

# 20 Lot Final Map w/ Final Engineering Complete

3053 & 3055 Bancroft Dr | Spring Valley, CA 91977

- Site Development Plan & Final Map for 20 Single Family Homes
- Home sizes range from 1,531 SF - 1,750 SF
- 4,000 – 4,500 SF lot sizes
- Construction documents in process
- Average home sales in the immediate vicinity are over \$900,000

ASKING PRICE: \$5,750,000

Bancroft Dr

Lamar St

Avenida De Lamar



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Mt Miguel High School

CALIFORNIA 125

Bancroft Dr

Avenida De Lamar

Lamar St





Bancroft Dr

Lamar St

Avenida De Lamar

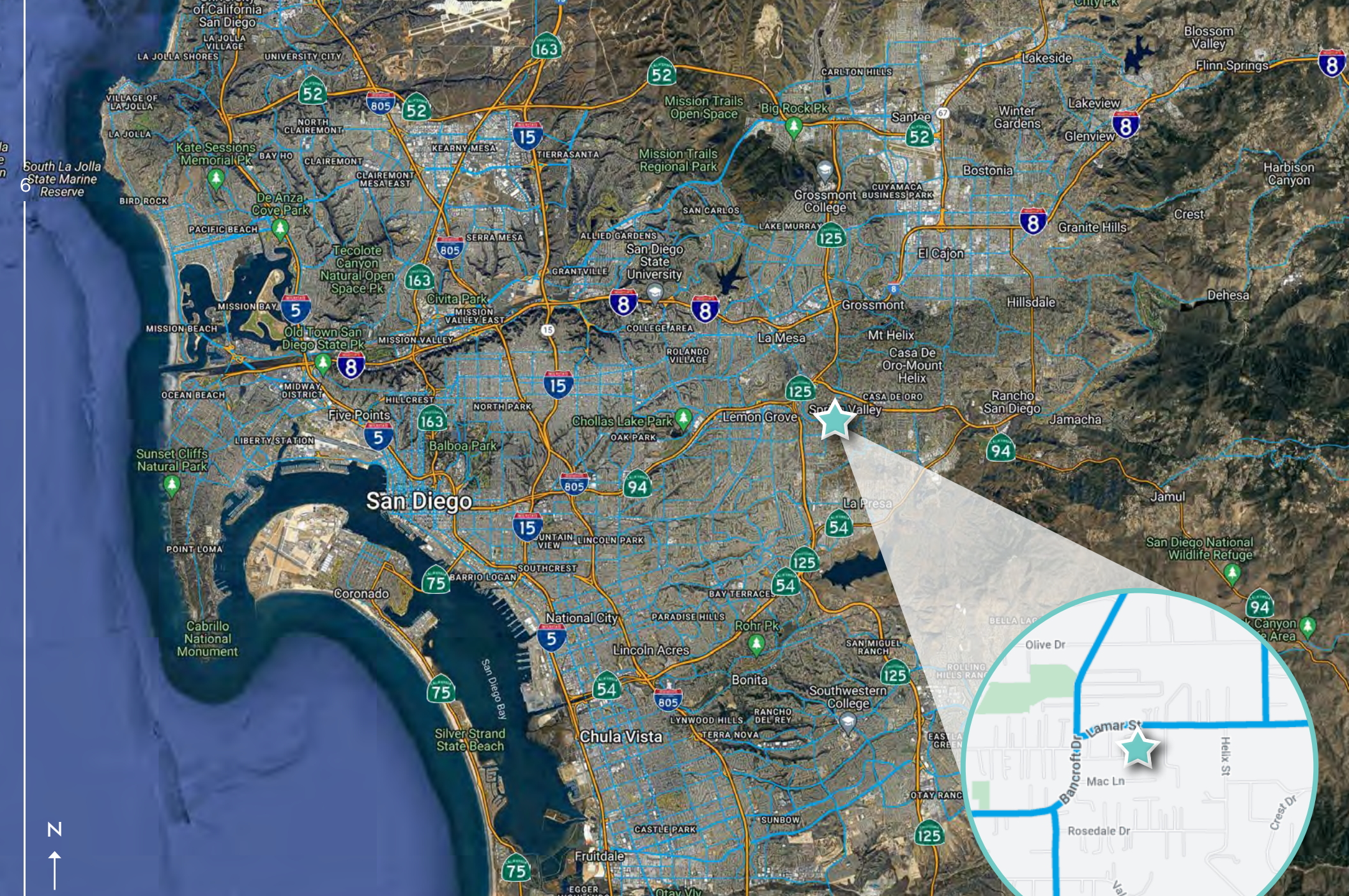




Avenida De Lamar

N  
↑

aerial



location map

# property information

## location:

The subject property is located at 3053 & 3055 Bancroft Drive in Spring Valley, California. The property is located just South of two major freeways providing direct access to I-125 and Highway 94.

## property profile:

The subject property currently has a final map for 20 single-family lots. All improvement plans are approved, and the house plans have been submitted. The project is in an excellent location and will bring much needed housing to the area.

**\*Full plans and Due Diligence information will be provided upon a signed agreement.**

## jurisdiction:

County of San Diego

## APN:

504-113-39-00: 1.25 acres

504-113-20-00: 1.23 acres

Total: → 2.48 acres



## zoning:

Variable Family Residential (RV)

[Click here to view RV Zoning](#)

## general plan:

Village Residential (VR-7.3)

## density:

7.3 du/acre

## max height:

25' or 2 stories

## minimum lot size:

4,000 – 4,500 SF lots

## entitlement status:

Final Map, Site Development Plan

A grading permit can be pulled immediately. House plans have been submitted as well.

## estimated remaining costs:

\*Click Links to View Cost Breakdowns

[Grading, Walls, footings, landscaping](#) - \$560,000

[Offsite improvements, Drainage, Wet and Dry Utilities](#) - \$343,000

[Fees including Building Permit](#) - \$503,000

**Estimated Total - \$70,300 per lot based on 20 lots.**

## hoa:

Estimated to be \$200 per month. The road in the subdivision will be a private street to be maintained through a private road maintenance agreement which is already completed.

## school district:

La Mesa-Spring Valley & Grossmont Union High School District

## services:

Water: Helix Water District

Sewer: Spring Valley Sanitation District

Gas/Electric: SDG&E

Fire: San Miguel Fire Protection District

Police: San Diego County Police Department – Spring Valley

## Asking Price:

\$5,750,000



# plot plan

## VISTA DE LAMAR CONDOMINIUMS PLOT PLAN

Project # PDS2019-STP-19-006 ind. 14 sheets  
 was approved on 12/04/2020 by  
 The Director of Planning & Development Services  
 The Zoning Administrator  
 The San Diego County Planning Commission  
 The San Diego County Board of Supervisors  
 By: [Signature] Planning Manager  
 Title

- LEGEND:**
- EXISTING FEATURES:**
- 1 BUILDING TO REMAIN
  - 2 POWER POLE TO BE REMOVED
  - 3 RETAINING WALL TO REMAIN
  - 4 SIDEWALK
  - 5 RETAINING WALL TO BE REMOVED
  - 6 SEWER LINE
  - 7 CHAINLINK FENCE TO REMAIN
  - 8 CONCRETE BROWTOUCH
  - 9 CENTERLINE OF A 4' WIDE SOGAGE EASEMENT PER DOC. RECORDED FEBRUARY 19, 1929 AS BOOK 1596 PAGE 149, DEEDS
  - 10 ROAD AND PUBLIC UTILITY EASEMENT PER DOC. RECORDED JULY 10, 1969 AS FILE NO. 124021 & SOGAGE EASEMENT PER DOC. RECORDED AUGUST 12, 1962 AS DOC. NO. 1982-24939
  - 11 ROAD EASEMENT PER DOC. RECORDED SEPTEMBER 7, 1960 AS FILE NO. 18997
  - 12 SPRING VALLEY SANITATION DISTRICT SEWER EASEMENT PER DOC. RECORDED LINE 2, 1958 AS FILE NO. 07337
  - 13 STREET LIGHT
  - 14 6" SEWER EASEMENT AS SHOWN ON COUNTY AS-BUILT 59-12-16
  - 15 SIDEWALK
  - 16 CURB & GUTTER
  - 17 CHAINLINK FENCE TO REMAIN
  - 18 BUILDING TO BE REMOVED
  - 19 AC / GRAVEL ROAD
  - 20 WATER MAIN

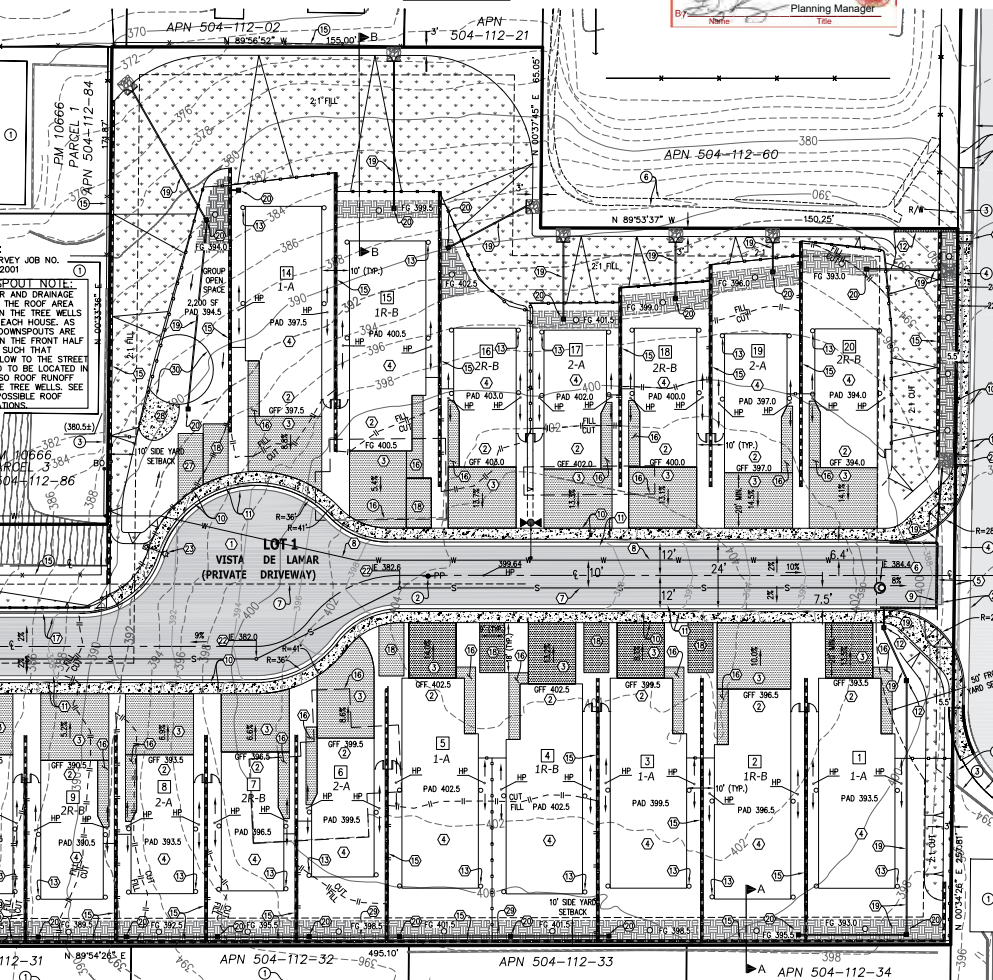
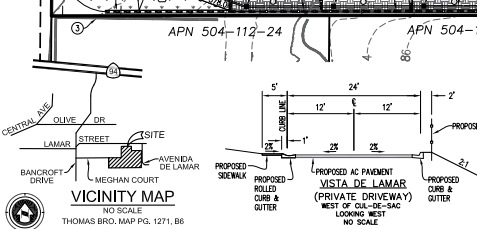
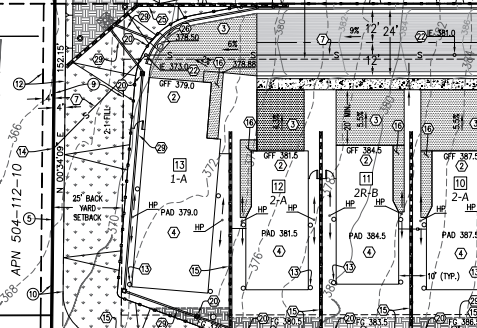
- PROPOSED FEATURES:**
- 1 FIRE TURN AROUND - NO PARKING
  - 2 2-CAR GARAGE
  - 3 DRIVEWAY (POROUS CONCRETE)
  - 4 SINGLE FAMILY RESIDENCE
  - 5 PUBLIC ROAD DEDICATION
  - 6 PRIVATE SEWER MANHOLE
  - 7 PRIVATE 6" SEWER LINE
  - 8 FRENCH DRAIN TO OUTLET INTO NORTH TREE WELL
  - 9 5" S1 SEWALK (FROM FACE OF CURB TO BACK OF SIDEWALK)
  - 10 BILLED CURB & GUTTER
  - 11 MASONRY RETAINING WALL (6' MAX)
  - 12 ROOFTOP DOWNSPOUT (TP)
  - 13 KEystone RETAINING WALL (4' MAX)
  - 14 WALKWAY (4" (POROUS CONCRETE) (TP)
  - 15 CURB & GUTTER
  - 16 GUEST PARKING SPACE (6 SPACES)
  - 17 6" PVC STORM DRAIN PIPE
  - 18 CATCH BASIN (TP)
  - 19 CROSS CUTTER
  - 20 PRIVATE SEWER CLEANOUT
  - 21 STREET LIGHT
  - 22 CURB OUTLET (SOUTHERN OF TWO CURB OUTLETS ALONG AVENIDA DE LAMAR IS MODIFIED TO SLOPED TOWARDS TREE WELL)
  - 23 KEystone RETAINING WALL (6' MAX)
  - 24 TYPE 'A' CURB INLET
  - 25 ADA PARKING SPACE
  - 26 CONCRETE PAD (250 SF, DE-MINIMUM AREA)
  - 27 10" PVC STORM DRAIN PIPE

**EARTHWORK QUANTITIES:**  
 CUT= 11,000 CY  
 FILL= 10,000 CY  
 SHRINKAGE (10%) = 1,000 CY  
 EXPORT= 0 CY

**SOURCE OF TOPOGRAPHY:**  
 PHOTOGEODETIC AERIAL TOPO SURVEY JOB NO. 283801A FLOWN SEPTEMBER 29, 2007

**ROOF DOWNSPOUT NOTE:**  
 THE STORM WATER AND DRAINAGE DESIGN REQUIRES THE ROOF AREA TO BE TREATED IN THE TREE WELLS IN THE BACK OF EACH HOUSE. AS SUCH, NO ROOF DOWNSPOUTS ARE TO BE LOCATED IN THE FRONT HALF OF THE BUILDING SUCH THAT RUNOFF WOULD FLOW TO THE STREET AND ARE INSTEAD TO BE LOCATED IN THE BACK HALF SO ROOF RUNOFF WILL FLOW TO THE TREE WELLS. SEE PLAN VIEW FOR POSSIBLE ROOF DOWNSPOUT LOCATIONS.

**BASIS OF ELEVATIONS:**  
 DESCRIPTION: 3" BRASS DISK IN 8" SQUARE CONCRETE MONUMENT.  
 ELEVATION: 758.08'  
 DATUM: NGVD-29  
 SOURCE: COUNTY OF SAN DIEGO RUIS MONUMENT DETAIL, POINT NAME "VOLUNT"  
 PER ROS 5650  
 LOCAL BENCHMARK: 3" IRON PIPE WITH DISK STAMPED "LS 4088" LOCATED AT SOUTHWEST CORNER OF SITE (ELEVATION = 370.93)



- EXISTING IMPROVEMENT:**
- AC PAVEMENT
  - AC / GRAVEL PAVEMENT
  - 6" CHAINLINK FENCE
  - SEWER MAIN
  - SEWER MANHOLE
  - WATER MAIN
  - STREET LIGHT
- PROPOSED IMPROVEMENT:**
- GRADE SLOPE (2:1 CUT / 2:1 FILL)
  - AC PAVEMENT (PRIVATE DRIVEWAY)
  - PCC (SIDEWALK)
  - POROUS PAVERS (DRIVEWAYS, WALKWAYS, & PARKING SPACES)
  - FED RAMP PER RSD G-27 & G-31
  - MASONRY RETAINING WALL (6' MAX)
  - HOUSE UNIT NO.
  - BUILDING PLAN TYPE AND MODEL TYPE
  - PRIVATE 6" SEWER MAIN
  - PRIVATE SEWER MANHOLE
  - WATER MAIN
  - 51/2" RP RAP PER MODIFIED RSD D-40
  - DRAINAGE CATCH BASIN (GRATE) & 6" PVC DRAIN PIPE
  - FIRE HYDRANT
  - 15" DIAMETER TREE WELL
  - 25" DIAMETER TREE WELL
  - LIMITS OF AMENDED SOIL FOR TREE WELLS: TREE WELL SOIL LIMITS ALONG SOUTHERLY PROPERTY LINE ARE 1.5' NORTH OF KEystone RETAINING WALL PER SECTION A-A ON SHEET 2
  - 6' FENCE

**PROJECT DESCRIPTION:**  
 PROPOSED PROJECT TO CONSTRUCT 20 CONDOMINIUM UNITS. THE SITE WILL BE ACCESSED VIA A 24-FOOT PRIVATE DRIVEWAY FROM AVENIDA DE LAMAR. A TENTATIVE MAP (TM 5576) HAS BEEN APPROVED FOR THIS DEVELOPMENT.

**SITE ADDRESS:**  
 3055 BANCROFT DRIVE, SPRING VALLEY, CA 91977

**ASSESSOR'S PARCEL NUMBER:**  
 504-113-20 & 39

**LEGAL DESCRIPTION:**  
 A PORTION OF THE SW 1/4 OF THE NE 1/4 OF SECTION 32, T 10 S, R 1 W, SEM PER DEED RECORDED 2-22-19 AS DOC. NO. 2019-006560

**SITE AREA:**  
 TOTAL NET = 2.48 AC  
 TOTAL GROSS = 2.80 AC  
 GROSS ACREAGE INCLUDES THE ENTIRE BOUNDARY AS SHOWN PLUS THE ADJACENT HALF WIDTH OF AVENIDA DE LAMAR.

**PARKING:**  
 RESIDENTIAL PARKING: 40 GARAGE + 48 DRIVEWAY / 40 REQUIRED (20 DU X 2)  
 GUEST PARKING: 7 PROVIDED (6 REGULAR & 1 ADA) / 4 REQUIRED (20 DU X 0.2)

**SETBACKS:**  
 FRONT YARD: 50' SIDE YARD: 10' REAR YARD: 25'  
 PRIVATE OPEN SPACE:

PRIVATE OPEN SPACE AREA (SF)	
1	1,170
2	1,185
3	1,244
4	1,274
5	1,299
6	1,060
8	970
9	837
10	880

MINIMUM AREA REQUIRED = 350 SF / DWELLING UNIT  
 GROUP OPEN SPACE:  
 REQUIRED = 2,000 SF  
 PROPOSED = 2,200 SF

**OWNERS/SUBDIVIDER:**  
 SKY TERRACE, LP  
 BY: 99 CONSTRUCTION, INC.  
 [Signature] 4/15/20

**BRENDAN THESSAN, PRESIDENT**  
 99 CONSTRUCTION, INC.  
 1000 PIONEER WAY  
 EL CAJON, CA 92020  
 (619) 977-1552

**PREPARED BY:**  
 [Signature] 4/15/20  
 LAWRENCE W. WALSH RCE 46316 DATE  
**Walsh Engineering & Surveying, INC.**  
 897 NEWPORT BLVD. #100 EL CAJON, CA 92020  
 (619) 588-6747 (619) 792-1232 Fax

SDC RCPD 11-20-20  
 STPS-19-006

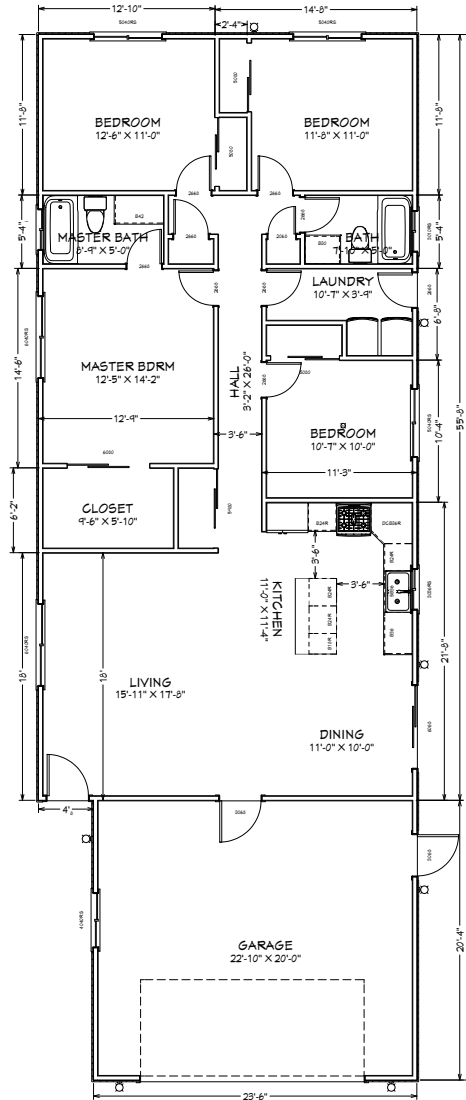
PDS2019-TM5676; PDS2019-ER-13-18-003; VISTA DE LAMAR



# floor plan

9

**NOTE:** All outdoor lighting to be directed downward.  
 All outdoor lighting fixtures to be cutoff and shielded to prevent direct view of the light source and keep the light out of the viewer's line of sight. At least 90% of the light is projected below an angle of 80 degrees. No light is to be projected above the horizontal plane passing through the lowest light-emitting point of the fixture.



LIVING AREA  
1531 SQ. FT.

REVISION #	DATE	DESCRIPTION

## FLOOR PLAN

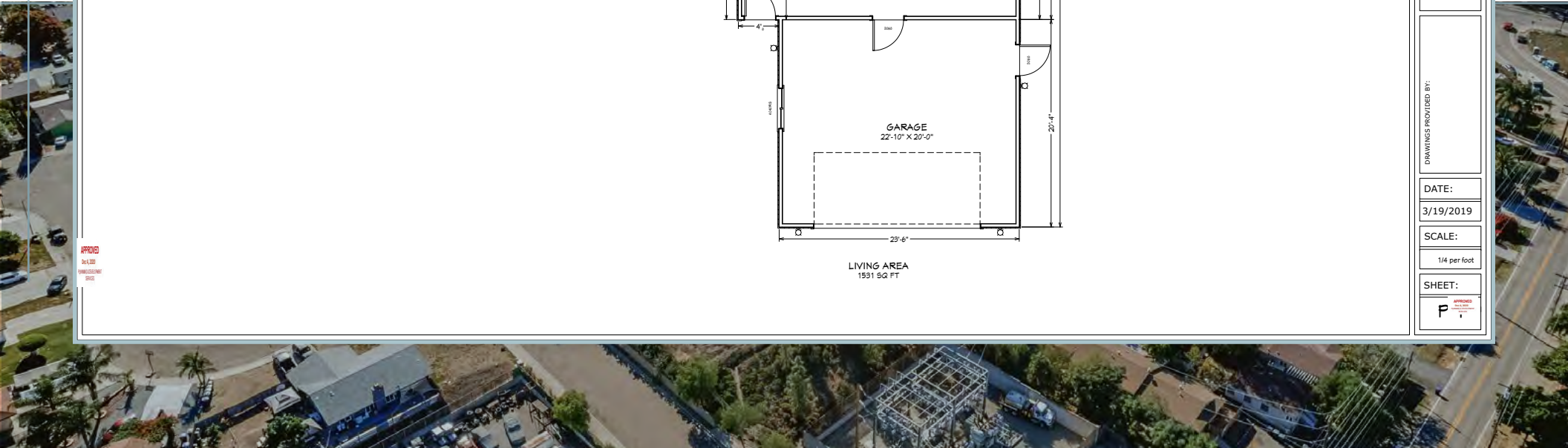
DRAWINGS PROVIDED BY:

DATE:  
3/19/2019

SCALE:  
1/4" per foot

SHEET:  
P

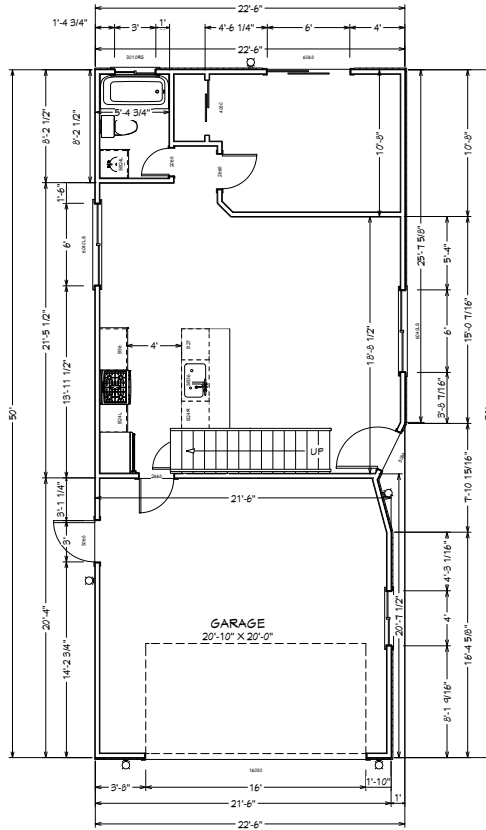
APPROVED  
SEALED  
PROFESSIONAL  
ENGINEER



# floor plan

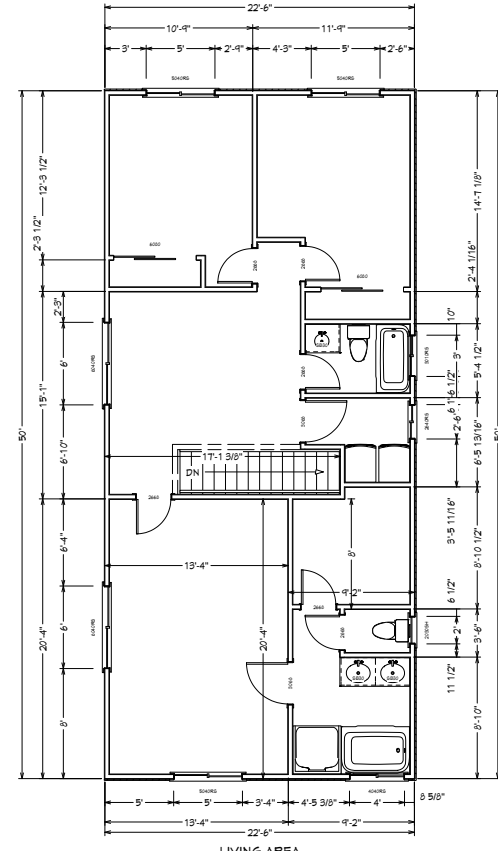
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LIVING AREA  
664 SQ FT

1st Floor



LIVING AREA  
1086 SQ FT

2nd Floor

REVISION #	DATE	DESCRIPTION

## FLOOR PLAN

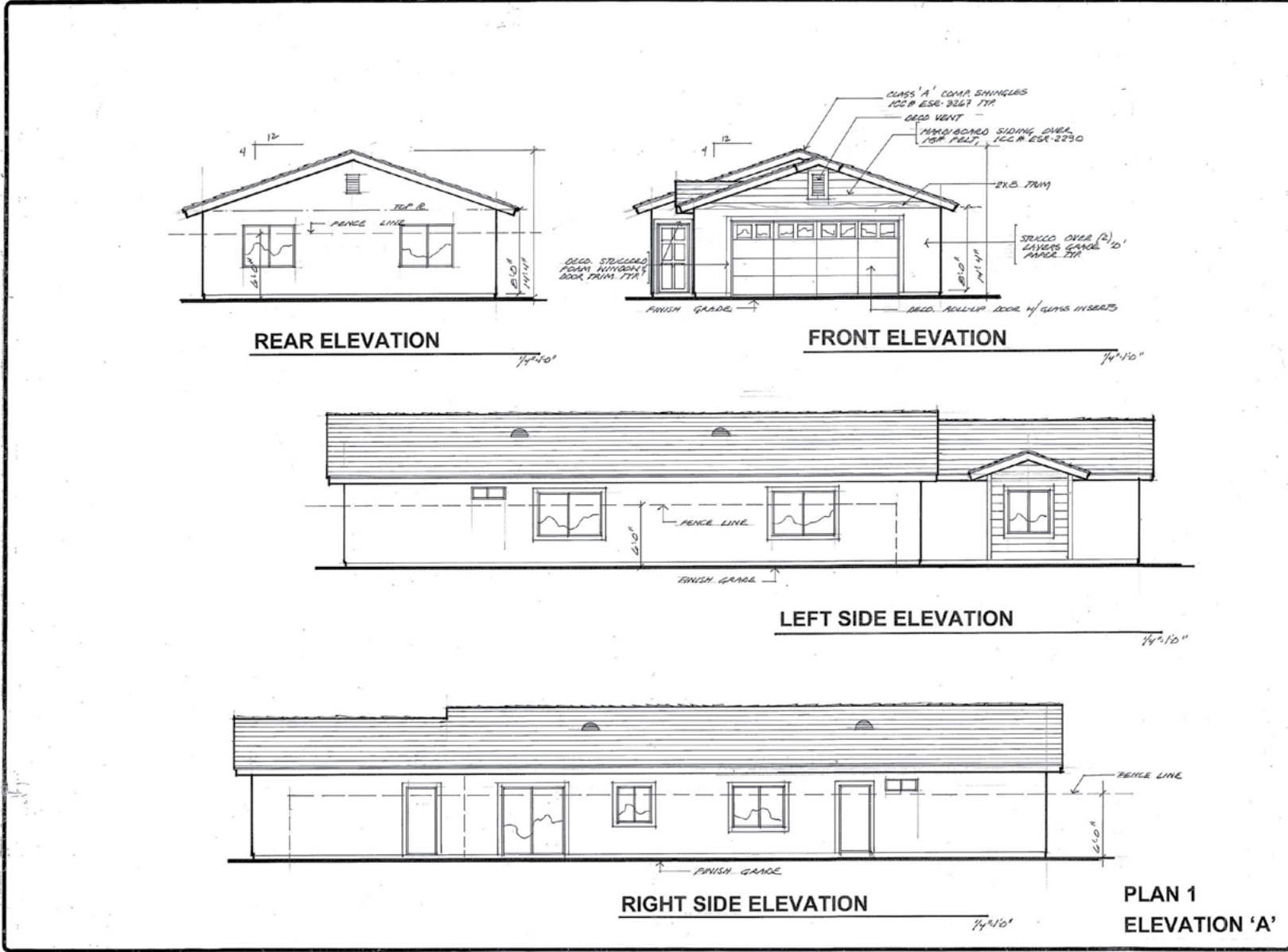
DRAWINGS PROVIDED BY:

DATE:  
3/19/2019

SCALE:  
1/4" per foot

SHEET #

APPROVED  
SEALED  
REGISTERED  
ARCHITECT



REVISIONS	BY

**Robin J. Franklin**  
Professional Building Designer  
25255 OAKANA ROAD  
RAMONA, CA. 92065  
(619) 624-0765

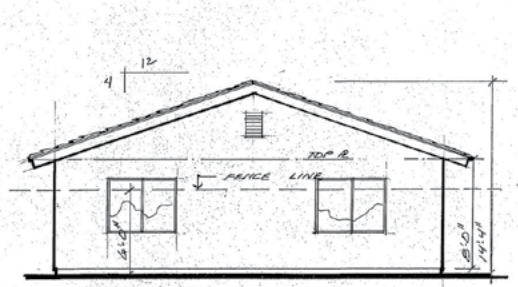
VISTA DE LAMAR

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CHECKED	
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JOB NO.	
SHEET	
APPROVED	
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DWG. NO.	
SHEET	

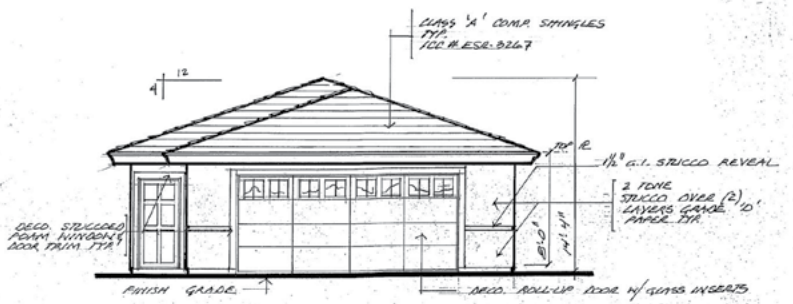
APPROVED  
S.A. DE  
SMB/LS/2016  
2/20

# elevations

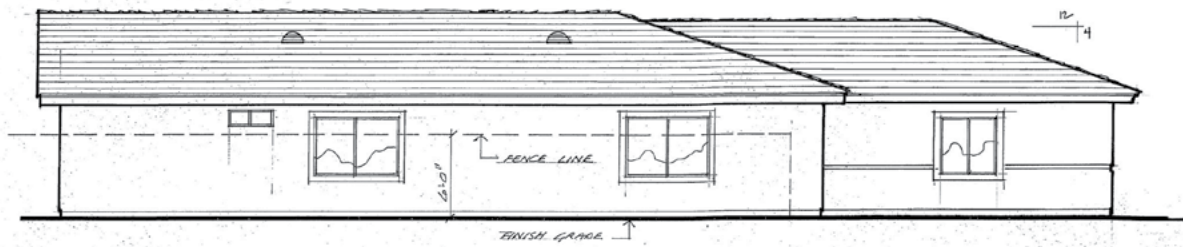
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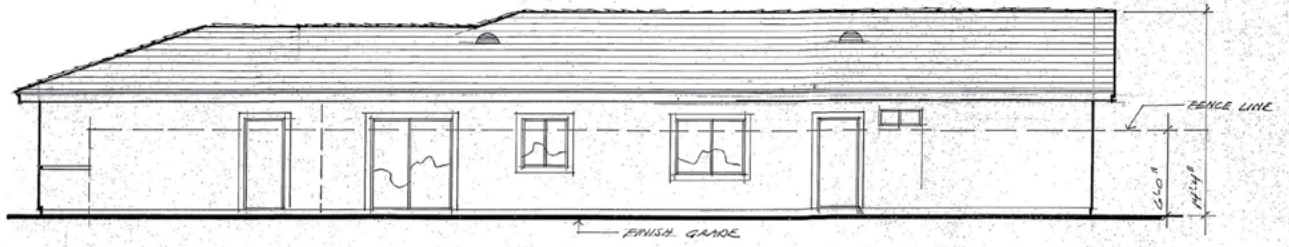
**REAR ELEVATION**  
14'0"



**FRONT ELEVATION**  
14'0"



**LEFT SIDE ELEVATION**  
14'0"



**RIGHT SIDE ELEVATION**  
14'0"

**PLAN 1  
ELEVATION 'B'**

APPROVED  
Dec 13/20  
RANNEY CONSULTING  
ENGINEERS

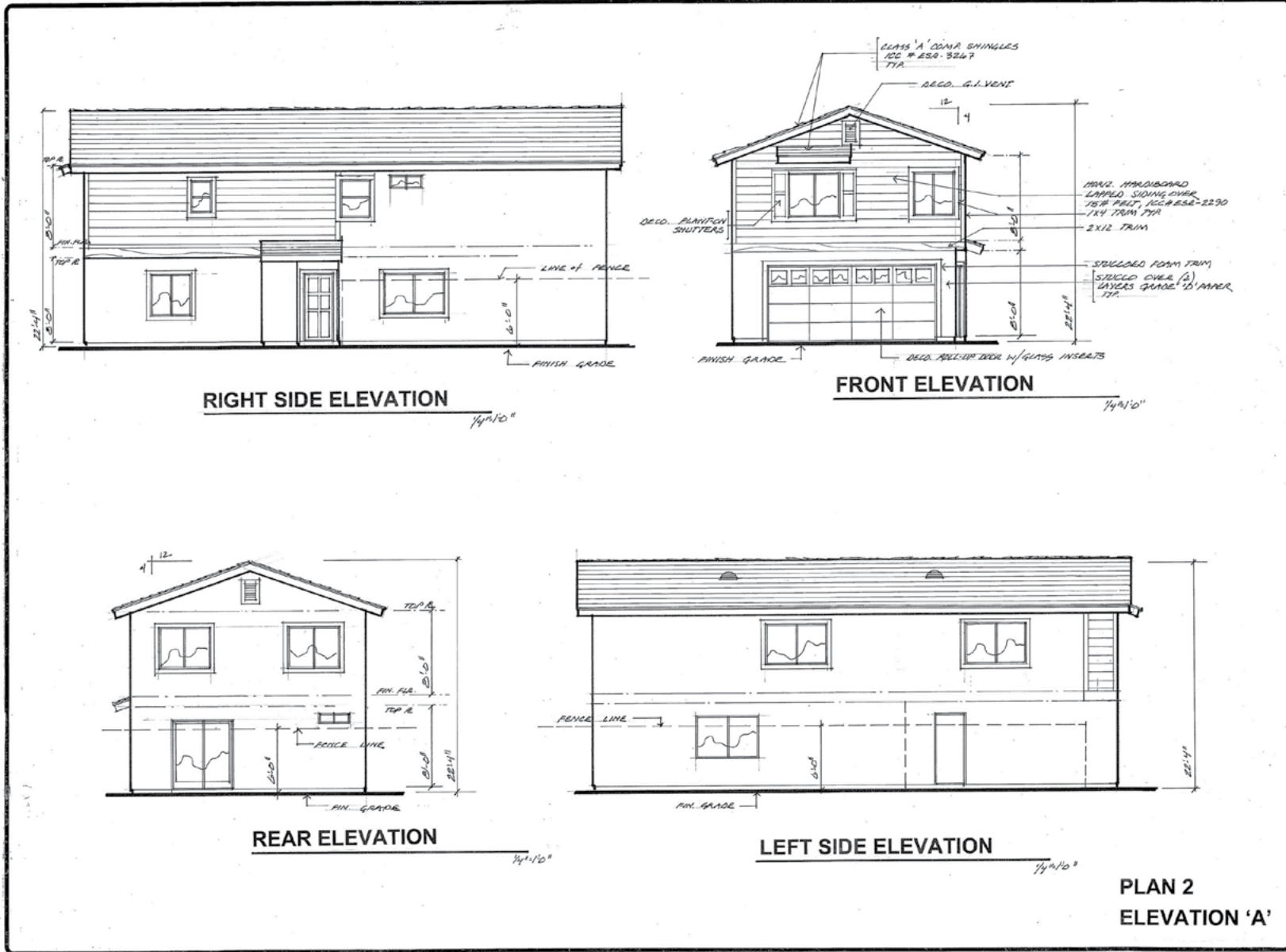
REVISIONS

ROBIN J. FRANKLIN, ARCHITECTURAL DESIGNER, HAS NOT BEEN RETIRED FOR ARCHITECTURAL PROFESSION AND THEREFORE HAS NO CONTROL OVER THE QUALITY OF ANY MATERIALS USED ON THIS PROJECT AND ASSURES NO LIABILITY FOR ANY DAMAGE TO THE PROPERTY OR PERSONS ON THE PROPERTY.

**Robin J. Franklin**  
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rjfranklin@ramfrank.com  
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DANFORTH, CA 94526

VISTA DE LAMAR

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REVISIONS	BY

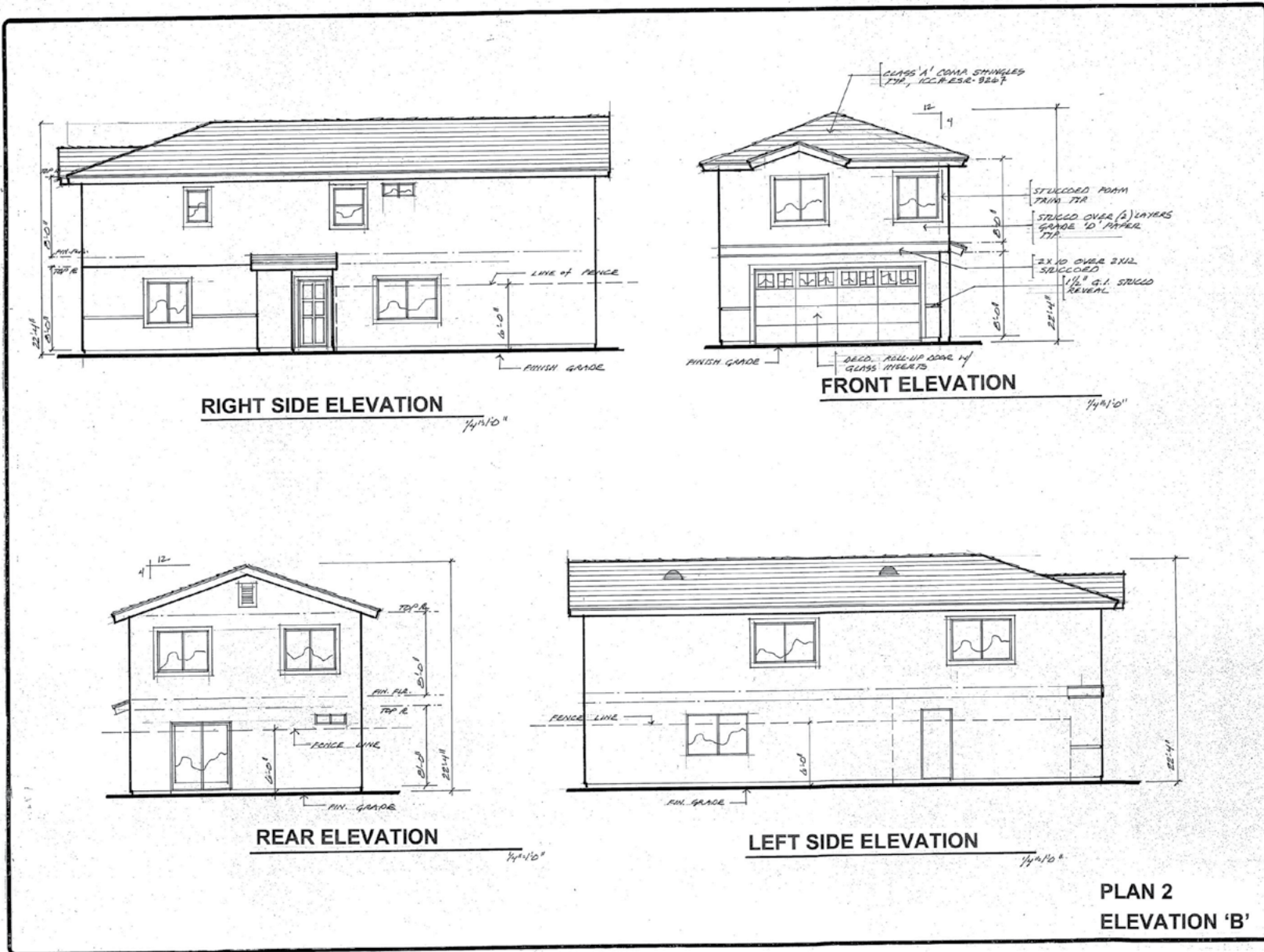
**Robin J. Franklin**  
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rfranklin@rjb.com  
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RAMONA, CA. 92085 (619) 624-0769

VISTA DE LAMAR

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	APPROVED
	DATE
	BY

PLAN 2  
ELEVATION 'A'

APPROVED  
S.A. LEO  
SMB/LEO/2012



**RIGHT SIDE ELEVATION**

**FRONT ELEVATION**

**REAR ELEVATION**

**LEFT SIDE ELEVATION**

**PLAN 2  
ELEVATION 'B'**

REVISIONS	BY

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VISTA DE LAMAR

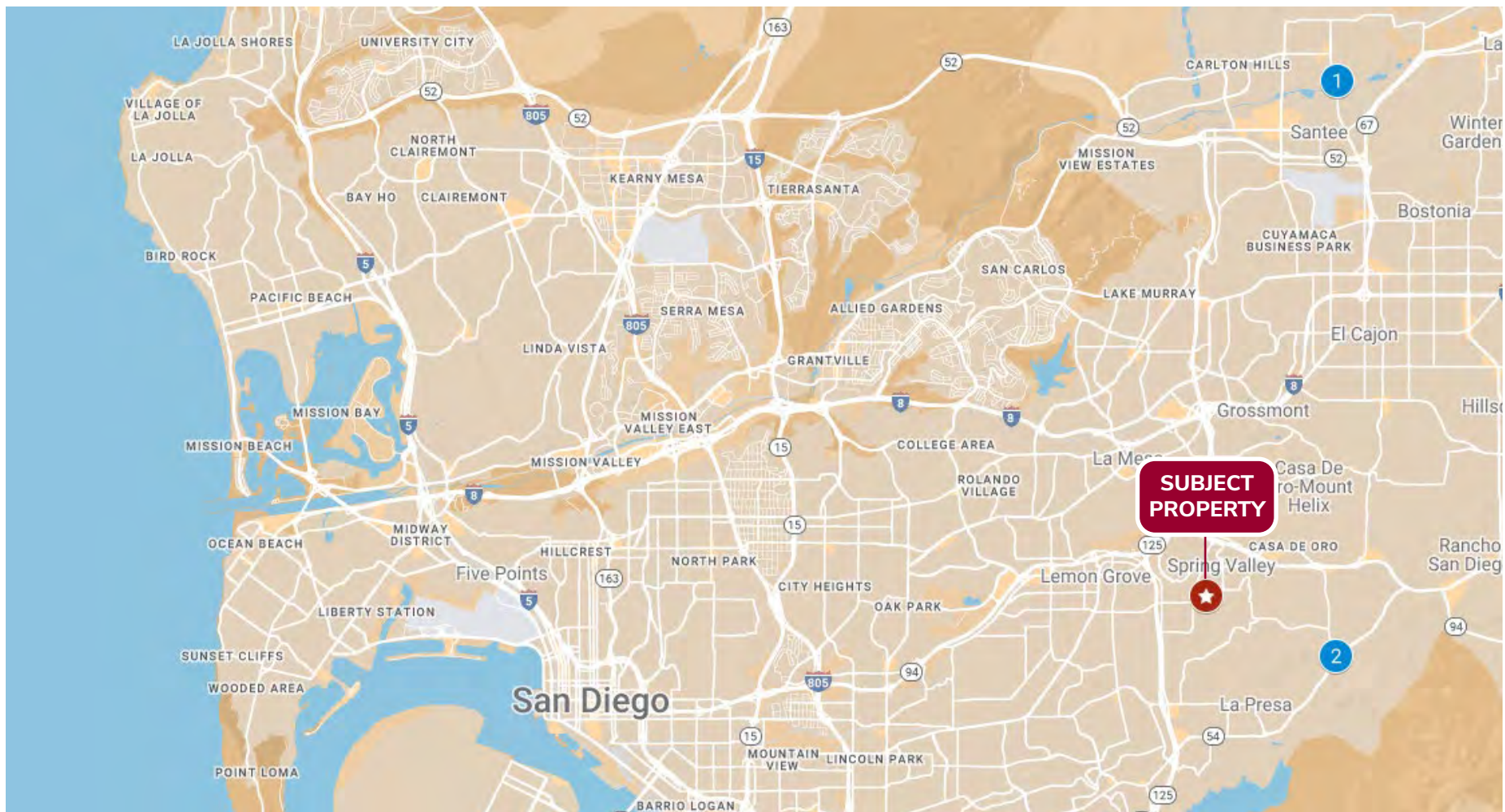
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DATE  
SIGNATURE

# new home comparable sales

15

	Project Name	Builder Name	City	Open Date	Product Type	Min Unit	Max Unit	Min Price	Max Price	Min \$/SF	Max \$/SF	Zip Code
1	Walker Trails	Mastercraft Homes	Santee	6/4/2022	Detached	2,016	2,384	\$880,379	\$1,026,000	\$430	\$437	92071
2	Crestline	KB Home	Spring Valley	4/21/2022	Detached	1,737	1,872	\$750,335	\$879,936	\$470	\$432	91978



# resale homes cma

## CMA Summary Report

### RESIDENTIAL Summary Statistics

High	Low	Average	Median
LP:\$997,000	\$810,000	\$886,599	\$880,000
SP:\$1,010,000	\$835,000	\$904,200	\$886,000

### RESIDENTIAL - Sold

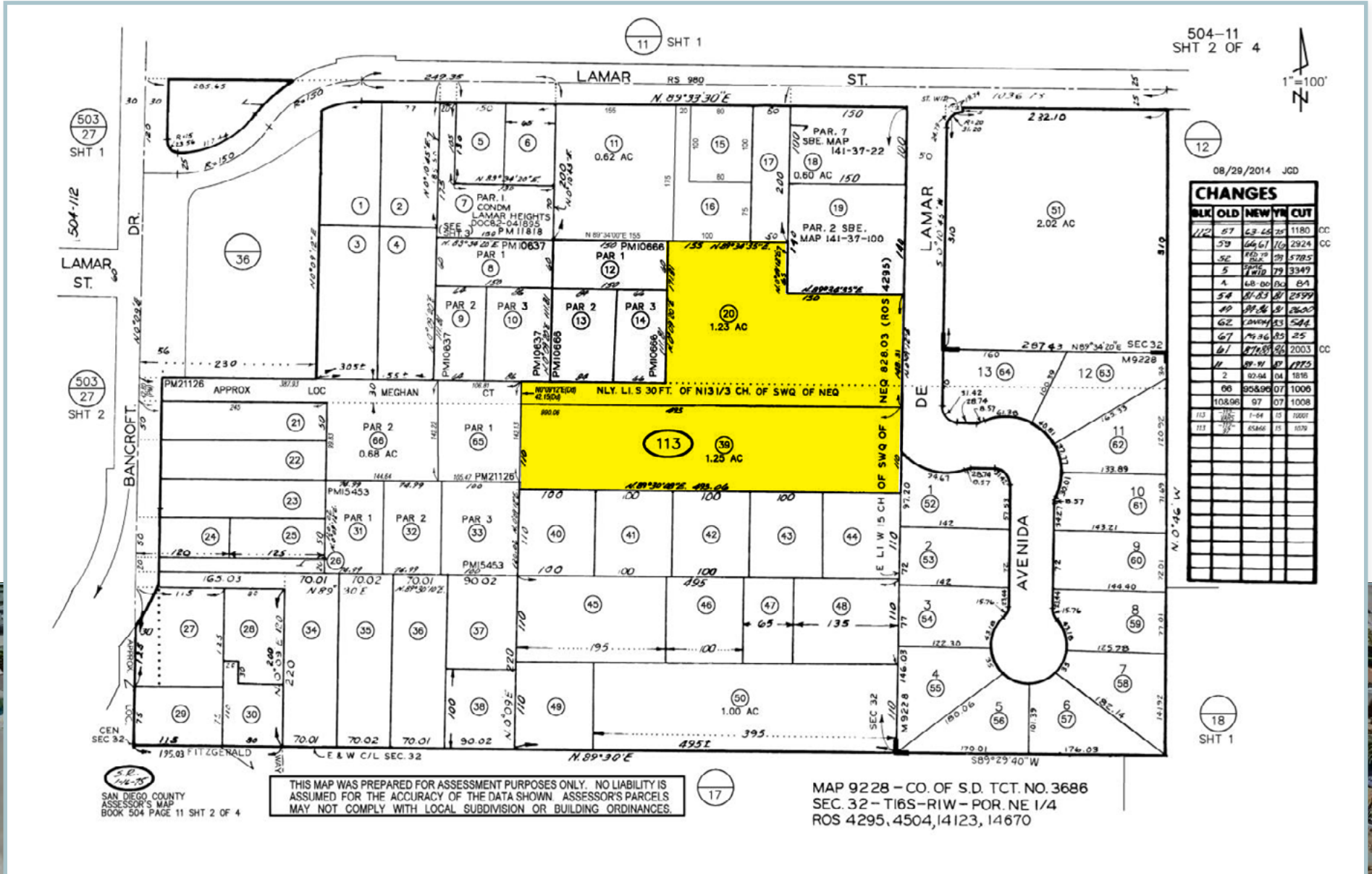
Number of Properties: 10

Num	MLS #	Stat	Prop	S Address	MLS Area	Mjr	Total Bdrms	Total Baths	Close Date	Lot Sz Sqft	Living Area	DOM	LP	LP/Living Area	SP	SP/Living Area
1	230008601SD	S	SFR	9407 Barbic Lane	SPRING VALLEY (91977)		4	2	6/28/2023	9,675.00	1813	6	\$810,000	\$446.77	\$835,000	\$460.56
2	PTP2302085	S	SFR	9531 Summerfield St.	SPRING VALLEY (91977)		4	3	5/30/2023	11,761.20	1518	4	\$850,000	\$559.95	\$850,000	\$559.95
3	230014802SD	S	SFR	3866 Spring	SPRING VALLEY (91977)		3	2	7/28/2023		1664	0	\$850,000	\$510.82	\$850,000	\$510.82
4	NDP2303878	S	SFR	2166 Helix St.	SPRING VALLEY (91977)		4	3	7/26/2023	20,473.20	2345	7	\$849,999	\$362.47	\$860,000	\$366.74
5	230009032SD	S	SFR	9393 Lori Mar Ct	SPRING VALLEY (91977)		4	4	7/13/2023		2228	0	\$865,000	\$388.24	\$867,000	\$389.14
6	230010860SD	S	SFR	3580 Saddle Drive	SPRING VALLEY (91977)		3	3	7/5/2023	12,000.00	1427	5	\$895,000	\$627.19	\$905,000	\$634.20
7	PTP2304128	S	SFR	3860 Rogers Rd	SPRING VALLEY (91977)		3	2	9/15/2023	20,473.20	1436	4	\$899,000	\$626.04	\$920,000	\$640.67
8	PTP2301718	S	SFR	9418 Montemar Drive	SPRING VALLEY (91977)		3	3	5/19/2023	86,248.80	2212	6	\$925,000 - \$950,000	\$429.48	\$965,000	\$436.26
9	230007812SD	S	SFR	3127 Rio Way	SPRING VALLEY (91977)		3	2	6/5/2023	10,936.00	1948	9	\$900,000	\$462.01	\$980,000	\$503.08
10	230015578SD	S	SFR	3526 Quail View St.	SPRING VALLEY (91977)		4	3	9/22/2023	6,371.00	2306	17	\$997,000	\$432.35	\$1,010,000	\$437.99
Avg							3	2		22242.30	1889	5	\$886,600	\$484.53	\$904,200	\$493.94
Min							3	2		6371.00	1427	0	\$810,000	\$362.47	\$835,000	\$366.74
Max							4	4		86248.80	2345	17	\$997,000	\$627.19	\$1,010,000	\$640.67
Med							3	3		11880.60	1880	5	\$880,000	\$454.39	\$886,000	\$481.82

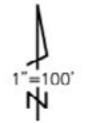


# tax map

17



504-11  
SHT 2 OF 4



08/28/2014 JCD

### CHANGES

BLK	OLD	NEW	YR	CUT	CC
112	57	63	25	1180	CC
59	64	67	16	2924	CC
52	70	79	57	5785	
5	1210	79	3349		
4	68-00	00	81		
54	81-83	81	2599		
49	81-83	81	2600		
62	24094	53	584		
67	79-86	85	25		
61	87-89	86	2003		CC
11	89-91	87	1775		
2	92-04	04	1816		
06	95-99	07	1008		
10896	97	07	1008		
113	100	1-04	13	1007	
111	101	05	6560	15	1079

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MAP 9228 - CO. OF S.D. TCT. NO. 3686  
SEC. 32 - T16S-RIW - POR. NE 1/4  
ROS 4295, 4504, 14123, 14670

# 2023 demographics

1 mile



population  
18,780



estimated households  
5,960



average household income  
\$122,017



median household income  
\$92,053



total employees  
3,160

3 miles



population  
158,089



estimated households  
53,442



average household income  
\$124,115



median household income  
\$93,302



total employees  
37,693

5 miles



population  
415,198



estimated households  
140,843



average household income  
\$118,268



median household income  
\$90,838



total employees  
83,525

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