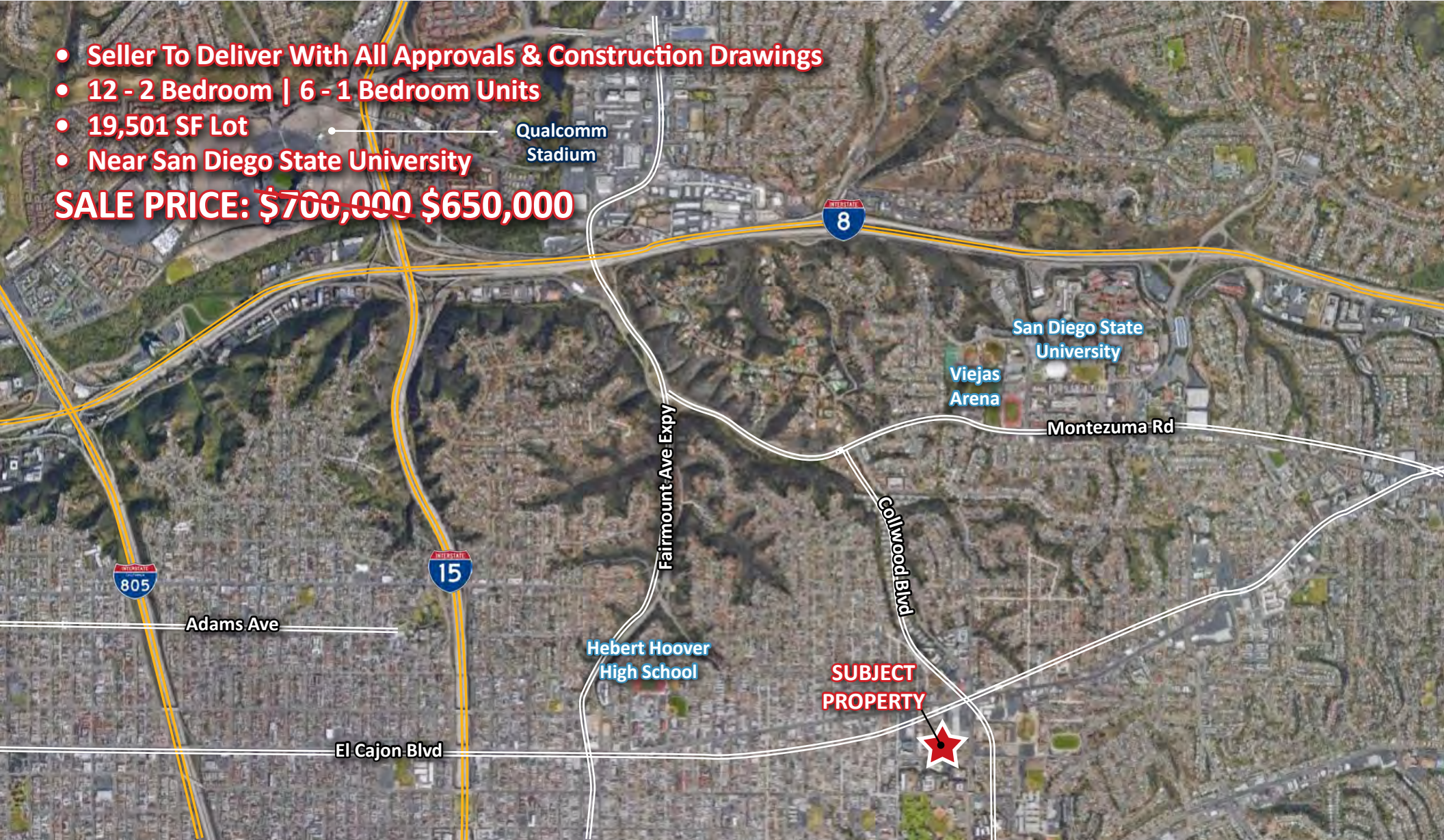


18 UNIT APARTMENT SITE WITH APPROVED BUILDING PLANS

4336 53RD STREET - SAN DIEGO, CA

- Seller To Deliver With All Approvals & Construction Drawings
- 12 - 2 Bedroom | 6 - 1 Bedroom Units
- 19,501 SF Lot
- Near San Diego State University

SALE PRICE: ~~\$700,000~~ \$650,000



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18 UNIT APARTMENT SITE WITH APPROVED BUILDING PLANS

4336 53RD STREET - SAN DIEGO, CA

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12	UNIT PLANS
13	BUILDING PLANS
14	ELEVATIONS



No warranty or representation is made to the accuracy of the foregoing information. Terms of sale, lease and availability are subject to change or withdrawal without notice.

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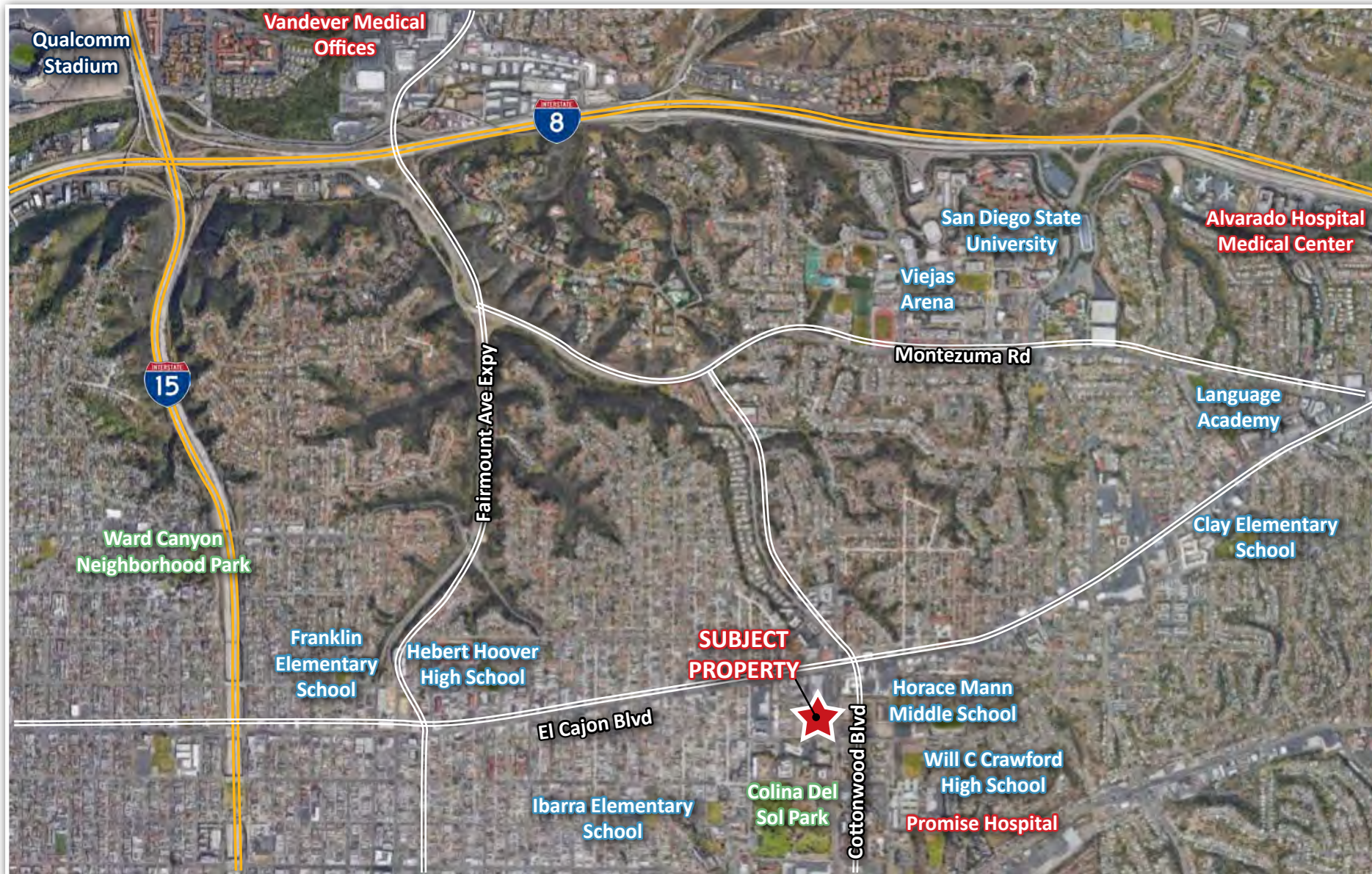


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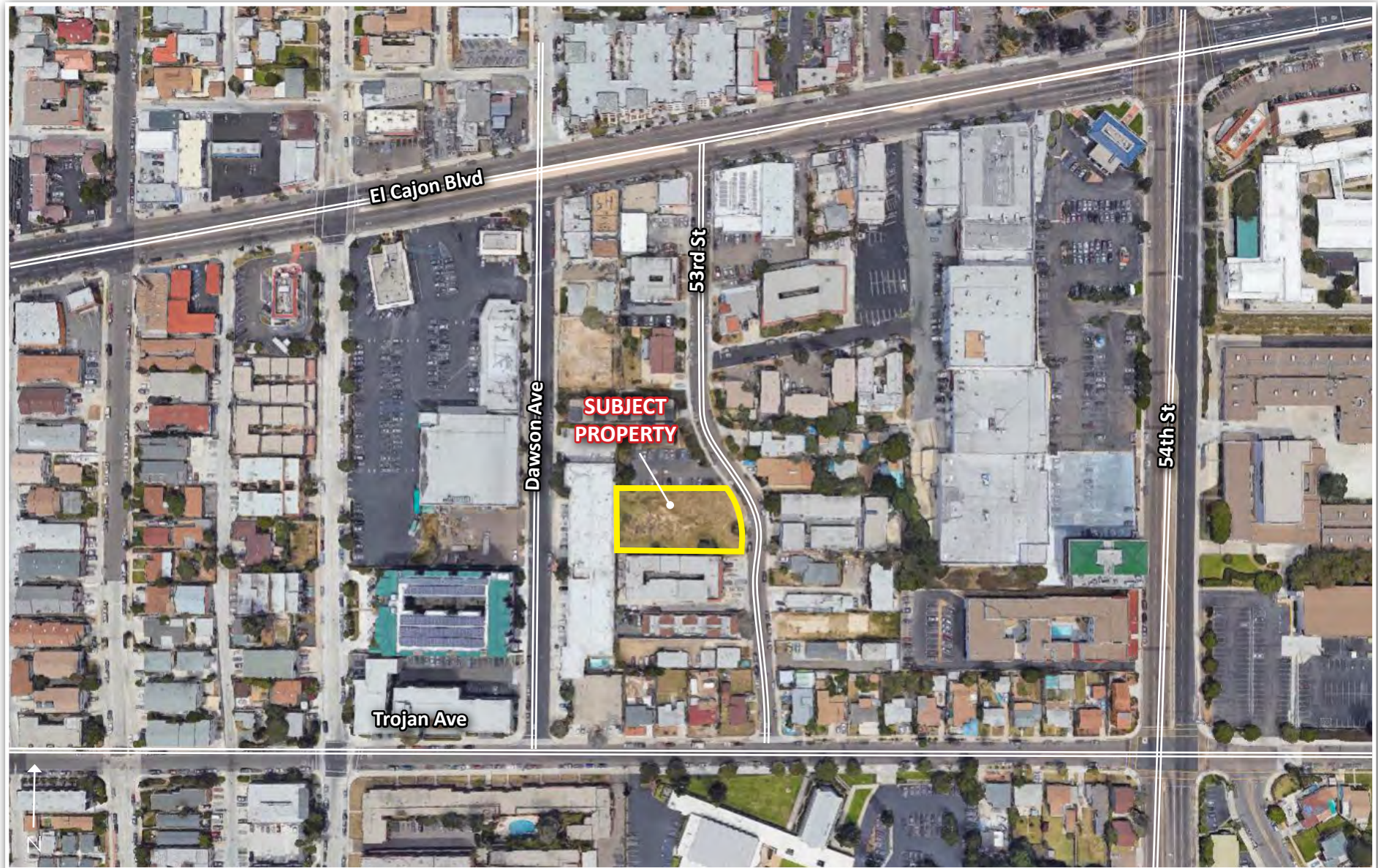
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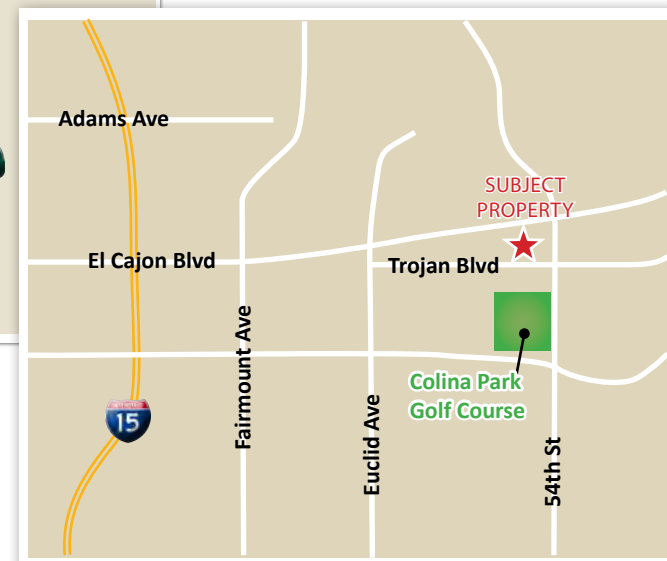
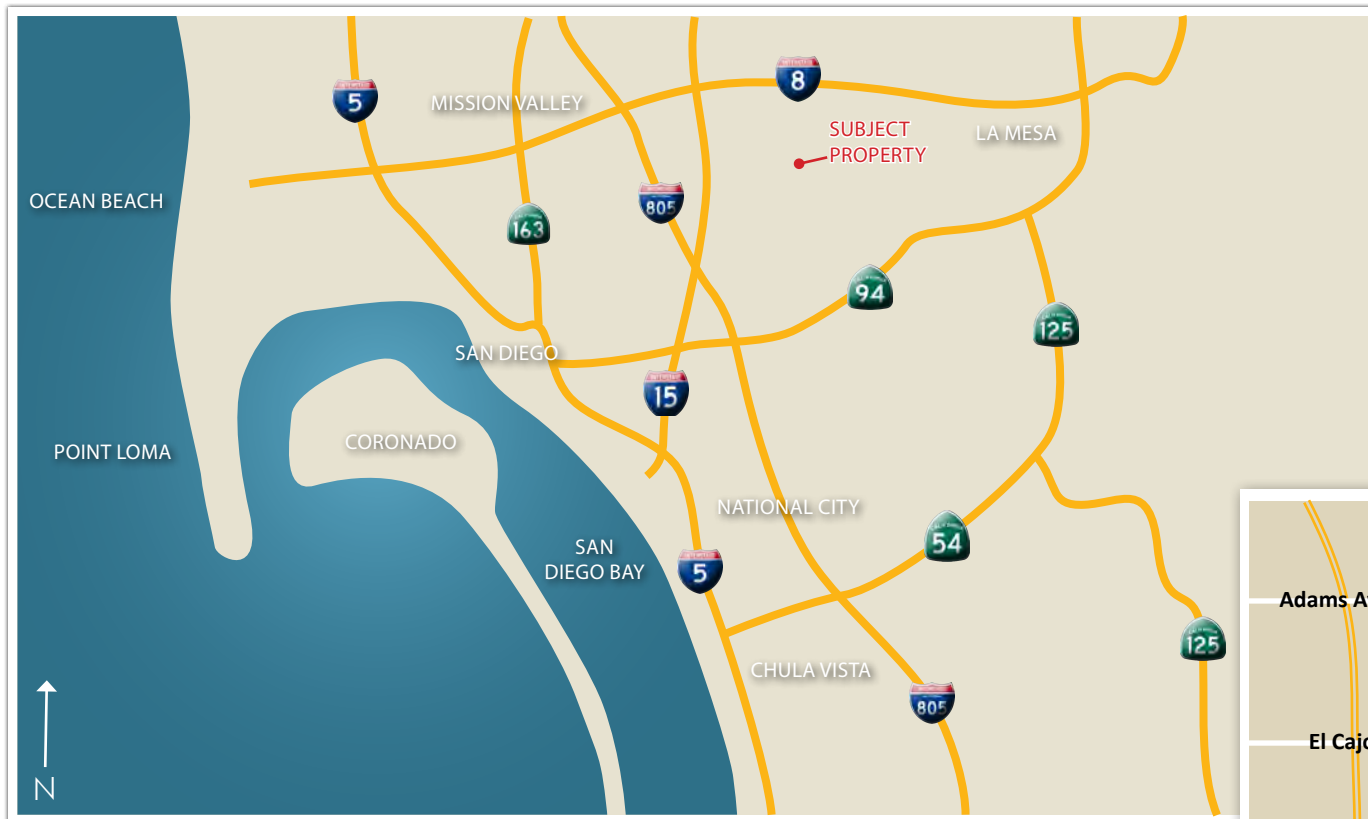
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18 UNIT APARTMENT SITE WITH APPROVED BUILDING PLANS

4336 53RD STREET - SAN DIEGO, CA

LOCATION MAP



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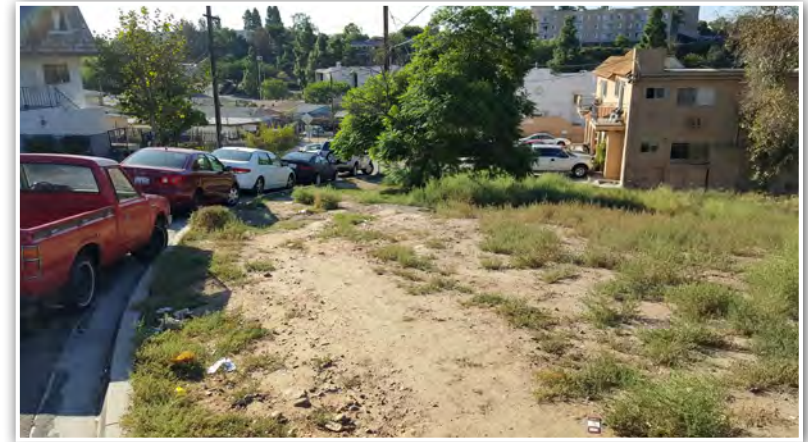
18 UNIT APARTMENT SITE WITH APPROVED BUILDING PLANS

4336 53RD STREET - SAN DIEGO, CA

PROJECT INFO

PROPERTY FEATURES

LOCATION:	The subject property is located at 4336 53rd Street in the City of San Diego, County of San Diego. Within walking distance to shopping, restaurants, and San Diego State University, this site is a rare infill location in the college area.
Jurisdiction:	City of San Diego
APN:	472-040-37-00
Lot Size:	.4471 Acres
Topography:	Flat
Zoning:	Central Urbanized Planned District (CT-2-4) Residential Multiple Unit (RM-2-5)
Max Density:	1 Dwelling Unit per 3,000 SF
Impact Fees:	Approximately \$23,627 per unit
School District:	San Diego Unified School District <ul style="list-style-type: none">• Fay Elementary School API 782• Mann Middle School API 746• Crawford High School API 648
Services:	Water/Sewer City of San Diego Gas/Electricity San Diego Gas & Electric Fire San Diego Fire Dept. Police San Diego Police Dept.
Project Status:	The property has an approved site plan for 18 apartments. Building plans and final engineering are approved. A buyer will need to pay impact fees, post bonds and pull grading & building permits. The project received a 35% density bonus for providing two very low income affordable units.



Proposed Units:	10 - 2 Bed 2 Bath 2 - 2 Bed 1 Bath 6 - 1 Bed 1 Bath
PRICE:	\$650,000

[CLICK TO VIEW DOCUMENT LINKS](#)

- [CT-2-4 ZONING](#)
- [RM-2-5 ZONING](#)
- [SITE & CONCEPTUAL PLANS](#)
- [MARKET REPORT](#)
- [GEOTECHNICAL REPORT](#)
- [LINE ITEM COST](#)
- [FINANCIAL ANALYSIS](#)

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4336 53RD STREET - SAN DIEGO, CA

DEVELOPMENT IMPACT FEES

Mid-City Area - San Diego

Estimated Development Fees
Per Approximate 856 SF Unit

<i>Item</i>	<i>SFR</i>
School Fees (\$3.20/SF)	\$ 2,739
Development Impact Fees (DIF - includes Park, Road, Library & Fire)	\$ 12,219
Regional Transportation Congestion Improvement Program (RTCIP)	\$ 2,153
SDCWA Water Capacity Charge per unit based on one 2" Meter	\$ 1,352
Water Capacity Charge (Assumes .72 EDU per unit for common meter)	\$ 2,194
Sewer Capacity Charge (Assumes .72 EDU per unit for common usage)	\$ 2,969
TOTAL PER UNIT	\$ 23,627

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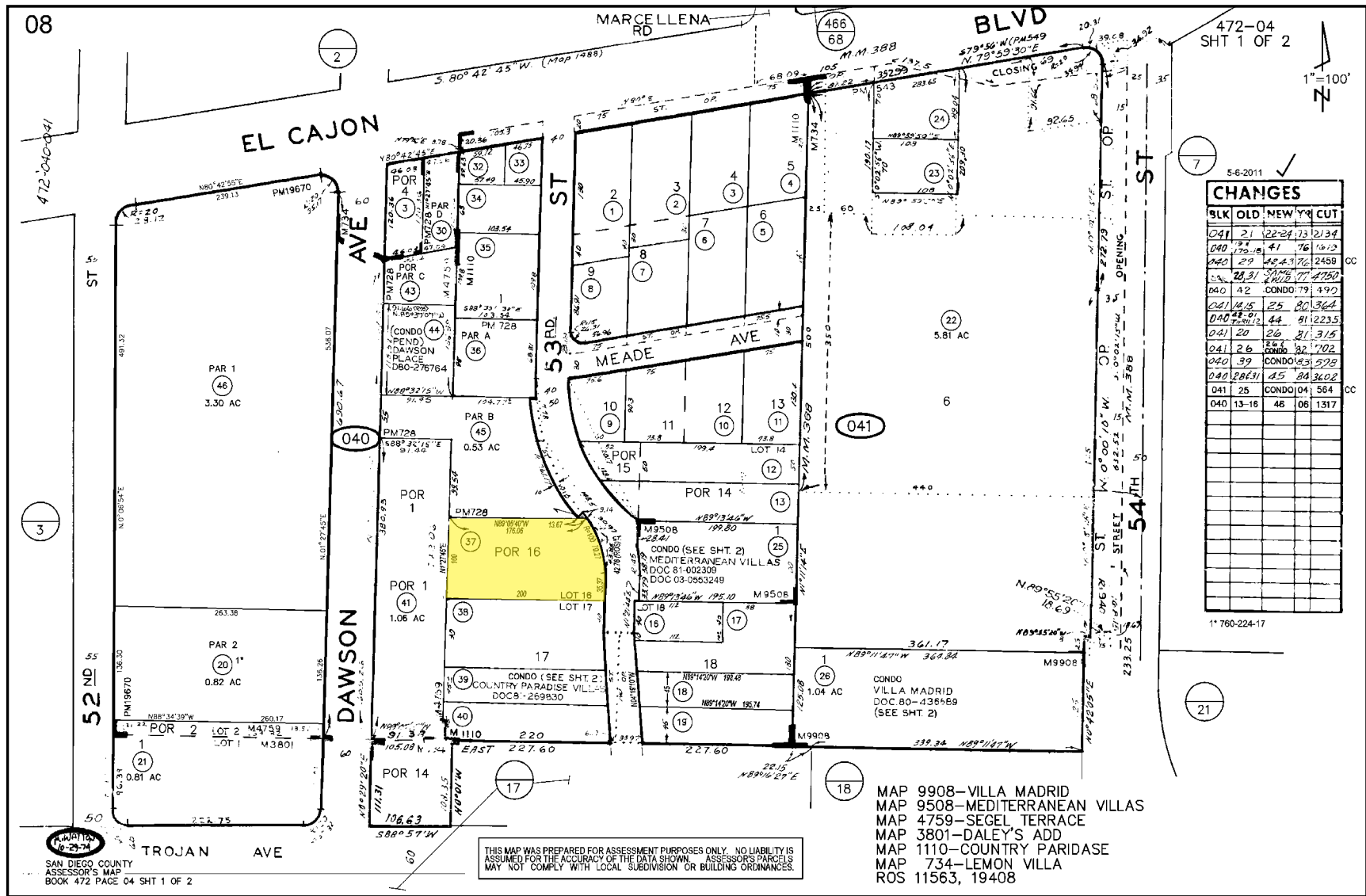
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PLAT MAP



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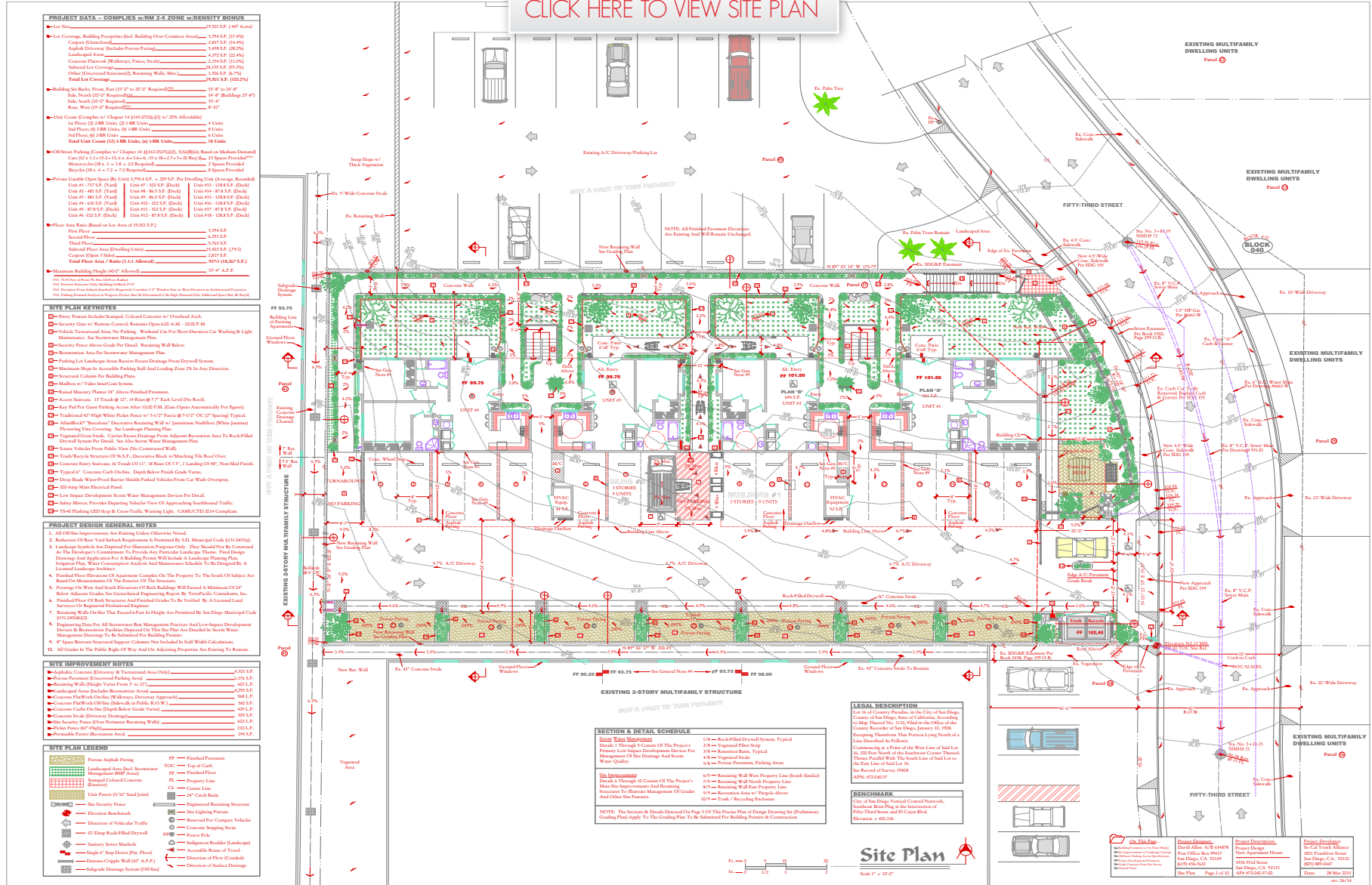
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18 UNIT APARTMENT SITE WITH APPROVED BUILDING PLANS

4336 53RD STREET - SAN DIEGO, CA

CLICK HERE TO VIEW SITE PLAN

SITE PLAN



PROJECT DATA - COMPLIES w/RM 2.5 ZONE w/DENSITY BONUS

Lot Area	13,521 S.F. (447 Acres)
Lot Coverage, Building Footprint (incl. Building Over Coverage Area)	3,394 S.F. (25.1%)
Current Development	3,437 S.F. (25.4%)
Asphalt Driveway (Includes Porch Pavement)	3,435 S.F. (25.2%)
Landscaped Area	3,437 S.F. (25.4%)
Concrete Pavement (W/Alleys, Patios, Walks)	2,356 S.F. (17.4%)
Subsided Lot Coverage	1,015 S.F. (7.5%)
Other Discussed Structures, Retaining Walls, Misc.	1,305 S.F. (9.7%)
Total Lot Coverage	14,953 S.F. (109.2%)

Building Set Backs, Front, East (10'-0" to 20'-0" Required)

Side, South (10'-0" Required)	10'-0" to 24'-0"
Side, South (10'-0" Required)	14'-0" Building (20'-0" Required)
Side, West (10'-0" Required)	10'-0"

Unit Count (Complies w/Chapter 14 (M22702)(1) w/ 20% Allowable)

1st Floor (3 2-BR Units, 1 1-BR Unit)	4 Units
2nd Floor (6 2-BR Units, 6 1-BR Units)	12 Units
3rd Floor (6 2-BR Units)	6 Units
Total Unit Count (12 2-BR Units, 6 1-BR Units)	18 Units

Off-Street Parking (Complies w/Chapter 14 (M22702)(2), (M2280), Based on Medium Density) (21' x 11'-2 1/2' to 21' x 11'-6", 11' x 18'-2 1/2' to 22' Req'd) - 23 Spaces Provided (Minimum) (18' x 11'-2 1/2' to 22' Required)

Spaces Provided	23 Spaces Provided
Required (18' x 11'-2 1/2' to 22' Required)	23 Spaces Provided

Private Usable Open Space (Per Title 14 (M22702)(1) w/ 20% Allowable)

Unit #1 - 21' x 5' (Ver.)	Unit #1 - 12' x 5' (Deck)	Unit #1 - 12' x 5' (Deck)
Unit #1 - 21' x 5' (Ver.)	Unit #1 - 12' x 5' (Deck)	Unit #1 - 12' x 5' (Deck)
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Floor Area Ratio Based on Lot Area of 13,521 S.F.

First Floor	3,394 S.F.
Second Floor	3,394 S.F.
Third Floor	3,394 S.F.
Subtotal Floor Area (Including Units)	10,182 S.F. (75.3%)
Carport (Over 3 Units)	2,837 S.F.
Total Floor Area Ratio (11.1 Allowable)	10,182 S.F. (75.3%)
Maximum Building Height (60'-0" Allowable)	10'-0" A.F.P.

- SITE PLAN KEYNOTES**
- Entry Porch Includes Ramped, Colored Concrete w/ Overhead Light
 - Security Glass w/ Reinforced Concrete Retain Open Side Wall
 - Vehicle Turnaround Area No Parking - Walked Use For Show-Case Curbing & Light Maintenance. See Stormwater Management Plan.
 - Security Fence Around Gate Per Detail - Retaining Wall Below.
 - Restoration Area For Stormwater Management Plan.
 - Parking Lot Landscaping Area Receive Drainage From Driveway Drains.
 - Minimum Slope for Assembly Field and Landscaping 2% In Any Direction.
 - Structural Columns Per Building Plans.
 - Million of Yards Manufacture Plans.
 - Landscaping Plan 24" Above Finished Premises.
 - Access Station: 15' Track to 17' 1/2" Rise @ 2.37% Each Level (No Road).
 - Asphalt Pavement for Carport Areas 10' x 10' x 10' (Concrete Alternately For Asphalt)
 - Traditional 42" High White Picket Fence w/ 1/2" Post @ 24" OC (Spacing) Typical.
 - Aluminum "Decorative" Retaining Wall w/ Function (N/A) (When Permitted)
 - Retaining Wall Concrete. See Landscaping Plan.
 - Vegetated Grass Swale. Certain Erosion Drainage From Adjacent Restoration Area To Rock-Filled Dry Well System Per Detail.
 - See Utility Plans For Public View (No Concrete Wall).
 - Trail/Service Structure (18' x 12'). Concrete Block w/ Manning Tile Back Rest.
 - Concrete Entry Station: 18' Track @ 11', 18' Rise @ 2.37%, Landing @ 4", Non-Skid Finish.
 - Typical 4" Concrete Curb On Site. Depth Below Finish Grade Varies.
 - Deep Slope Water Proof Retention (Shade) Picket Fence From Car Wash Overpass.
 - 200-Amp Main Electrical Panel.
 - Low Impact Development Storm Water Management Devices Per Detail.
 - Water Meter. Provide Discharge Vehicle View Of Approaching Substandard Wall.
 - 33'-0" Parking LED Sign & Concrete Traffic Warning Light - CMAA/CTD 2014 Completion.

- PROJECT DESIGN GENERAL NOTES**
- All Civil Site Improvements Are Existing Unless Otherwise Noted.
 - Relocation Of Any "As-Is" Utilities Is Permitted By SDG&S Municipal Code (313.041)(4).
 - Landscaping Symbols Are Depicted For Illustrative Purposes Only. They Should Not Be Considered As The Designer's Construction Details. Final Design Drawings And Applications For A Building Permit Will Include A Landscaping Plan, Irrigation Plan, Water Conservation Analysis And Maintenance Schedule To Be Designed By A Licensed Landscaper.
 - Finished Floor Elevations Of Apartment Complex On The Property To The South Of Subject Area Based On Measurements On The Exterior Of The Structure.
 - Permitting On Work And Soil Erosion Control At Building Will Exceed A Minimum Of 24" Below Adjacent Grades. See Geotechnical Engineering Report By TerraPublic Consultants, Inc.
 - Finished Floor Or Deck Elevations And Finished Grades To Be Verified By A Licensed Land Surveyor Or Registered Professional Engineer.
 - Retaining Walls On The Subject Area To Be Height As Permitted By San Diego Municipal Code (313.040)(2)(b).
 - Engineering Data For All Structures Are Management Practice And Low Impact Development Design & Best Management Practices Depicted On This Site Plan Are Detailed In Storm Water Management Drawing To Be Submitted For Building Permit.
 - 8" Spine Between Structural Support Columns Not Included In Soil Wash Calculations.
 - All Grades In The Public Right Of Way On Or Adjacent Properties Are Existing To Remain.

SITE IMPROVEMENT NOTES

Asphalt Concrete (Driveway & Turnaround Area Only)	1,921 S.F.
Concrete Permanent Enclosed Parking Area	1,176 S.F.
Retaining Wall (Height Varies From 2' to 12')	402 L.F.
Landscaped Area (Includes Restoration Area)	3,435 S.F.
Concrete Paved Walk (Includes Public Walk, B.S.W.)	941 L.F.
Concrete Paved Walk (Includes Public Walk, B.S.W.)	562 S.F.
Concrete Paved Walk (Includes Public Walk, B.S.W.)	421 L.F.
Concrete Paved Walk (Includes Public Walk, B.S.W.)	520 S.F.
Picket Fence (24" High) (Retaining Wall)	215 L.F.
Permeable Pavers (Restoration Area)	194 S.F.

SITE PLAN LEGEND

Asphalt Paving	FF	Finished Premises
Concrete Paving	FF	Finished Premises
Landscaped Area (Includes Stormwater Management BMP Area)	FF	Finished Floor
Retaining Wall (Height Varies From 2' to 12')	FF	Finished Floor
Concrete Paved Walk (Includes Public Walk, B.S.W.)	FF	Finished Floor
Concrete Paved Walk (Includes Public Walk, B.S.W.)	FF	Finished Floor
Concrete Paved Walk (Includes Public Walk, B.S.W.)	FF	Finished Floor
Concrete Paved Walk (Includes Public Walk, B.S.W.)	FF	Finished Floor
Concrete Paved Walk (Includes Public Walk, B.S.W.)	FF	Finished Floor
Concrete Paved Walk (Includes Public Walk, B.S.W.)	FF	Finished Floor
Concrete Paved Walk (Includes Public Walk, B.S.W.)	FF	Finished Floor

SECTION & DETAIL SCHEDULE

Soil Wash Management	1/8" - Rock Filled Dry Well System, Typical
Driveway Through 4" Concrete On The Project's Primary Low Impact Development Device Per Management Of Site Drainage And Storm Water Quality	2/8" - Vegetated Filter Strip
Site Improvements And Retaining	3/8" - Retention Basin, Typical
Main Site Improvements And Retaining	4/8" - Vegetated Swale
Management Of Site Drainage And Storm Water Quality	5/8" - Prime Permanent Parking Area
Management Of Site Drainage And Storm Water Quality	6/8" - Retaining Wall With Property Line (Soil Wash)
Management Of Site Drainage And Storm Water Quality	7/8" - Retaining Wall With Property Line
Management Of Site Drainage And Storm Water Quality	8/8" - Retention Area w/ Property Line
Management Of Site Drainage And Storm Water Quality	9/8" - Retention Area w/ Property Line
Management Of Site Drainage And Storm Water Quality	10/8" - Track / Retaining Enclosure

LEGAL DESCRIPTION

Lot 12 of County Parcel, in the City of San Diego, County of San Diego, State of California, According to City of San Diego, 1112, Block 12, Parcel 12, in the County Records of San Diego, January 10, 1968, Beginning at the North Corner of the West Line of Lot 12, 102 Feet North of the Southwest Corner Thereof, Thence Parallel With The South Line of Said Lot 12, for the East Line of Said Lot 12, for the South of Survey 1968.

APPROXIMATE

City of San Diego Vertical Control Network, Southern Branch (1) at Intersection of Fifty-Third Street and E1 Canton Blvd. Elevation = 402.05.

Site Plan

Scale: 1" = 10'-0"

Project Designer	David Allen A/E 61478
Client	Lee & Associates
San Diego, CA	92119
Project No.	1112-23
Site Plan	Page 2 of 10

DATE: 28 Mar 2019

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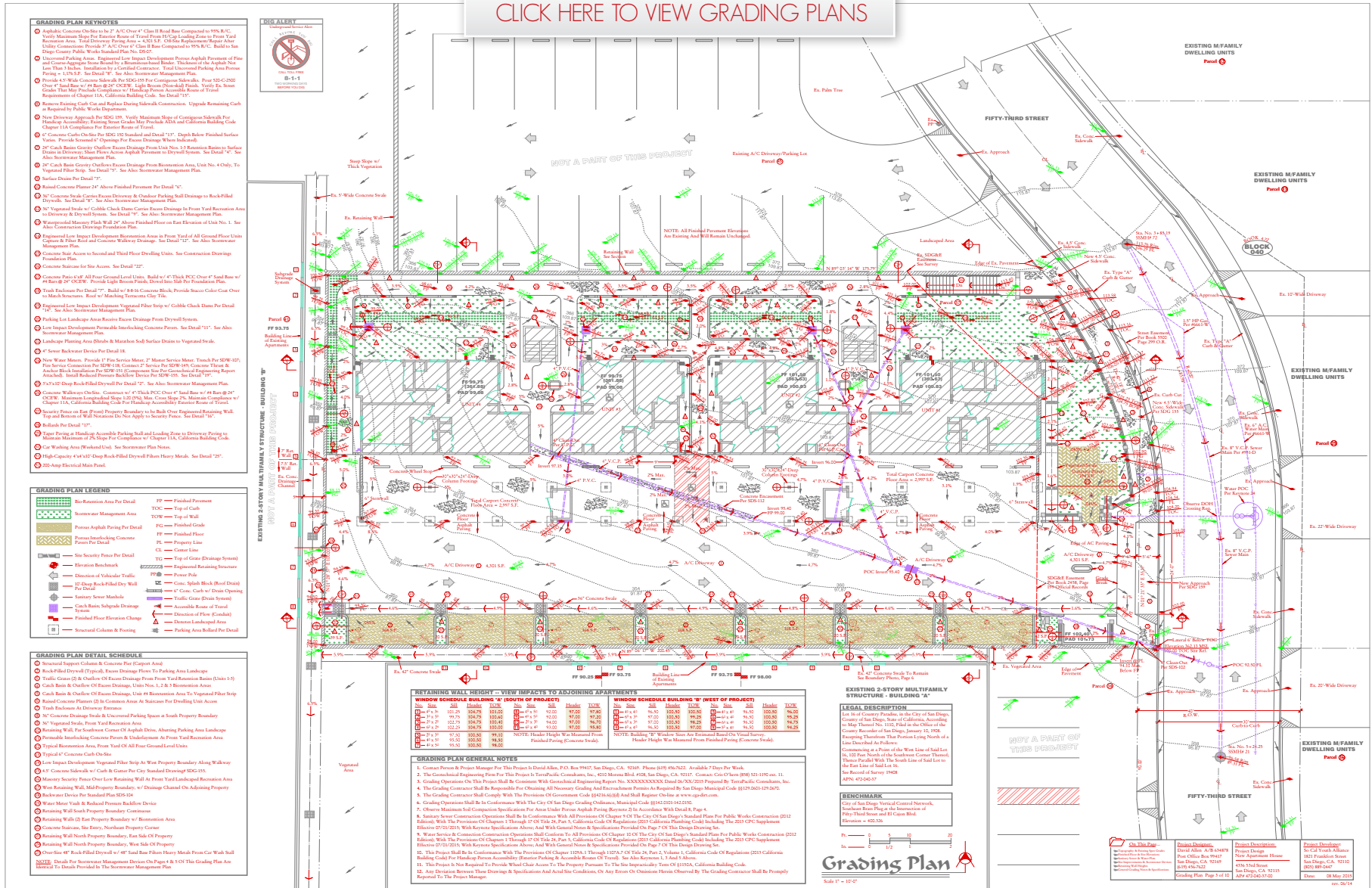
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18 UNIT APARTMENT SITE WITH APPROVED BUILDING PLANS

4336 53RD STREET - SAN DIEGO, CA

CLICK HERE TO VIEW GRADING PLANS

GRADING PLAN



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COMMERCIAL REAL ESTATE SERVICES

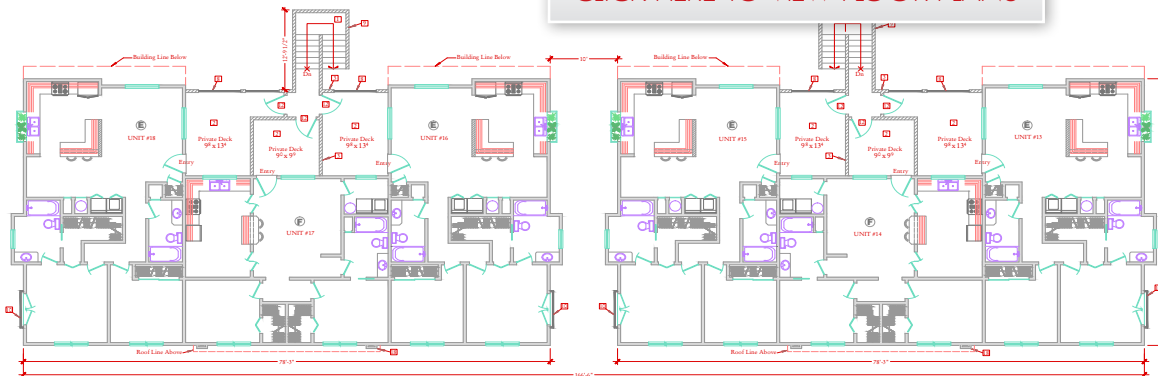
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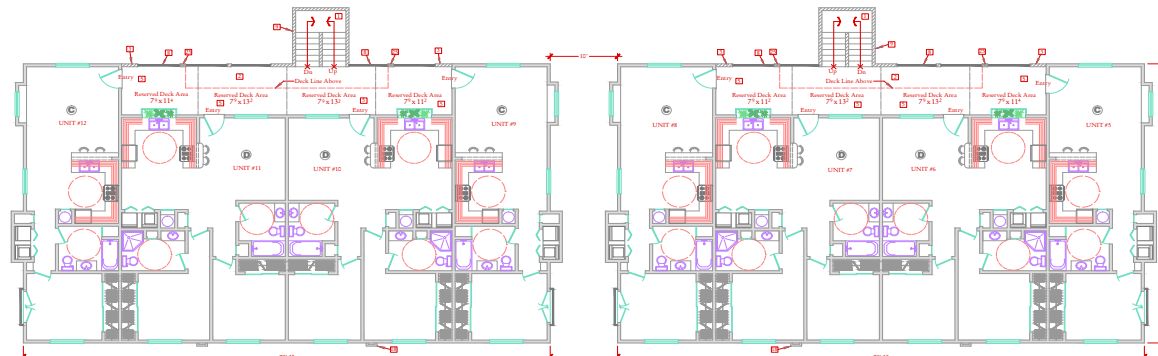
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FLOOR PLANS

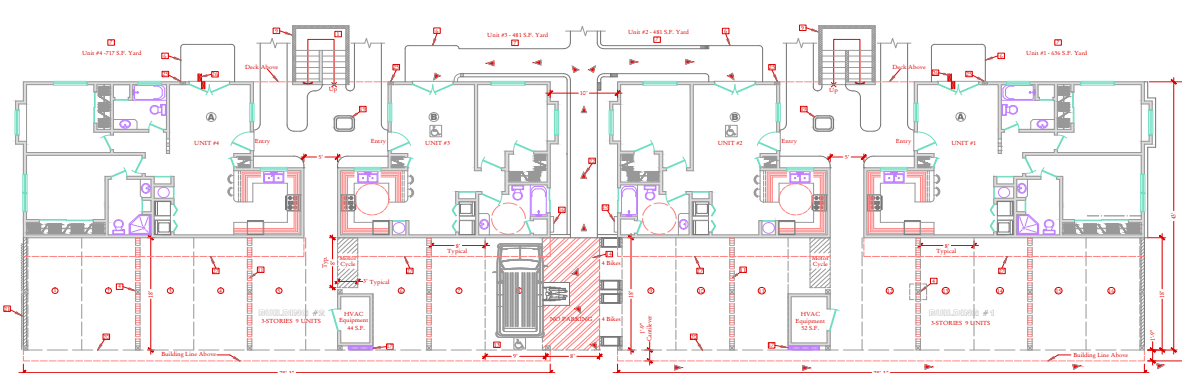
CLICK HERE TO VIEW FLOOR PLANS



3rd FLOOR PLAN
Scale 1/8" = 1'-0" Building Area = 5,245 S.F.
Deck Area = 851 S.F.



2nd FLOOR PLAN
Scale 1/8" = 1'-0" Building Area = 4,291 S.F.
Deck Area = 801 S.F.



1st FLOOR PLAN
Scale 1/8" = 1'-0" Building Area = 3,201 S.F.
Carpool Area = 2,837 S.F.

UNIT COUNT	
BUILDING 1	
1st Floor - Plan "A", 1 Bedroom / 1 Bath (Handicap Accessible)	1 Unit
2nd Floor - Plan "C", 1 Bedroom / 1 Bath	1 Unit
2nd Floor - Plan "D", 2 Bedrooms / 2 Bath	1 Unit
2nd Floor - Plan "E", 1 Bedroom / 2 Bath	2 Units
2nd Floor - Plan "F", 2 Bedrooms / 2 Bath	1 Unit
TOTAL BUILDING 1	6 Units
BUILDING 2	
1st Floor - Plan "A", 1 Bedroom / 1 Bath (Handicap Accessible)	1 Unit
2nd Floor - Plan "C", 1 Bedroom / 1 Bath	1 Unit
2nd Floor - Plan "D", 2 Bedrooms / 2 Bath	1 Unit
2nd Floor - Plan "E", 1 Bedroom / 2 Bath	2 Units
2nd Floor - Plan "F", 2 Bedrooms / 2 Bath	1 Unit
TOTAL BUILDING 2	6 Units
TOTAL UNIT COUNT BUILDINGS 1 & 2	12 Units

FLOOR PLAN KEYNOTES	
1	Concrete Slab-on-Grade: 13 Tr., 12.00", 14 Rise 7.7", 9.4" in. Walk.
2	Walking Deck: ICBO Approved Deck Cover 2-Ply Built-Up Surface.
3	Engaged End Studs: Minimum 4" x 4" Above Finished Floor.
4	Structural Support Columns: See Foundation Plan.
5	Private Deck Area: Except Notes & Egress For Adjoining Units.
6	6" x 8" Concrete Piles: Typical AB Ground Floor Units (6).
7	Yard Area: All Ground Floor Units Fully Enclosed w/ 42" High Picket Fence.
8	2.5" Galvalume Steel Pipe: Painted Black.
9	Walls: Exposed Concrete Structure Shall Maintain Height 8'0" Above Finished Floor. Where Noted Engineering Requires Vertical Load Support.
10	So-Roofing: 2'-5" Windows w/ Fins: Terrace. See Unit Plans Window Schedule.
11	Area Occupied By Structural Columns: Not Included In Required Parking Stall Dimensions.
12	42" Swing Gate For Entry To Deck & Driveway Unit.
13	Handicap Van Accessible Parking: 8' x 16', Min. 2% Slope In Any Direction.
14	Handicap Van Loading Zone: 8' x 18'. No Parking. Min. Slope 2%.
15	200-Amp Main Panel, Building #1.
16	200-Amp Main Panel, Building #2.
17	Structural Deck Grates: Exposed Excess Drainage From: Yard Units 1, 2, 3.
18	Paint-On Architectural Protection.
19	Raised Masonry Planter: 24" Above Finished Floor.
20	Break Line Concrete Floor (Carpool), As-Built Driveway.
21	Step: 3/4" Rise: 18" Run: 1:4 Slope: From: Vehicle Parked In Carport. See Elevations, See Also, Storm Water Management Plan.
22	Symbol Denotes Accessible Route of Travel.
23	Terraced: 6" x 18" Wash-Rinse-Park For Parking.
24	First Yard Restoration Area: See Site Plan.
25	6" x 10" Structural Columns: Carbon Look Deck Above.
26	Symbol Denotes 0" Change In Finished Surface.
27	Cooking/Moving Loading Storage Cabinet.

PROJECT BUILDING AREA TOTALS	
Building Area, Structure	14,537 S.F.
Building Area, Exterior Decking	1,606 S.F.
Building Area, Carport	2,837 S.F.

FLOOR PLAN GENERAL NOTES	
1	Exterior Doors & Window Schedules Provided On Page 6 (Site Plan)
2	Unit #1: 2 Bedrooms / 2 Bath Units, Will Be Reserved For One-Site Manager's Quarters.
3	Unit Nos. 12, 13 Bedrooms / 2 Bath Units, And Nos. 17, 18 Bedrooms / 2 Bath Units Will Be Reserved For Occupancy By Very Low Income Households (DCA, Area Median Income).

Floor Plans

On-File Page	Project Overview	Project Description	Project Developer
1	David Allen, A/E 648797	Private Residence	De Cal Vuokk Alliance
2	David Allen, A/E 648797	Site Assessment/Phase	855-12 Eagle Street
3	David Allen, A/E 648797	Site Assessment/Phase	4254 Hill Street
4	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
5	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
6	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
7	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
8	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
9	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
10	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
11	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
12	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
13	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
14	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
15	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
16	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
17	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
18	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
19	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
20	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
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23	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
24	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
25	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
26	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
27	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
28	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
29	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street
30	David Allen, A/E 648797	Site Assessment/Phase	1803 18th Street

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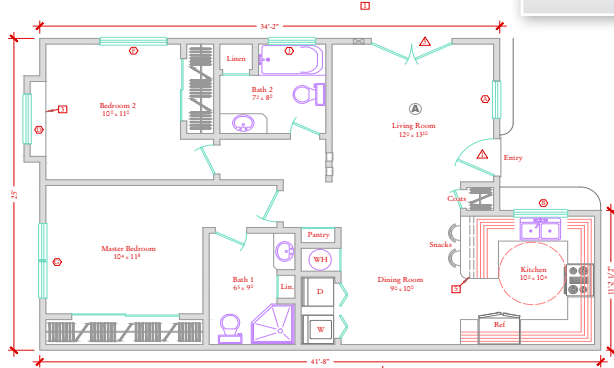
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18 UNIT APARTMENT SITE WITH APPROVED BUILDING PLANS

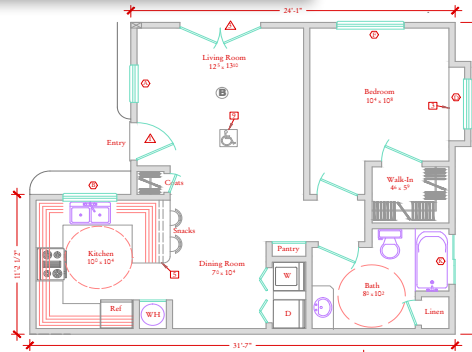
4336 53RD STREET - SAN DIEGO, CA

UNIT PLANS

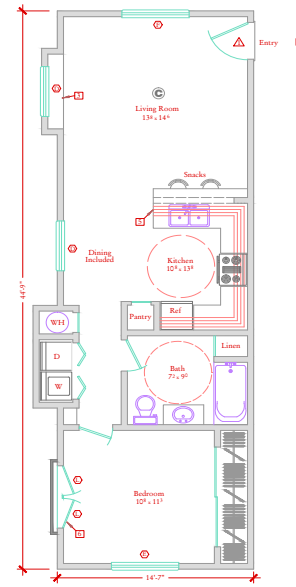
CLICK HERE TO VIEW UNIT PLANS



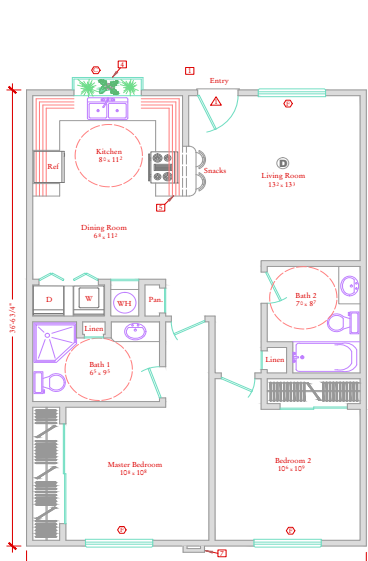
PLAN "A" 2 Bedroom/2 Bath 946 S.F.
Typical 1st Floor Units (2) Scale 1/4" = 1'-0"



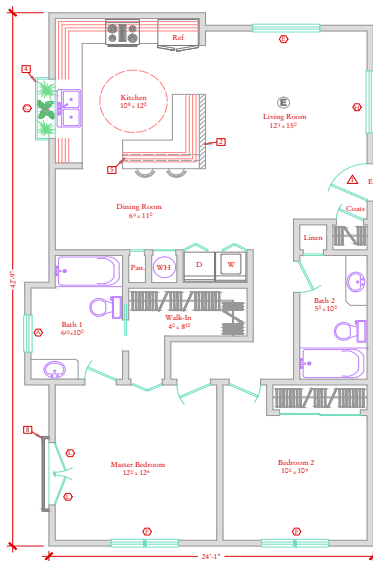
PLAN "B" 1 Bedroom/1 Bath 684 S.F.
Typical 1st Floor Units (2) Scale 1/4" = 1'-0"



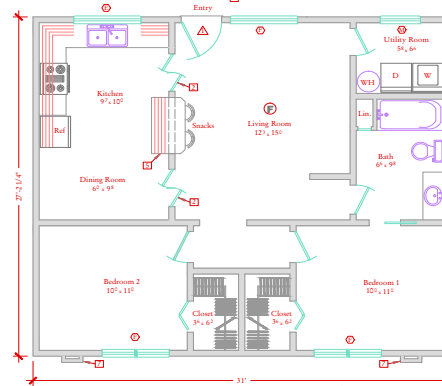
PLAN "C" 1 Bedroom/1 Bath 676 S.F.
Typical 2nd Floor End Units (4) Scale 1/4" = 1'-0"



PLAN "D" 2 Bedroom/2 Bath 922 S.F.
Typical 2nd Floor Interior Units (4) Scale 1/4" = 1'-0"



PLAN "E" 2 Bedroom/2 Bath 1,032 S.F.
Typical 3rd Floor End Units (4) Scale 1/4" = 1'-0"



PLAN "F" 2 Bedroom/1 Bath 843 S.F.
Typical 3rd Floor Interior Units (2) Scale 1/4" = 1'-0"

- UNIT PLAN KEYNOTES**
- Private Usable Open Space By Unit Listed On Site Plan
 - 6" Cafe Doors
 - Window Size 14" Wide Typical
 - Grided Windows
 - Pass-Through Breaker / Snack Bar All Units
 - Custom In-Swinging Terrace Windows Per Schedule
 - Plant-On Architectural Projection
 - Metal Railing Painted Black
 - Plan "B" Units Designated Handicap Accessible

DOOR & WINDOW SCHEDULE								
SYM	SIZE	DESCRIPTION	QTY	ORIENTATION (S.F.)			REMARKS	
				N	S	E	W	
EXTERIOR DOORS								
△	3' x 6'	Wood Entry Door	18					Solid Core
△	6' x 6'	Horizontal Slider	2					D.G. Metal Frame, Tempered
△	3' x 6'	French Swing	8					One Light, D.G., Tempered
WINDOWS								
○	3' x 3'	Single Hung	8					D.G. Metal Frame
○	4' x 3'	Single Hung	4					D.G. Metal Frame
○	5' x 3'	Fixed Garden	8					D.G. Metal Frame
○	4' x 4'	Single Hung	12					D.G. Metal Frame
○	5' x 3'	Single Hung	10					D.G. Metal Frame
○	5' x 6'	Single Hung	34					D.G. Metal Frame
○	6' x 4'	Single Hung	2					D.G. Metal Frame
○	6' x 3'	Single Hung	4					D.G. Metal Frame
○	3' x 2'	Single Hung	2					D.G. Metal Frame, Obscure
○	4' x 2'	Single Hung	2					D.G. Metal Frame, Obscure
○	2' x 3'	Cement, Sawing	16					D.G. Wood Frame
○	3' x 3'	Single Hung	2					D.G. Metal Frame

Unit Plans

On This Page - General Notes - Schedule - Specifications - Notes	Project Designer David Allen A/E/3/18478 Post Office Box 99417 San Diego, CA 92169 (619) 436-2422	Project Description New Apartment House 4336 53rd Street San Diego, CA 92115 ADM 4725663/2-02	Project Developer San-Cali Youth Alliance 809-1/2 Felipe Street San Diego, CA 92109 (619) 889-0447
Unit Plans Page 5 of 10			Date: 09 May 2015 rev. 06/04

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18 UNIT APARTMENT SITE WITH APPROVED BUILDING PLANS

4336 53RD STREET - SAN DIEGO, CA

CLICK HERE TO VIEW BUILDING PLANS

BUILDING PLANS

PROPERTY OWNERS

EAC, L.P. (PH)
Post Office Box 99417
San Diego, CA 92169

PROJECT DEVELOPER

Southern California Youth Alliance
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San Diego, CA 92110
www.socalyouthalliance.com (PH)

PROJECT CONSULTANTS

Project Manager, David Allen A/B 634878 (PH)
Land Survey, John S. Coffey L.S. 8733
Geotechnical Consultant, Chris O'Hara C.E. G. 2397
Consulting Civil, R. Mark Workman R.C.E. 68557
Structural Engineer, Trevor Turley, R.C.E. 59284
Structural Engineer, Amir Mirabbas, R.C.E. 69321
Storm Water, B.W.E. Engineering R.C.E. 64715
Landscape Architect, Julie Howard R.L.A. 2081
Electrical Engineer, John Bachoura R.C.E. 19677
Mechanical Engineer, Yat W. Lee R.C.E. C22206

ARCHITECTURAL PLANS

A.1 — Title Sheet & Project Information
A.2 — Site Plan
A.2.2 — Topographic Survey
A.3 — Floor Plans, Levels 1, 2 & 3
A.4 — Unit Plans A, B & C w/ Handicap Specs
A.4.2 — Unit Plans D, E & F
A.5.1 — Dimension Plan Building #1 First Flr.
A.5.2 — Dimension Plan Building #1 Second Flr.
A.5.3 — Dimension Plan Building #1 Third Flr.
A.5.4 — Dimension Plan Building #2 First Flr.
A.5.5 — Dimension Plan Building #2 Second Flr.
A.5.6 — Dimension Plan Building #2 Third Flr.
A.6.1 — Elevations Site Reference
A.6.2 — Elevations Building #1
A.6.3 — Elevations Building #2
A.7.1 — Sections A & B
A.7.2 — Sections C & D
A.8.1 — Details
A.8.2 — Details
A.8.3 — Details
A.9.1 — Handicap Construction Standards
A.9.2 — Handicap Construction Standards
A.10.1 — General Project Notes
A.10.2 — General Notes & Specifications
A.10.3 — General Notes & Specifications
A.11 — Schedules & Calculations
A.12.1 — Title 24 Detached. See "MF" Sheets
A.12.2 — Title 24 Detached. See "MF" Sheets

STRUCTURAL PLANS


S.1 — General Structural Notes
S.2 — Structural Schedules & Notes
S.3 — Foundation Plan Building #1
S.4 — First Floor Framing Building #1
S.5 — Second Floor Framing Building #1
S.6 — Roof Framing Building #1
S.7 — Foundation Plan Building #2
S.8 — First Floor Framing Building #2
S.9 — Second Floor Framing Building #2
S.10 — Roof Framing Building #2
S.11 — Structural Details
S.12 — Structural Details
S.13 — Structural Details
S.14 — Structural Details
S.15 — Structural Details
S.16 — Structural Details
S.17 — Special Inspection Notes

MECHANICAL PLANS

M.1 — Notes & Specifications
M.2 — Notes & Specifications
M.3 — 1st Floor Mechanical Plan B-1
M.4 — 2nd Floor Mechanical Plan B-1
M.5 — 3rd Floor Mechanical Plan B-1
M.6 — 1st Floor Mechanical Plan B-2
M.7 — 2nd Floor Mechanical Plan B-2
M.8 — 3rd Floor Mechanical Plan B-2
M.9 — Mechanical Details
M.10 — Mechanical Details
M.11 — Title 24 Calculations
M.12 — Title 24 Calculations
M.13 — Title 24 Calculations
M.14 — Calcs & General Notes

LANDSCAPE PLANS

L.1 — Title Sheet
L.2 — Irrigation Plan
L.3 — Irrigation Notes & Details
L.4 — Irrigation Details
L.5 — Irrigation Details
L.6 — Planting Plan
L.7 — Planting Details & Notes
L.8 — Landscapes & Water Calcs



HillSide Apartment-Homes 18 Units
436 FIFTY-THIRD STREET SAN DIEGO, CALIF. PICTURED BUILDINGS & 1-2 SEE LOCATION MAP (PH 802)

PROJECT SUMMARY

Zoning: CUPD-CT 2-4, RM 2-5 Zoning Applies
Lot Size: 19,501 S.F. (.447 Ac.)
Lot Coverage: Buildings Incl. Common Areas Under Structures: 6,780 S.F. (34.8%)
Tuck-Under Carports (Open Sides): Incl. 0 S.F. (0.0%)
Asphalt Driveway & Pervious Paving (Includes Parking Stalls): 5,661 S.F. (29.0%)
Landscaped Areas: 3,335 S.F. (17.1%)
Concrete Flatwork (Walkways, Patios, Concrete Swale): 2,184 S.F. (11.2%)
Subtotal Lot Coverage: 17,960 S.F. (92.1%)
Other (Uncovered Staircases(2), Perimeter Walls, Misc.): 1,541 S.F. (7.9%)
Total Lot Coverage: 19,501 S.F. (100%)

Building Set-Backs, Front, East (15'-0" to 20'-0" Required): 15'-0" to 22'-2"
Side, North (10'-0" Required): 14'-3" (Bldgs 23-24)
Side, South (10'-0" Required): 33'-0"
Rear, West (15'-0" Required) (2): 9'-0"

Unit Count (Complex w/ S.D.M.C. §143.0720(c)(1); 20% Affordable (Very Low-Income))
1st Floor: (2) 2-BR Units, (2) 1-BR Units: 4 Units
2nd Floor: (4) 2-BR Units, (4) 1-BR Units: 8 Units
3rd Floor: (6) 2-BR Units, (6) 1-BR Units: 12 Units
Total Unit Count (12) 2-BR Units, (6) 1-BR Units: 18 Units

Off-Street Parking (Complex w/ S.D.M.C. §143.0527(a)(2), 3(A)(B)(i); High Demand)
Cars (12 x 1.3-15.6-16, 6 x 1.0-6, 15 x 22+3-3-25 Req.): 25 Spaces Provided
Motorcycles (18 x 1-1+1-8-2.0 Required): 2 Spaces Provided
Bicycles (16 x 4-7-2-7.0 Required): 8 Spaces Provided

Private Usable Outdoor Open Space: Total 3,707 S.F. (18 Units)=206 S.F. Average Per Unit (PH)
Unit #1 - 696 S.F. (Yard) | Unit #7 - 91 S.F. (Deck) | Unit #13 - 127 S.F. (Deck)
Unit #2 - 472 S.F. (Yard) | Unit #8 - 87 S.F. (Deck) | Unit #14 - 92 S.F. (Deck)
Unit #3 - 471 S.F. (Yard) | Unit #9 - 86 S.F. (Deck) | Unit #15 - 127 S.F. (Deck)
Unit #4 - 623 S.F. (Yard) | Unit #10 - 91 S.F. (Deck) | Unit #16 - 110 S.F. (Deck)
Unit #5 - 86 S.F. (Deck) | Unit #11 - 102 S.F. (Deck) | Unit #17 - 88 S.F. (Deck)
Unit #6 - 104 S.F. (Deck) | Unit #12 - 86 S.F. (Deck) | Unit #18 - 148 S.F. (Deck)

Common Usable Outdoor Open Space (PH)
25 S.F. Per Unit x 18 Units=450 S.F. Required: 733 S.F. Provided

Resident Storage Area (Outside Unit) (PH)
240 Cubic Feet Per Unit x 18 Units=4,320 C.F. Required: 4,350 C.F. Provided

Floor Area Ratio (Based on Lot Area of 19,501 S.F.)
First Floor: 3,274 S.F.
Second Floor: 6,312 S.F.
Third Floor: 5,773 S.F.
Subtotal Floor Area (Dwelling Units): 15,359 S.F. (79.1%)
Carport (3 Sides): 2,825 S.F.
Total Floor Area / Ratio (1:1 Allowed): 18,184 S.F. / 93.1%
Maximum Building Height (40'-0" Allowed): 35'-1" (A.S.G.)

SHEET INDEX

EXISTING CONDITIONS

PHOTO #1: Existing site conditions showing the current lot and surrounding area.

SEE PHOTO KEY ON LOCATION MAP

PHOTO #2: Street view of the site location on Hillside Avenue.

PHOTO #3

PHOTO #4: Street view of the site location from a different angle.

GENERAL NOTES

- Planning District: Mid-City. City Heights. Adequate Sites Map: Grid 68. Site Inventory Page 735 of 1,327. Zone: CUPD-CT 2-4 (On Collector Streets), RM 2-5 Zoning Applies.
- Building Construction: Type 2B Wood-Framed, One-Hour Fire Rated (w/ Fire Sprinklers).
- 2013 California Building Code Occupancy Designation: Other "R-2".
- The Project Does Not Lie Within An FAA Part 77 Notification Area.
- Seismic Safety Study Map Grid 53 (Low/Moderate Risk). No Known Geologic Hazards.
- The Project Lies Within Flood Zone "X". Outside The 2% Annual Chance Flood Plain Per Community Panel #0607-C16391 (Effective 06/16/2012).
- Subject Property is Currently Unimproved; No Existing Vegetation Is A Protected Species.
- This Project is Requesting A Density Bonus Of 35 Percent Over The Otherwise Permissible Density Of 1 Dwelling Unit Per 1,500 S.F. Of Land Area In The RM 2-5 Zone (S.D.M.C. §143.0720(c)(2)). 2 Dwelling Units Will Be Deed-Restricted To Rents Affordable For Very Low-Income Households (50% Of A.M.I.) Per California Govt. Code §65919.
- This Project is Requesting Site Development Deviations As Authorized By S.D.M.C. §143.0910 As To Rear Yard Set Back (S.D.M.C. §131.0431(a)), Table 131-04(G) And Retaining Wall Height In The Side Yards (S.D.M.C. §131.0408(b)(3)).
- The Project is Requesting Site Development Deviations Per The City's Voluntary Handicap Accessibility Program (S.D.M.C. §145.4001, et seq). See Sheet A.10.1.

SHORT TITLE

HILLSIDE APARTMENT-HOMES - 18 Dwelling Units
4336 Fifty-Third Street, San Diego, CA 92115 (447 Acres)
Assessor's Parcel No. 472-040-37-00. Zone: RM 2-5

CONTACT PERSON - John David Allen, CEO (619) 629-0669
Southern California Youth Alliance, Inc. A 501(c)(3) Nonprofit.
Post Office Box 99417 San Diego, CA 92169

So Cal Youth Alliance
4336 FIFTY-THIRD STREET, SAN DIEGO, CA 92115
PH 802

Title Sheet: A.1 of 28
PH 802

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18 UNIT APARTMENT SITE WITH APPROVED BUILDING PLANS

4336 53RD STREET - SAN DIEGO, CA

CLICK HERE TO VIEW ELEVATIONS

ELEVATIONS



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