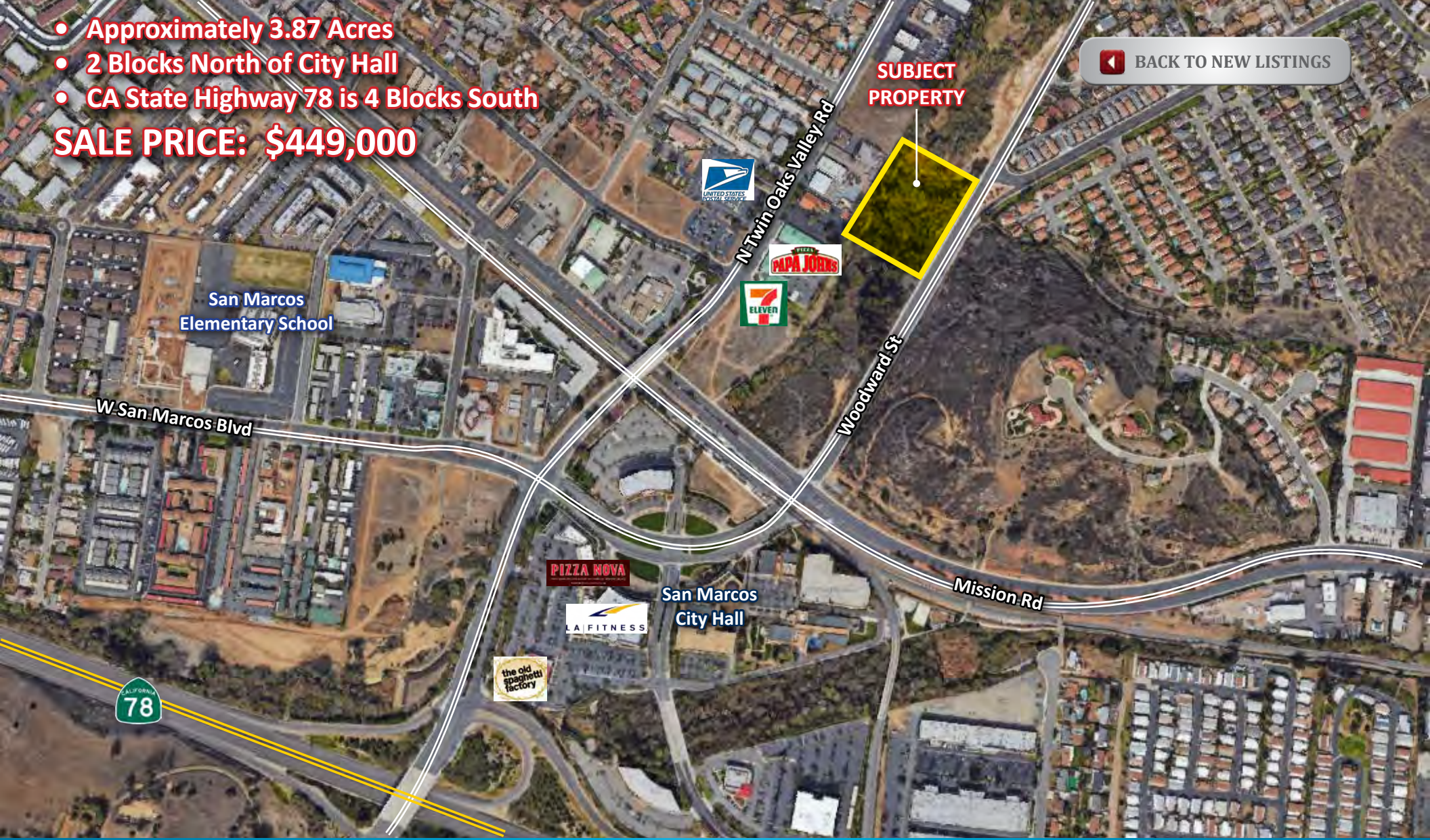


# MAXIMUM DENSITY 77 RESIDENTIAL UNITS OR POTENTIAL MITIGATION LAND

SEC VINEYARD ROAD & WOODWARD STREET | SAN MARCOS, CA

- **Approximately 3.87 Acres**
  - **2 Blocks North of City Hall**
  - **CA State Highway 78 is 4 Blocks South**
- SALE PRICE: \$449,000**

[BACK TO NEW LISTINGS](#)



FOR ADDITIONAL INFORMATION:

**MATT WEAVER**  
760.448.2458  
mweaver@lee-associates.com  
CAL BRE LIC #01367183

**LEE & ASSOCIATES**  
COMMERCIAL REAL ESTATE SERVICES

**AL APUZZO**  
760.448.2442  
aapuzzo@lee-associates.com  
CAL BRE LIC #01323215



# MAXIMUM DENSITY 77 RESIDENTIAL UNITS OR POTENTIAL MITIGATION LAND

SEC VINEYARD ROAD & WOODWARD STREET | SAN MARCOS, CA

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*No warranty or representation is made to the accuracy of the foregoing information. Terms of sale, lease and availability are subject to change or withdrawal without notice.*

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SEC VINEYARD ROAD & WOODWARD STREET | SAN MARCOS, CA

AERIALS



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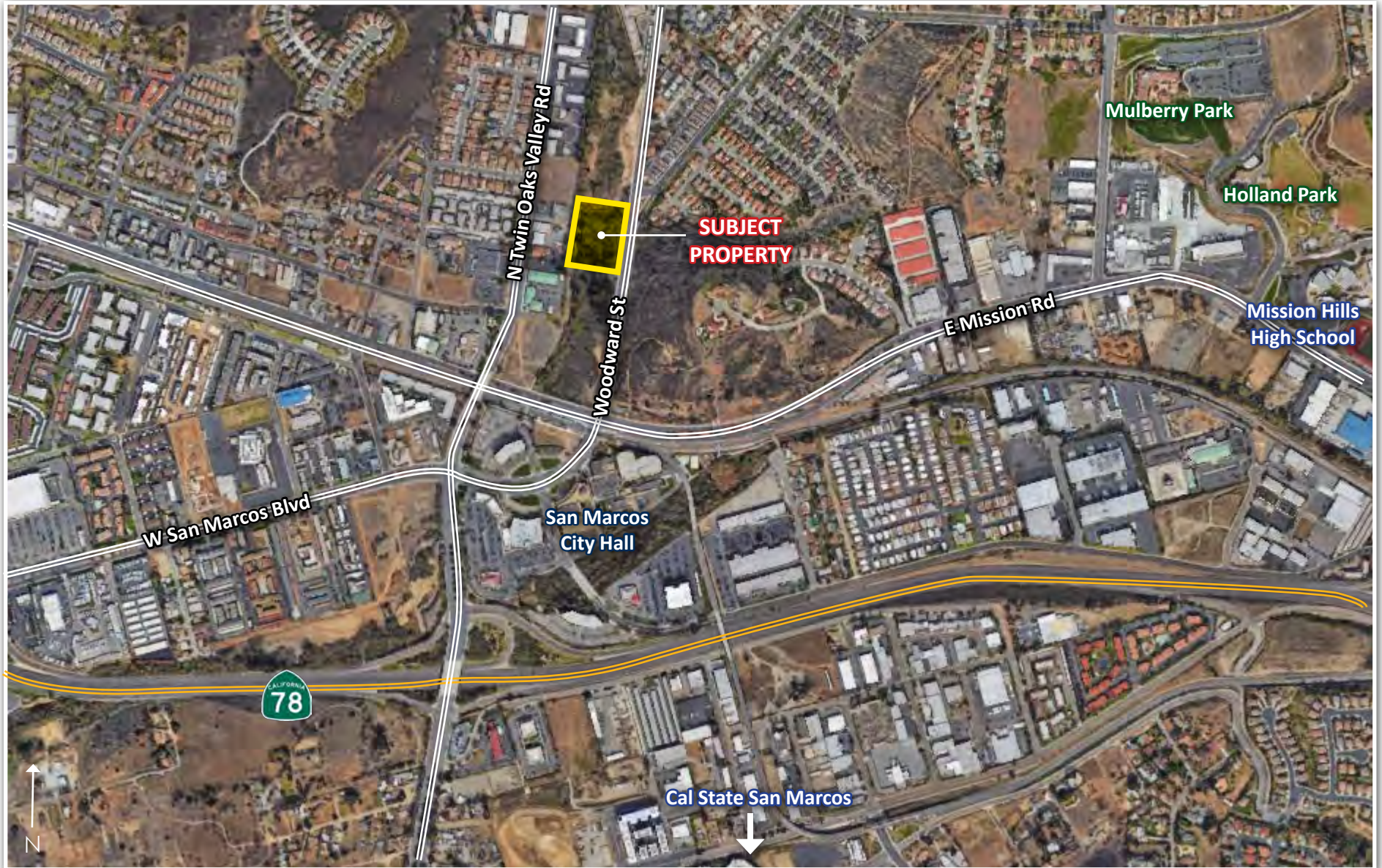
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SEC VINEYARD ROAD & WOODWARD STREET | SAN MARCOS, CA

AERIALS



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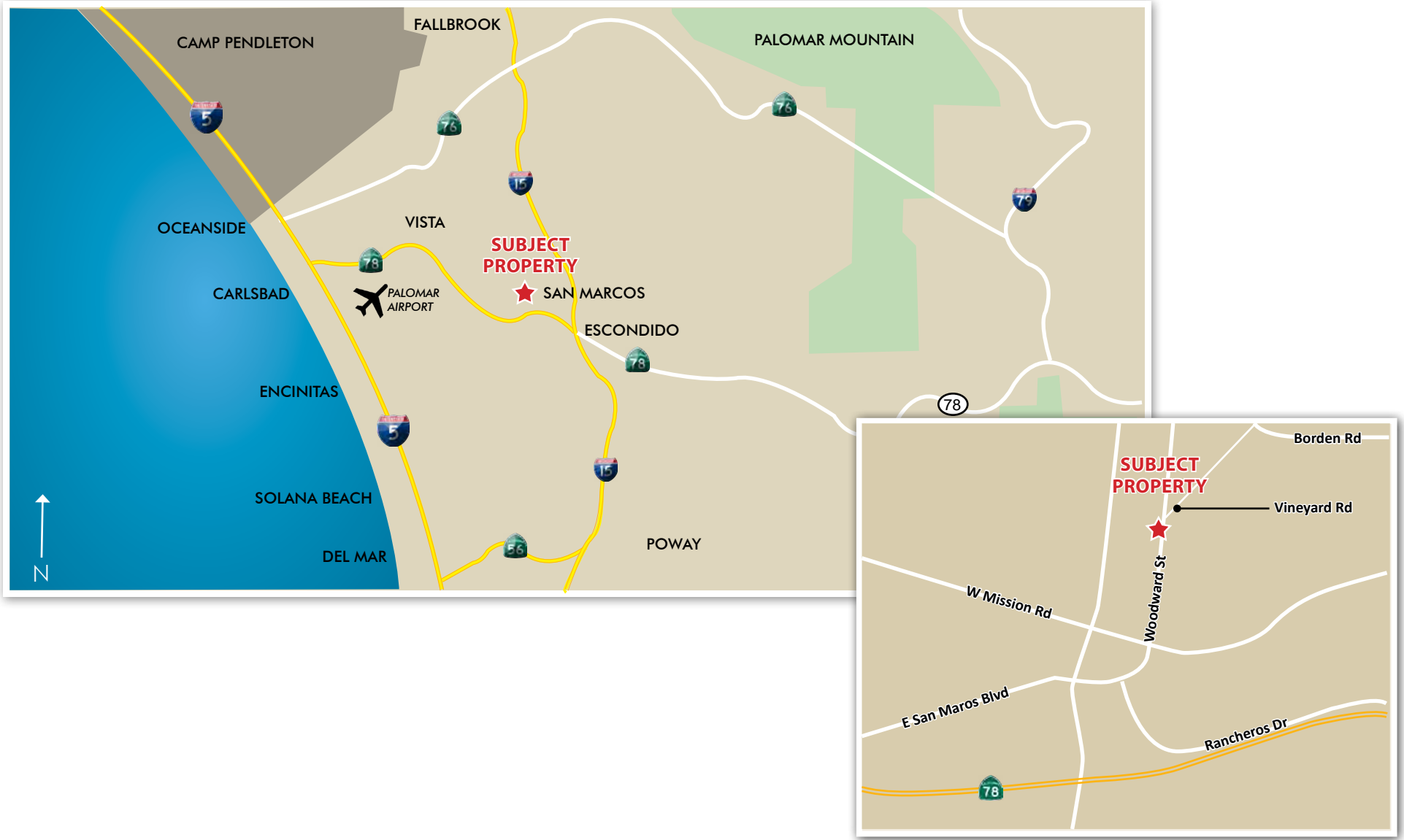
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# MAXIMUM DENSITY 77 RESIDENTIAL UNITS OR POTENTIAL MITIGATION LAND

## SEC VINEYARD ROAD & WOODWARD STREET | SAN MARCOS, CA

LOCATION MAP



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# MAXIMUM DENSITY 77 RESIDENTIAL UNITS OR POTENTIAL MITIGATION LAND

SEC VINEYARD ROAD & WOODWARD STREET | SAN MARCOS, CA

PROJECT INFO

<b>Location:</b>	The property is located on the west side of Woodward Street near the connection with Vineyard Road in the City of San Marcos, County of San Diego. Positioned less than 1 mile north of Highway 78, this site is ideally suited for a maximum 77 unit residential development.
<b>Jurisdiction:</b>	City of San Marcos
<b>APN:</b>	220-05-038-00
<b>Lot Size:</b>	3.87 Acres
<b>Topography:</b>	Flat
<b>Zoning:</b>	R-3-10 (Residential Medium-Density Multi-Family)
<b>General Plan:</b>	MD (Medium Density Residential)
<b>Allowable Uses:</b>	Multi-Family Dwelling, Child Care Facility (Small Family Home), Duplex, Small Residential Care Facility
<b>Max Density:</b>	12.1-20 Dwelling Units per Acre
<b>Height:</b>	The Lesser of 3 Stories on 45'
<b>Impact Fees:</b>	Approximately \$39,932 per unit
<b>School District:</b>	San Marcos Unified
<b>Services:</b>	Water/Sewer Vallecitos Irrigation District Gas/Electricity San Diego Gas & Electric Fire San Marcos Fire Dept. Police San Marcos Sheriff's Dept.
<b>PRICE:</b>	<b>\$449,000</b>



[CLICK TO VIEW DOCUMENT LINKS](#)

[ALTA SURVEY](#)  
[HAZARD ASSESSMENT](#)  
[PHASE 1 ENVIRONMENTAL SITE ASSESSMENT](#)  
[WOODWARD STREET BIOTEC](#)  
[ZONING CODE](#)

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DEVELOPMENT IMPACT FEES

**Estimated Development Impact Fees  
Per Approximate 1,500 SF Unit**

Item	Amount
School Fees (\$4.61/SF)	\$6,915
Water Connection Fees (Assumes 3/4" Meter)	\$7,460
SDCWA Capacity Charges	\$5,240
Sewer Fees - Site will be on Septic	\$6,900
Drainage Fee Per Acre (Drainage Basin B)*	\$827
<u>Public Facilities Fee**</u>	
PFF - Circulation Streets	\$4,048
PFF - SR-78 Interchanges	\$1,923
PFF - NPDES	\$221
PFF - Technology Improvements	\$44
PFF - Parks	\$6,251
PFF - Habitat Conservation	\$103
<b>TOTAL PER SFD</b>	<b>\$39,932</b>

\* Assumes max density of 77 units

\*\* Public Facility Fees can be potentially be deferred

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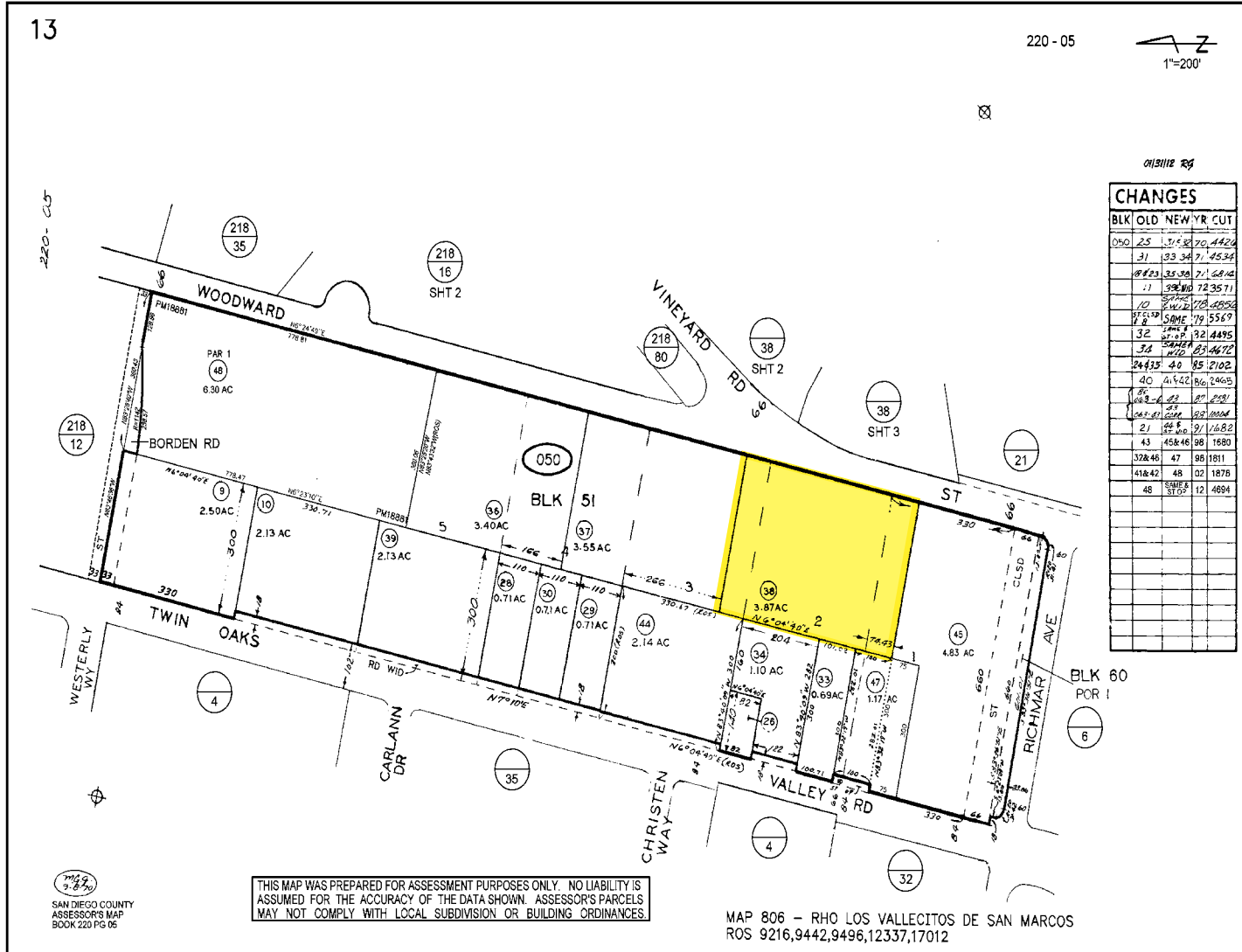


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# MAXIMUM DENSITY 77 RESIDENTIAL UNITS OR POTENTIAL MITIGATION LAND

SEC VINEYARD ROAD & WOODWARD STREET | SAN MARCOS, CA

PLAT MAP



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# MAXIMUM DENSITY 77 RESIDENTIAL UNITS OR POTENTIAL MITIGATION LAND

## SEC VINEYARD ROAD & WOODWARD STREET | SAN MARCOS, CA

ALTA SURVEY

### ALTA/NSPS LAND TITLE SURVEY

VACANT LAND  
SAN MARCOS, CALIFORNIA

SHEET 1 OF 1

**LEGAL DESCRIPTION:**

FIDELITY NATIONAL TITLE COMPANY  
ORDER NUMBER: 00076237-992-SD1-JD  
COMMITMENT DATE: JUNE 16, 2016 AT 7:30 A.M.

THE LAND REFERRED TO HEREON BELOW IS SITUATED SAN MARCOS, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
THE NORTHERLY 74.43 FEET OF LOT 1; ALL OF LOT 2; LOT 3 (EXCEPTING FROM LOT 3 THE NORTHERLY 266.00 FEET THEREOF) IN BLOCK 51 OF RANCHO LOS VALLECITOS DE SAN MARCOS, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 806, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING FROM ALL OF THE ABOVE DESCRIBED LAND, THE WESTERLY 300.00 FEET THEREOF.

APN: 220-050-38-00

**ITEMS CORRESPONDING TO EXCEPTIONS:**

FIDELITY NATIONAL TITLE COMPANY  
ORDER NUMBER: 00076237-992-SD1-JD  
COMMITMENT DATE: JUNE 16, 2016 AT 7:30 A.M.

- 7. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS GRANTED IN A DOCUMENT:

GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS RECORDING DATE: NOVEMBER 3, 1925  
RECORDING NO: BOOK 1137, PAGE 158, DEEDS  
AFFECTS: SAID LAND

THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD.

- 8. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS GRANTED IN A DOCUMENT:

GRANTED TO: SAN MARCOS COUNTY WATER DISTRICT PURPOSE: FIRELINES, INGRESS AND EGRESS RECORDING DATE: JULY 12, 1981  
RECORDING NO: 119125, OFFICIAL RECORDS  
AFFECTS: SAID LAND

- 9. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS GRANTED IN A DOCUMENT: GRANTED TO: THE CITY OF SAN MARCOS, A MUNICIPAL CORPORATION

PURPOSE: DRAINAGE  
RECORDING DATE: DECEMBER 31, 2000  
RECORDING NO: 2000-068626, OFFICIAL RECORDS  
AFFECTS: A PORTION OF SAID LAND

**UNDERGROUND UTILITY NOTE:**

THE UTILITY COMPANIES THAT SERVE THIS PROPERTY (GAS, ELECTRIC, WATER, TELEPHONE, SEWER AND STORM DRAIN) WERE CONTACTED AT THE TIME OF THIS SURVEY. SUB-SURFACE INFORMATION PROVIDED, HAS BEEN SHOWN ON THIS SURVEY. NO REPRESENTATION IS MADE AS TO THE ACCURACY, CURRENTCY OR COMPLETENESS OF SAID INFORMATION. ABOVE GROUND UTILITIES HAVE BEEN LOCATED HEREON.

**FLOOD NOTE:**

ZONE - "AE" PER FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 06073072AS EFFECTIVE MAY 16, 2012  
ZONE "AE" DENOTES THAT BASE FLOOD ELEVATIONS WERE DETERMINED.

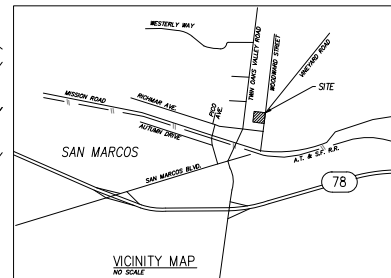
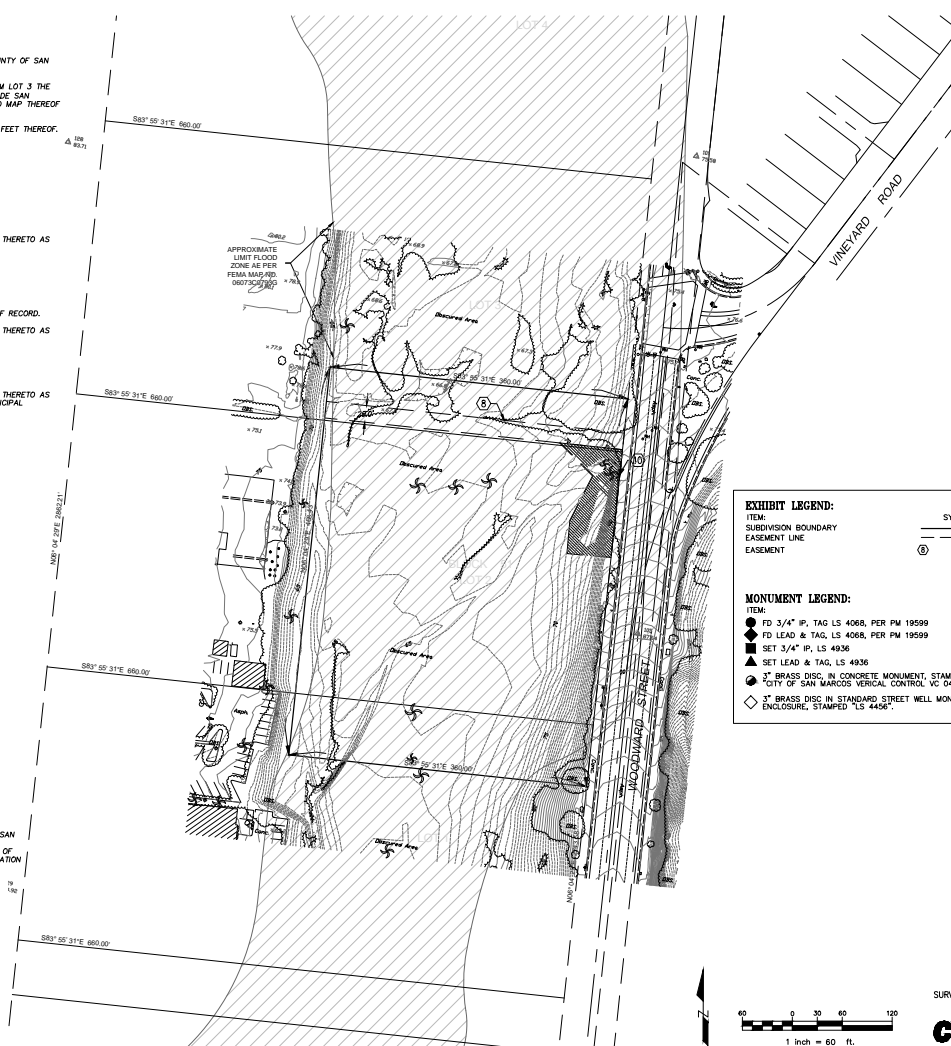
THE PROPERTY IS WITHIN A FLOODWAY AREA IN ZONE "AE". THE FLOODWAY IS THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT SO THAT AN ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASE IN FLOOD HEIGHTS.

THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.

**SITE RESTRICTIONS:**

ZONING	RESIDENTIAL-3-10, R-3-10
GENERAL PLAN USE	VACANT LAND
PROPOSED DENSITY (DU/ACRE)	TBD
PROPOSED DIMELLING UNIT	TBD
EXISTING USE	VACANT LAND
PROPOSED USE	TBD
EXISTING LOTS	1
PROPOSED UNITS	TBD

\*ZONING AND RESTRICTIONS SHOWN HEREON WERE OBTAINED BY THE CITY OF SAN MARCOS INTERACTIVE ZONING MAP. NO REPRESENTATION IS MADE FOR THE ACCURACY OR COMPLETENESS OF SAID THIRD PARTY INFORMATION. ANY USER OF SAID INFORMATION MUST CONTACT THE LOCAL AGENCY DIRECTLY. THIS INFORMATION IS NOT PROVIDED FOR DESIGN PURPOSES.



**SURVEY NOTES:**

- THE INFORMATION COURSES AND DISTANCES SHOWN ON THIS SURVEY PRINT ARE TRUE AND CORRECT AND ACCURATELY REPRESENT THE BOUNDARIES AND AREA OF THE PREMISES.
- THERE IS NO VISIBLE EVIDENCE THAT THE SITE WAS USED FOR AS A SUMP, DUMP OR SANITARY LANDFILL.
- THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.
- ALL MEASURED AND RECORDED DIMENSIONS ARE THE SAME UNLESS NOTED OTHERWISE.
- AT THE TIME OF SURVEY NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE OBSERVED.
- NO RECENT CHANGES IN STREET RIGHTS-OF-WAY WERE OBSERVED AT THE TIME OF SURVEY.
- THE RELATIVE POSITIONAL ACCURACY OF CALLED OUT IMPROVEMENTS SHOWN ON THE SURVEY IS WITHIN +/- 0.1' OF THEIR ACTUAL LOCATIONS.
- COVENANTS, CONDITIONS, RESTRICTIONS, TERMS AGREEMENTS AND MATTERS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY. CONTENTS MUST BE REVIEWED TO DISCERN SPECIFICS.
- CITE, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF ANY THIRD PARTY INFORMATION REFERENCED OR REPRESENTED HEREON, ANY OF SAID INFORMATION SHOWN HEREON HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
- AS OUTLINED IN SECTION 8770.6 OF THE BUSINESS AND PROFESSIONS CODE "THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER IN THE PRACTICE OF PROFESSIONAL ENGINEERING OR LAND SURVEYING OR IN THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS, OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED."

**EXHIBIT LEGEND:**

ITEM:  
SUBDIVISION BOUNDARY  
EASEMENT LINE  
EASEMENT

SYMBOL:  
①

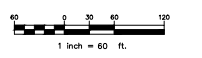
**MONUMENT LEGEND:**

ITEM:  
FD 3/4" IP, TAG LS 4068, PER PM 19599  
FD LEAD & TAG, LS 4068, PER PM 19599  
SET 3/4" IP, LS 4936  
SET LEAD & TAG, LS 4936  
3" BRASS DISC, IN CONCRETE MONUMENT, STAMPED "CITY OF SAN MARCOS VERTICAL CONTROL VC 047 1990".  
3" BRASS DISC IN STANDARD STREET WELL MONUMENT ENCLOSURE, STAMPED "LS 4426".

**LAND AREA:**  
BLOCK 51  
APN 220-050-38-00  
17388 S.F. / 3.98 AC.

**UTILITY NOTE:**  
THE UTILITIES SHOWN HEREON WERE BASED ON OBSERVED EVIDENCE ONLY AND AVAILABLE RECORD DATA FROM UTILITIES AND MUNICIPAL AGENCIES.

**BUILDING SQUARE FOOTAGE:**  
NO BUILDING OBSERVED



SURVEY PERFORMED BY:

**Construction Testing & Engineering, Inc.**

Inspection | Testing | Geotechnical | Environmental & Construction Engineering | Civil Engineering | Surveying  
1441 Morrell Road, Suite 115, Escondido, CA 92026 Phone: (760) 746-4955  
Fax: (760) 746-9806 DATE: 09.21.2016

FOR ADDITIONAL INFORMATION:

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mweaver@lee-associates.com  
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# MAXIMUM DENSITY 77 RESIDENTIAL UNITS OR POTENTIAL MITIGATION LAND

## SEC VINEYARD ROAD & WOODWARD STREET | SAN MARCOS, CA

### NEW HOME SALES COMPARABLES

Project Name	Builder Name	City	Open Date	Product Type	Unit Size Min	Unit Size Max	MinPrice	MaxPrice	Min \$/SF	Max \$/SF	Total Units Planned	Total Units Sold	Total Remaining	Sales Rate	Sales Rate (Last 3 Months)	Zip Code
Preserve (The)/Agave	Cornerstone Communities	Carlsbad	11/12/2016	Attached	1420	1681	\$ 502,990	\$ 556,990	\$ 331.34	\$ 354.22	88	14	74	2.1	3.3	92010
Brisas at Pacific Ridge	Cornerstone Communities	Oceanside	1/16/2017	Attached	1487	1817	\$ 452,990	\$ 550,990	\$ 303.24	\$ 304.63	117	7	110	1.6	1.7	92056
Lucero at Pacific Ridge	Cornerstone Communities	Oceanside	4/29/2017	Attached	1563	1824	\$ 444,990	\$ 501,990	\$ 275.21	\$ 284.70	130	3	127	-	-	92056
Cottages at St. Cloud	Taylor Morrison	Oceanside	4/2/2016	Attached	1470	1933	\$ 475,000	\$ 560,000	\$ 289.71	\$ 323.13	96	52	44	3.8	4.3	92056
View Pointe (The)	Unknown		2/1/2017	Attached	1323	1400	\$ 589,000	\$ 696,000	\$ 445.20	\$ 497.14	33	11	22	2.7	2.7	92054
Mission Terrace	KB Home	San Marcos	9/10/2016	Attached	1105	1874	\$ 447,990	\$ 568,893	\$ 303.57	\$ 405.42	39	14	25	1.7	1.7	92069
Mission Villas	KB Home	San Marcos	7/23/2016	Attached	1105	1874	\$ 447,990	\$ 568,893	\$ 303.57	\$ 405.42	54	37	17	3.5	10.3	92069

### RESALE HOME COMPARABLES

RESIDENTIAL Summary Statistics			
High	Low	Average	Median
LP:\$549,000	\$380,000	\$461,882	\$463,945
SP:\$540,000	\$375,000	\$455,899	\$461,400

### RESIDENTIAL - Sold

Number of Properties: 12

Num	MLS #	Status	Style	FIIAdd	ZipArea	Beds	TotB	COEDate	LotSF	EstSF	DOM	LP	PrcSqft	SP	PrcSqft
1	170031782	SOLD	ATT	316 ANTONI GLEN 910	ESCONDIDO (92025)	2	3	7/31/2017		1,164	13	\$365,000 - \$380,000	\$326.46	\$375,000	\$322.16
2	170014432	SOLD	TOWNH	213 Royal Glen 306	ESCONDIDO (92025)	3	4	5/12/2017	49,747	1,451	38	\$420,000	\$289.46	\$408,000	\$281.19
3	170021683	SOLD	TOWNH	219 Antoni Glen 1208	ESCONDIDO (92025)	3	4	7/25/2017		1,604	13	\$425,000	\$264.96	\$425,000	\$264.96
4	170021346	SOLD	ATT	215 Antoni Glen 1106	ESCONDIDO (92025)	3	4	7/31/2017	7,831	1,451	15	\$429,000 - \$449,000	\$309.44	\$425,000	\$292.90
5	170003863	SOLD	ATT	1310 Montiel 52 / 773	ESCONDIDO (92026)	3	3	3/21/2017		1,800	11	\$457,990	\$254.44	\$442,990	\$246.11
6	170003349	SOLD	TOWNH	742 Trunorth	ESCONDIDO (92026)	3	3	4/28/2017	189,624	1,800	63	\$469,900	\$261.06	\$468,000	\$260.00
7	170025105	SOLD	TOWNH	749 TruNorth Circle	ESCONDIDO (92026)	3	3	6/22/2017		1,800	13	\$474,900	\$263.83	\$475,000	\$263.89
8	170007685	SOLD	ATT	329 Mission Villas Road	SAN MARCOS (92069)	3	3	6/1/2017		1,351	76	\$457,800	\$338.86	\$457,800	\$338.86
9	170014181	SOLD	ATT	425 Penelope Drive	SAN MARCOS (92069)	3	3	5/15/2017		2,066	19	\$499,900 - \$509,000	\$246.37	\$509,000	\$246.37
10	170014497	SOLD	TOWNH	2364 Sentinel Lane	SAN MARCOS (92078)	3	3	5/1/2017		1,428	8	\$475,000	\$332.63	\$465,000	\$325.63
11	170022710	SOLD	ATT	2346 Sentinel Lane	SAN MARCOS (92078)	3	3	5/23/2017	0	1,428	3	\$475,000	\$332.63	\$480,000	\$336.13
12	170015455	SOLD	TOWNH	2321 Sentinel	SAN MARCOS (92078)	3	4	5/8/2017		1,649	11	\$525,000 - \$549,000	\$332.93	\$540,000	\$327.47
Avg						2	3		61800	1582	23	\$461,883	\$296.09	\$455,899	\$292.14
Min						2	3		0	1164	3	\$380,000	\$246.37	\$375,000	\$246.11
Max						3	4		189624	2066	76	\$549,000	\$338.86	\$540,000	\$338.86
Med						3	3		28789	1527	13	\$463,945	\$299.45	\$461,400	\$287.05

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