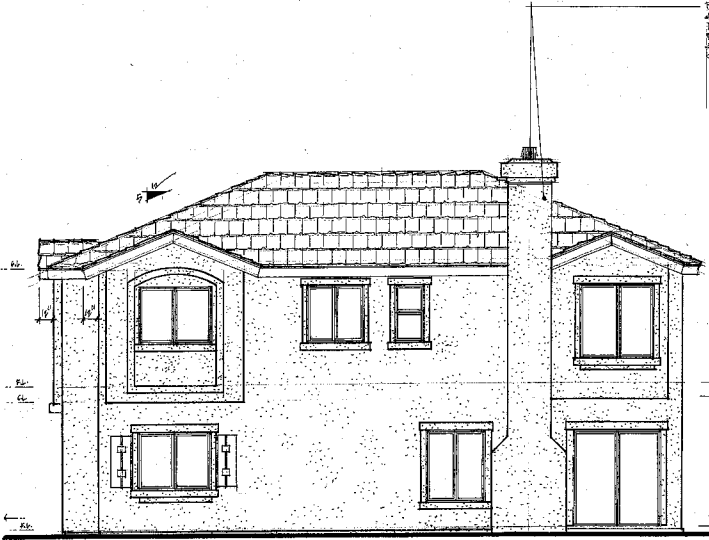


RIGHT SIDE & FRONT ELEVATIONS

RENDERING THREE ELEVATIONS WITH FRONT PORCH (TOP) SPACES AS PER ARCHITECT'S NOTES. SEE NOTES FOR MATERIALS & FINISHES.

RENDERING THREE ELEVATIONS WITH FRONT PORCH (TOP) SPACES AS PER ARCHITECT'S NOTES. SEE NOTES FOR MATERIALS & FINISHES.

PROVIDE CHIMNEY WITH THE SIZE OF 14" SPACER AND 18" APPROXIMATE AT THE TOP. THE CHIMNEY SHALL BE CONSTRUCTED OF BRICK OR CONCRETE BLOCK WITH A STAINLESS STEEL LINER. THE CHIMNEY SHALL BE INSTALLED TO THE VENTURE THROUGH THE ROOFING BY A PROFESSIONAL CHIMNEY INSTALLER.



LEFT SIDE & REAR ELEVATIONS

ALL GROUND SURFACES ON OTHER ELEVATIONS OR EXPOSED GLAZING AREAS & SKYLIGHTS SHALL BE CONSTRUCTED AT THE OWNER'S RISK AND RESPONSIBILITY.
 NO LIABILITY SHALL BE ASSUMED FOR ANY REQUIREMENTS FROM ANY OTHER CODES & REGULATIONS.



lot # 6
 SHEET OF 23
 12/12

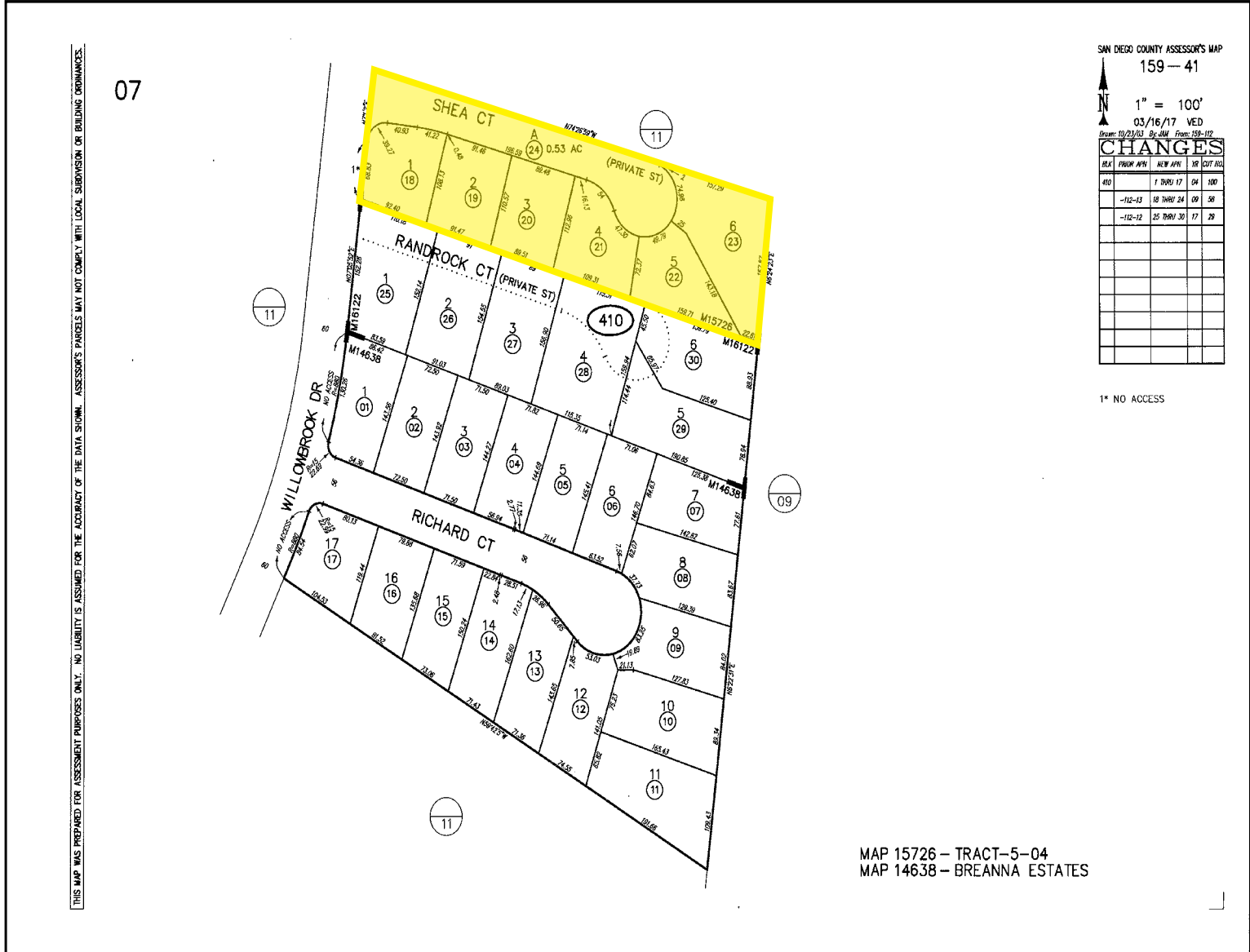
#01: BFI DEVELOPMENT
 5944 PINEAPPLE DR., SUITE 103
 CARLSBAD, CA 92008 FAX: 761 / 949-271-8444

ELEVATIONS

6 LOT RECORDED FINAL MAP WITH CONSTRUCTION DRAWINGS

2137 WILLOWBROOK DRIVE - OCEANSIDE, CA

PLAT MAP



FOR ADDITIONAL INFORMATION:

MATT WEAVER
760.448.2458
mweaver@lee-associates.com
CalBRE Lic # 01367183

LEE & ASSOCIATES
COMMERCIAL REAL ESTATE SERVICES

AL APUZZO
760.448.2442
aapuzzo@lee-associates.com
CalBRE Lic # 01323215

6 LOT RECORDED FINAL MAP WITH CONSTRUCTION DRAWINGS

2137 WILLOWBROOK DRIVE - OCEANSIDE, CA

COMPARABLE HOME SALES

RESALE HOME COMPARABLES

MLS #	Status	Style	Address	ZipArea	Beds	Lot SF Apx	Est SF	Price	\$/EstSF
170026686	ACT	DET	1509 Leonis Pl	VISTA 92083	4	7,538	3,067	\$849,990	\$277.14
170026676	ACT	DET	1505 Leonis Pl	VISTA 92083	4	7,164	3,368	\$884,990	\$262.76
170026654	ACT	DET	1513 Leonis Pl	VISTA 92083	4		3,311	\$909,990	\$274.84
170026680	PENDING	DET	1501 Leonis Pl	VISTA 92083	5	5,411	3,576	\$934,990	\$261.46
	SOLD	DET	364 Adobe Estates Dr	VISTA 92083	5	10,215	2,609	\$827,500	\$229.00
	SOLD	DET	438 Cota Ln	VISTA 92083	4	6,242	3,311	\$800,000	\$242.00
	SOLD	DET	446 Machado Way	VISTA 92083	5	5,521	3,576	\$797,000	\$223.00
	SOLD	DET	458 Adobe Estate Dr	VISTA 92083	4	11,325	3,580	\$847,000	\$237.00

FOR ADDITIONAL INFORMATION:

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mweaver@lee-associates.com
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COMMERCIAL REAL ESTATE SERVICES

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760.448.2442
aapuzzo@lee-associates.com
CalBRE Lic # 01323215

6 LOT RECORDED FINAL MAP WITH CONSTRUCTION DRAWINGS

2137 WILLOWBROOK DRIVE - OCEANSIDE, CA

DOCUMENT LINKS

[CLICK TO VIEW DOCUMENT LINKS](#)

[CONDITIONS OF APPROVAL](#)

[BOND AND FEES](#)

[DEMO PERMIT](#)

[DEMOLITION PLAN](#)

[EROSION CONTROL PLANS](#)

[IMPROVEMENT PLANS](#)

[LANDSCAPE PLANS](#)

[PRECISE GRADING PLANS](#)

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6 LOT RECORDED FINAL MAP WITH CONSTRUCTION DRAWINGS

2137 WILLOWBROOK DRIVE - OCEANSIDE, CA

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