

Final Map for 3 Single-Family Lots - CUL-DE-SAC LOCATION

1565 Montiel Road | San Marcos, CA 92069

**Do not disturb tenant. Address is used for location purposes only.*

- Lot Sizes are 11,326, 14,810 and 15,246 Square Feet
- Two Floor Plans Available for either single-story or two-story homes
 - Single-Story: 2,207 SF plus a 507 SF garage
 - Two-Story: 2,445 SF plus a 507 SF garage
 - ADU renderings available for each lot
- Construction Documents Ready for Submission
- New Homes in the Area are Selling for over \$1,000,000
- Can Start Grading Within Days
- High Ranking San Marcos School District

ASKING PRICE: \$475,000



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COMMERCIAL REAL ESTATE SERVICES

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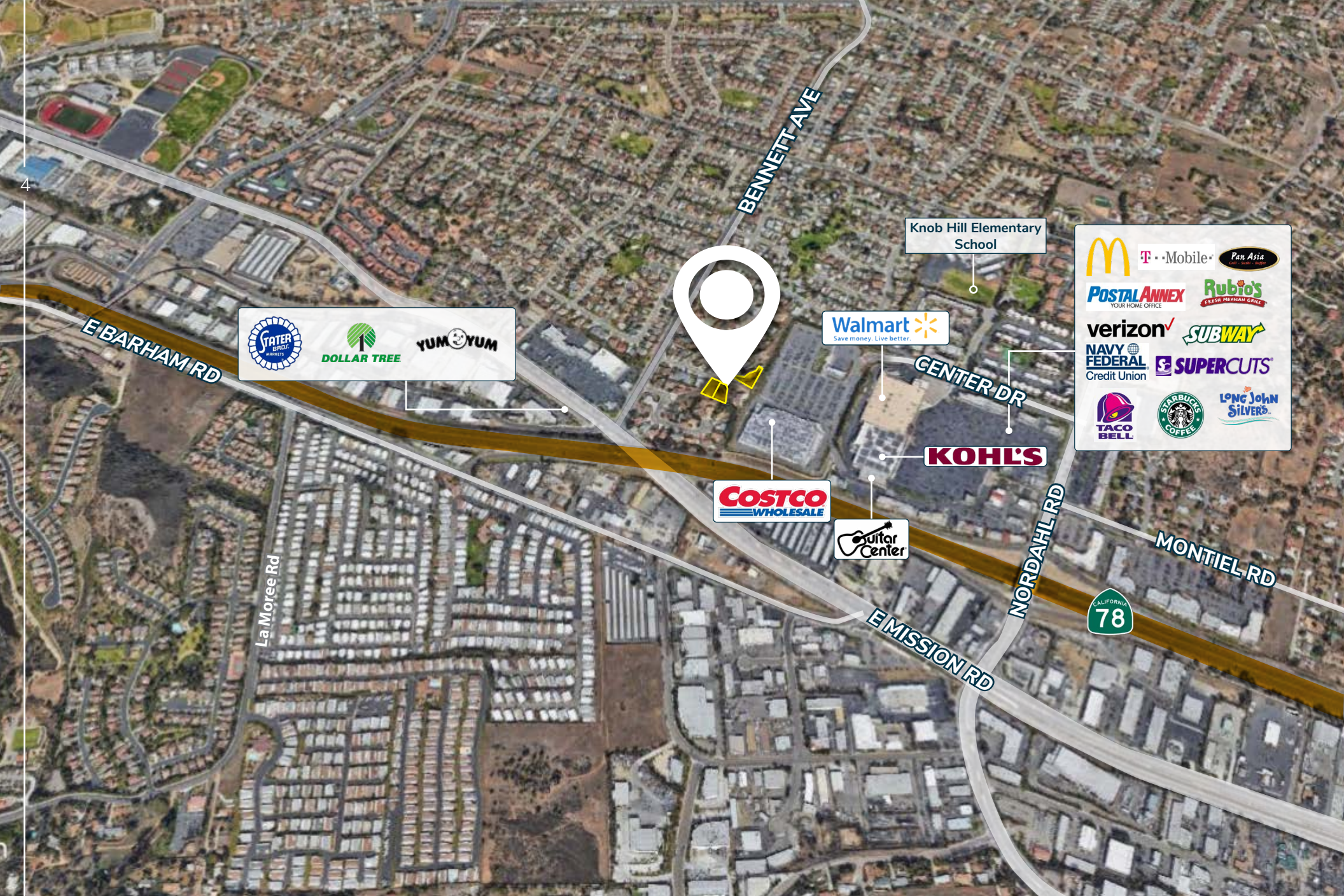
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Walmart 
Save money. Live better.

KOHL'S

Guitar Center

COSTCO
WHOLESALE

STATER
BROS.
MARKETS

DOLLAR TREE

YUM YUM

BENNETT AVE

MONTIEL RD

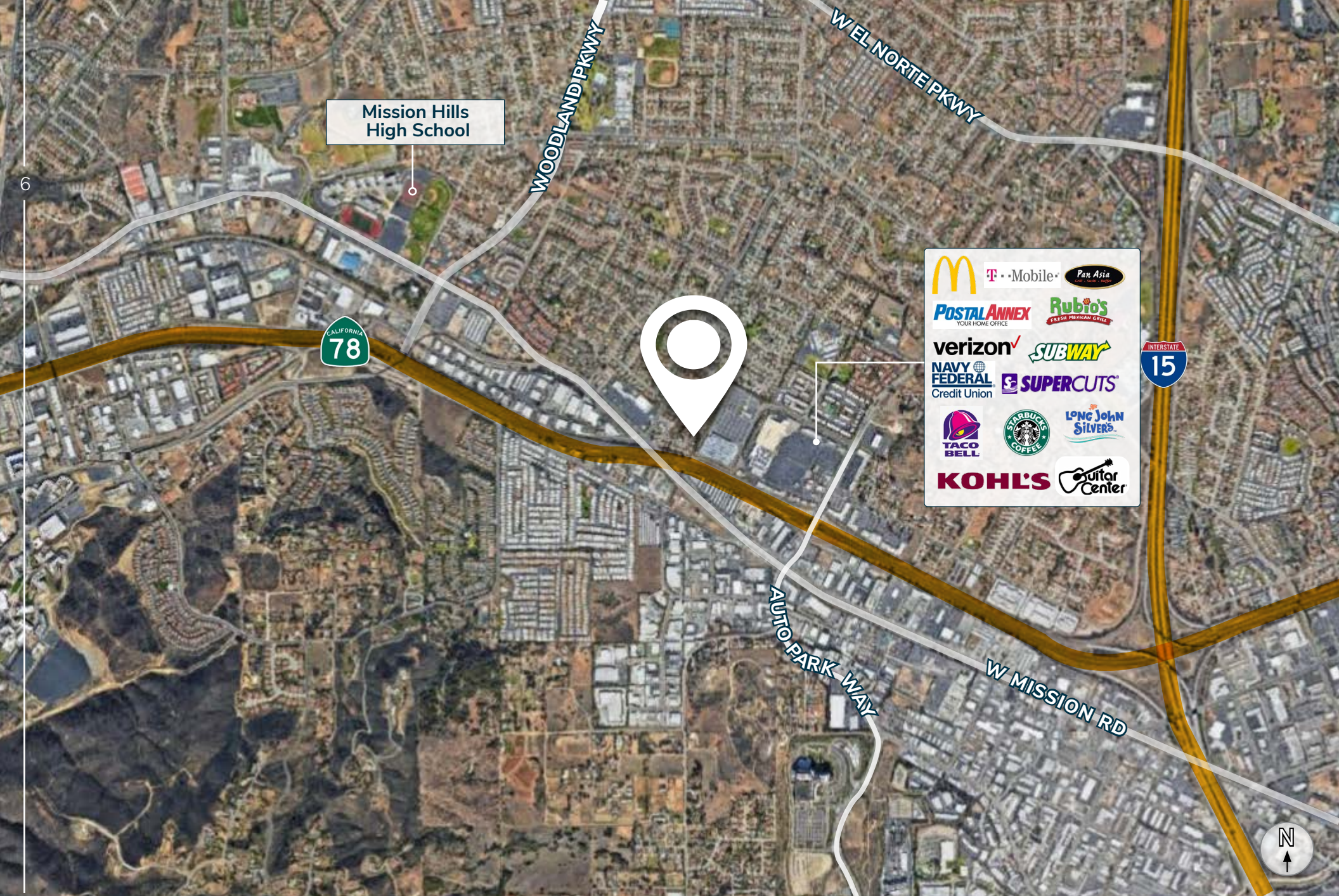
COVE CT

CALIFORNIA
78

E MISSION RD



aerial



Mission Hills
High School

CALIFORNIA
78

WOODLAND PKWY

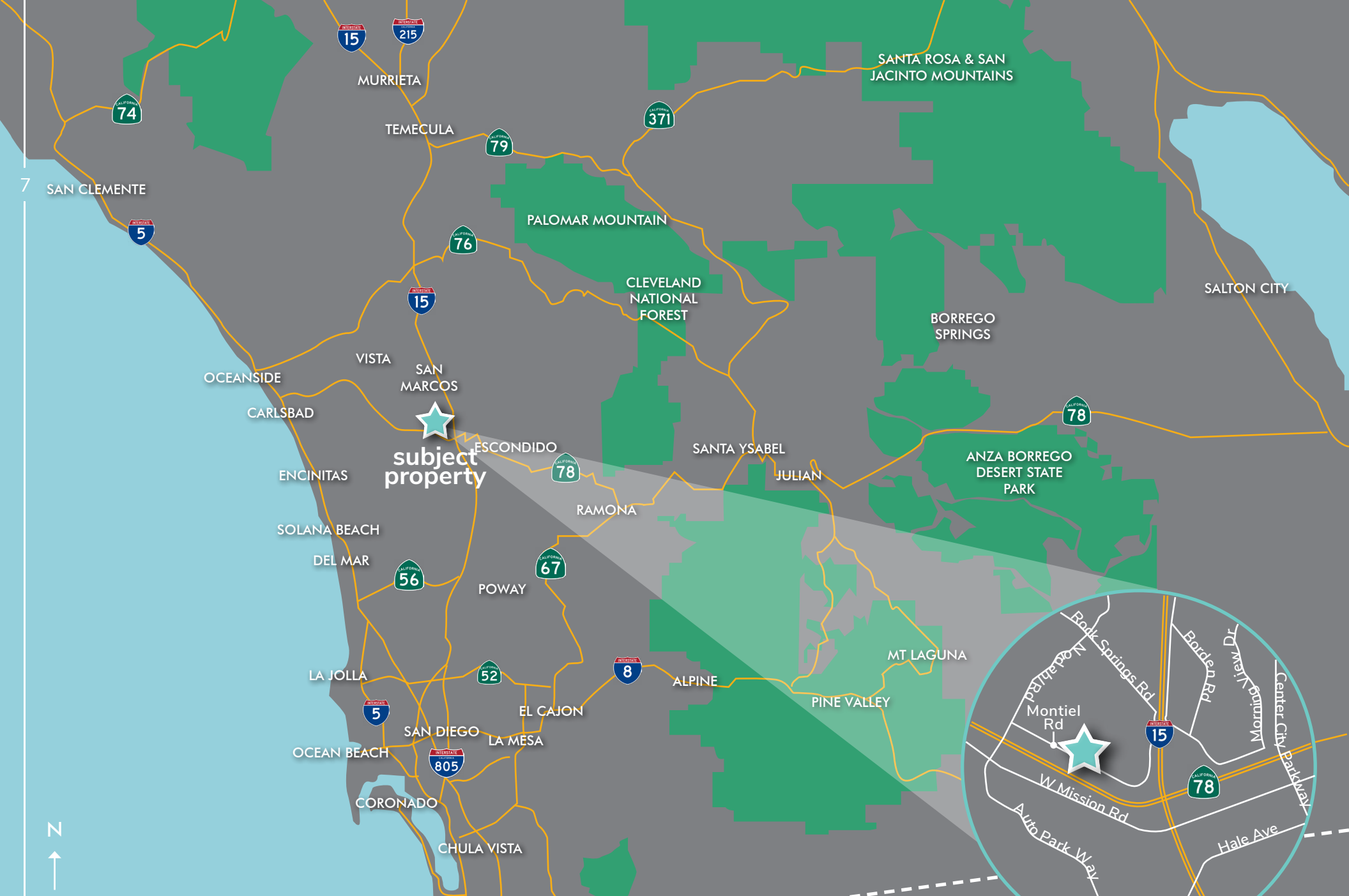
W EL NORTE PKWY

INTERSTATE
15

AUTO PARK WAY

W MISSION RD





location map

property information

location:

The subject property is located at 1565 Montiel Road in San Marcos, CA. The site is bounded by Montiel Road and residential structures to the north, an existing Costco to the east and residences to the south and west. It is just east of I-78 and E Mission Road and north of I-15.

property profile:

The subject property currently has a Final Map for 3 single-family residential lots within a larger subdivision. Two floor plans are available for single-story or two-story homes. The single-story floor plan consists of a 2,207 square foot residence with a 507 square foot garage, and the two-story floor plan consists of a 2,445 square foot residence with a 507 square foot garage. The property is perfect for small builders looking for a ready to go, quick project in a hot real estate market.

jurisdiction:

City of San Marcos

APNs & acreage:

226-092-69 0.26 acres (11,326 SF)
226-092-71 0.34 acres (14,810 SF)
226-092-72 0.35 acres (15,246 SF)
Total acreage: 0.95 acres (41,382 SF)

entitlement status:

Buyer to pay for grading permit and begin grading immediately. Buyer must obtain approval for construction documents which are completed and ready for submittal.

zoning:

Residential Low (R-1-10)

general plan:

Very Low Density Residential (VLDR)

general plan neighborhood:

Richland

density:

4 du/acre

min. lot size:

10,000 square feet

max. height:

35' or 2 stories

estimated remaining costs:

Breakdown of all job costs is on page 9

new development projects nearby:

- Villa Serena: Multi-Family
- El Dorado II: Mixed-Use
- Corner at Oaks, Phase 2: Multi-Family
- Lanikai Senior Residential Facility: Senior Living
- Mission 316 West: Multi-Family

school district:

San Marcos Unified School District

services:

Water	Vallecitos Water District
Electricity	San Diego Gas & Electric
Fire	San Marcos Fire Dept
Police	San Diego County Sheriff's Dept

asking price:

\$475,000

home rendering // two-story

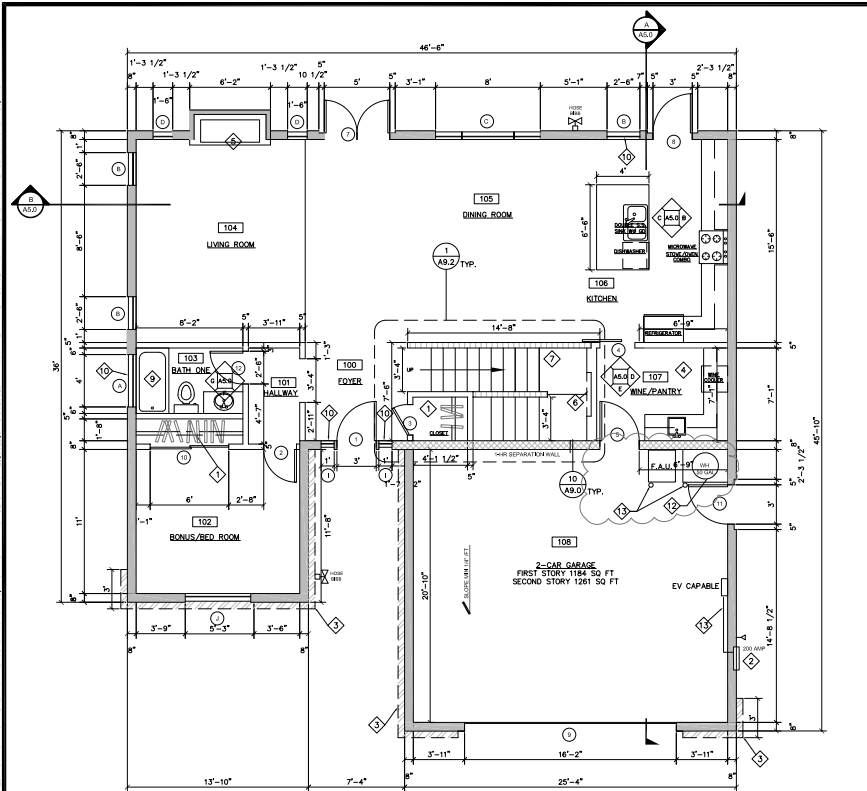
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floor plan // two-story first floor

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PROJECT FILE DATE: 6-19-19
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1 PLAN ONE - LOWER LEVEL FLOOR PLAN

Scale: 1/4" = 1'-0"

KEY NOTES

- 1 POLE & SHELF
- 2 ELECTRICAL PANEL 200 AMP
- 3 STACKED STONE FACADE, TBD
- 4 WINE/PANTRY TO BE CABINETRY NOT SHELVES
- 5 GAS FIREPLACE, TBD
- 6 NICHE - SEE ELEVATION A5.0
- 7 STAIRCASE & BALUSTER - SEE DETAIL A5.1
- 8 TRENCH DRAIN
- 9 TUB & SHOWER COMBO

- 10 TEMPERED GLAZING
- 11 ATTIC ACCESS
- 12 WATER HEATER TO BE INSTALLED 1.6" MIN AFF
- 13 EV READY CHARGING PER 4-106.4.1

WALL SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
	Interior 2x4 Wood Stud Non-Bearing Partition Wall w/ 1/2" Gyp. Board Both Sides	9 A9.0
	Interior 2x6 Wood Framed and Stucco Finish Exterior Wall	3.4 A9.0
	1-1/2" Rated Construction Wood Stud Partition Wall w/ 5/8" Type X Gyp. Board Both Sides	10 A9.0
	Decorative Brick Facade, TBD	1.2.3 A9.1
	Stair Baluster, TBD	A A9.2
	Window System	

BUILDING REQUIREMENTS

- MECHANICAL VENTILATION SHALL BE PROVIDED IF NATURAL VENTILATION IS NOT AVAILABLE TO BATHROOMS AND HABITABLE ROOMS PER C.B.C. 1205A.
- SMOKE DETECTORS CONFORMING TO UNIFORM BUILDING CODE STANDARD NO. 43-6 SHALL BE INSTALLED IN BEDROOMS AND IN AREAS GIVING ACCESS TO SLEEPING ROOMS ON OR NEAR THE CEILING PER C.B.C. 1210A.
- IN NEW CONSTRUCTION, SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECT SWITCH OTHER THAN THAT REQUIRED FOR OVER CURRENT PROTECTION.
- ALL GLASS THAT IS WITHIN 18" OF WALKING SURFACES, 12" FROM A DOOR, OR WITHIN A DOOR TO BE 1/4" AND FULLY TEMPERED FOR SAFETY. PROVIDE A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
- PROVIDE ATTIC ACCESS OF 22" x 30" MINIMUM WITH 30" OF HEAD ROOM ABOVE OPENING PER C.B.C. 3205A.
- ATTIC VENTILATION, EQUAL TO 1/150 OF SPACE VENTILATED, SHALL BE PROVIDED OR AS REQUIRED FOR FORCE AIR UNIT PER C.B.C. 3205C.
- INSIDE FINISH DIMENSIONS OF TOILET COMPARTMENT MUST BE 30" MINIMUM AND 24" CLEAR SPACE IN FRONT OF TOILET PER UPC 909.
- WALL COVERING TO BE CEMENT PLASTER, TILE OR APPROVED EQUAL 70" ABOVE DRAIN AT SHOWERS OR TUBS WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT. GLASS ENCLOSURE DOORS AND PANELS TO BE FULLY TEMPERED, 1/4" LAMINATED, OR OF AN APPROVED PLASTIC. SWING DOOR OUTWARD. (PER 510.5406.4)
- SHOWER COMPARTMENTS SHALL HAVE A MINIMUM INTERIOR OF 102 SQUARE INCHES AND CAPABLE OF ENCOMPASSING A 30" CIRCLE PER UPC 909A.
- GLAZING AND INSTALLATION SHALL CONFORM TO THE STATE ENERGY INSTALLATION STANDARDS.
- MAXIMUM SILL HEIGHT IN SLEEPING ROOMS IS 44" ABOVE FINISHED FLOOR.
- 12" x 12" x 1/2" MINIMUM ACCESS PANEL TO BATHUB TRAP IS REQUIRED, TYPICAL.
- PROVIDE APPROVED FLASHING AT ALL EXTERIOR WALL OPENINGS.
- LATH AND PLASTER TO COMPLY WITH CHAPTER 28 OF THE C.B.C.
- ALL NAILING TO CONFORM TO TABLE 23-II-B-1 OF THE C.B.C. UNLESS OTHERWISE NOTED ON THE PLANS OR DETAILS.

FRAMING NOTE

- FIRE STOPS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:
- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT CEILING AND FLOOR LEVELS AND AT JOIST INTERVALS BOTH VERTICAL AND HORIZONTAL.
 - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILING AND COVE CEILING.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND RUNS WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
 - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
 - AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.

GENERAL NOTE

- ALL EXTERIOR DOORS AND WINDOW HEADS TO BE FLASHED.
- ALL EXTERIOR DOOR THRESHOLDS SHALL RECEIVE WATER PROOFING PANS.
- FLASHING WHERE NOT DETAILED SHALL BE REF. BY THE LATEST S.M.A.C.A. DETAILS AND/OR DETAILS PROVIDED BY ROOFING CONTRACTOR.
- ALL ROOF EAVES TO RECEIVE EAVE G.I. DRIP FLASHING.
- ALL ROOFING SHALL BE INSTALLED PER METAL LATEST MANUFACTURERS SPECIFICATIONS AT A MINIMUM WITH ANY GREATER REQUIREMENTS AS NOTED.

GENERAL REQUIREMENTS

- THE FOLLOWING AREAS REQUIRE SAFETY GLAZING IN ACCORDANCE WITH SECTION 2408.4:
 - FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.
 - DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS AND IN ANY PORTION OF A BUILDING WALL ENCLLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
 - FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER TOP OR BOTTOM EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- FLASHING:
 - ALL FLASHING, COUNTER-FLASHING AND COPING OF METAL SHALL BE NOT LESS THAN NO. 26 U.S. GAUGE CORROSION-RESISTANT METAL AND CONFORM TO ASTM A358.
 - FLASH AND COUNTER-FLASH AT ALL ROOF TO WALL CONDITIONS - G.I. FLASH AND CAULK WOOD BEAMS AND OUTLOOKERS PROTECTED THROUGH EXTERIOR WALLS OR ROOF SURFACES.
 - FLASH ALL EXTERIOR DOOR AND WINDOW OPENINGS WITH APPROVED METHOD AND MATERIALS, WHICH CONFORMS TO STANDARDS OF LOCAL AND APPLICABLE CODES.

UNDER FLOOR VENTILATION

PROVIDE UNDER FLOOR VENTILATION EQUAL TO 1 SQ. FT. OF NET OPENING FOR EACH 150 SQ. FT. OF UNDER FLOOR SPACE. EQUALLY DISTRIBUTE VENTS ON AT LEAST TWO OPPOSITE SIDES. SEE EXTERIOR ELEVATION FOR VENT LOCATIONS.

CALIFORNIA ENERGY TITLE 24 REPORT RESULTS

- INSULATION MIN.
- WALLS SHALL BE R-13
CEILING SHALL BE (VENTED) R-30 (UNVENTED) R-19
- RAISED FLOORS SHALL BE R-19
FENESTRATION MIN.
 - DUAL GLAZED / WOOD OR VINYL FRAME / LOW E² MFRIC U-FACTOR SHGC
 - LOWER 0.40 0.35 OR
- HVAC MIN.
 - HVAC USED IN CALCULATIONS IS A RHEEM RELIQUORHEATER RATED OUTPUT 40,000 BTUH, AFUE 0.80 OR EQUAL.
 - WATER HEATER MIN.
 - WATER HEATER USED IN CALCULATIONS IS A O. SMITH FGR-30 OR EQUAL 40,000 BTU

CALIFORNIA ENERGY TITLE 24

- THE WEIGHTED AVERAGE CEILING INSULATION MUST BE R-30 OR GREATER.
- THE WEIGHTED AVERAGE WALL INSULATION IN FRAME WALLS MUST BE R-13 OR GREATER.
- R-19 OR GREATER INSULATION SHALL BE USED UNDER RAISED FLOORS.
- DOORS AND WINDOWS WHEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULLY WEATHER-STRIPPED.
- ALL JOINTS AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE CAULKED AND SEALED.
- ALL MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED.
- EXHAUST FANS SHALL HAVE BACKDRAFT DAMPER OR AUTOMATIC DAMPERS.
- FIREPLACES SHALL HAVE THE FOLLOWING:
 - TIGHT FITTING, GLASSABLE METAL OR GLASS DOORS.
 - COMBUSTION AIR INTAKE, SIX SQUARE INCHES, WITH DAMPER. INTAKE NOT REQUIRED FOR FIREPLACES NOT ON EXTERIOR WALL.
 - TIGHT FITTING FLUE DAMPER.
 - CONTINUOUS BURNING GAS PILOT IS PROHIBITED.
- VAPOR BARRIERS ARE REQUIRED IN CLIMATE ZONES 1, 14, AND 16 ONLY.
- THE GAS FURNACE SHALL BE MINIMUM 71% EFFICIENT.
- A NIGHT SETBACK THERMOSTAT SHALL BE INSTALLED FOR HEATING OR COOLING SYSTEMS, THAT CAN AUTOMATICALLY SET BACK THE THERMOSTAT SET POINT FOR AT LEAST 2 PERIODS IN 24 HOURS. ELECTRIC HEAT PUMPS ARE EXEMPT.
- HVAC EQUIPMENT AND WATER HEATING EQUIPMENT INSTALLED SHALL BE OF TYPE CERTIFIED BY THE C.E.C.
- HOT WATER HEATER SHALL BE WRAPPED WITH AN R-12 EXTERNAL BLANKET OR GREATER.
- HOT WATER HEATER INLET AND OUTLET PIPE SHALL BE INSULATED TO R-3 OR GREATER FOR THE FIRST 5 FEET INSTALLED IN UNCONDITIONED SPACE.
- SHOWERSHEADS AND FACETS INSTALLED SHALL BE OF A TYPE CERTIFIED BY THE C.E.C. (EFFICIENT FIXTURES)
- GENERAL LIGHTING IN KITCHENS AND BATHROOMS SHALL HAVE AN EFFICIENCY OF NOT LESS THAN 25 LUMENS PER WATT. FLUORESCENT TYPE LIGHTING WILL MEET THIS REQUIREMENT. ADDITIONAL DECORATIVE OR TASK LIGHTING MAY BE INCANDESCENT.
- GAS FIRED COOKING APPLIANCES, EXCEPT PROPANE SHALL HAVE INTERMITTENT IGNITION DEVICES.
- BUILDER AND INSULATION INSTALLER ARE TO PROVIDE A CERTIFICATE OF INSULATION AND POST IN THE BUILDING IN A CONSPICUOUS LOCATION.
- SEE PLANS FOR PARTY WALL CONDITIONS.
- GLAZING AND INSULATION SHALL CONFORM TO THE STATE ENERGY STANDARD.
- NO ELECTRICAL RESISTANCE HEATING SHALL BE USED.
- POST INSULATION COMPLIANCE CARD IN A CONSPICUOUS LOCATION IN DWELLING PRIOR TO FINAL INSPECTION.
- THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIALS SHALL CERTIFY ALL INSULATION MATERIALS.
- ALL DUCTS SHALL BE CONSTRUCTED, INSTALLED, AND INSULATED PER THE LATEST EDITION OF THE U.M.C.

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R&R

XXX BENNETT AVE

BENNETT LOT B
SAN MARCOS, CA 92069

NO.	REVISION	DATE
1	SUBMIT	7-5-19
2		
3		
4		
5		

DATE: 06-21-18
JOB #: W-000

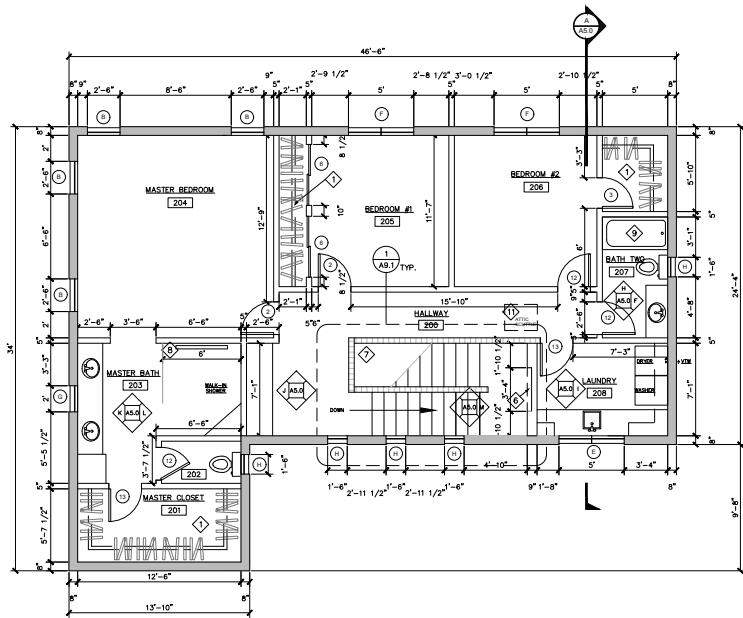
FLOOR
PLAN
SHEET NUMBER
A2.0

floor plan // two-story second floor

11

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2 PLAN ONE - UPPER LEVEL FLOOR PLAN

Scale: 1/4" = 1'-0"

KEY NOTES

- 1 POLY & SHEET
- 2 ELECTRICAL PANEL 200 AMP
- 3 STACKED STONE FACADE, TBD
- 4 WINE/PANTRY TO BE CABINETRY NOT SHELVES
- 5 GAS FIREPLACE, TBD
- 6 NICHE - SEE ELEVATION AS.0
- 7 STAIRCASE & BALUSTER - SEE DETAIL AS.1
- 8 TRENCH DRAIN
- 9 TUB & SHOWER COMBO
- 10 TEMPERED GLAZING
- 11 ATTIC ACCESS
- 12 WATER HEATER TO BE INSTALLED 1/8" MIN. AFF
- 13 EV READY CHARGING PER 4.1.0C.4.1

WALL SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
	Interior 2nd Wood Stud Non-Bearing Partition Wall w/ 1/2" Gyp. Board both Sides	9 (A8.0)
	Exterior 2nd Wood Framed and Stucco Finish Exterior Wall	10 (A8.0)
	1-Hour Rated Construction Wood Stud Partition Wall w/ 5/8" Type "X" Gyp. Board Both Sides	10 (A8.0)
	Decorative Brick Facade, TBD	12.2 (A8.1)
	Stair Baluster, TBD	1 (A8.2)
	Window System	

BUILDING REQUIREMENTS

- MECHANICAL VENTILATION SHALL BE PROVIDED IF NATURAL VENTILATION IS NOT AVAILABLE TO BATHROOMS AND HABITABLE ROOMS PER C.B.C. 1205A.
- SMOKE DETECTORS CONFORMING TO UNIFORM BUILDING CODE STANDARD NO. 43-B SHALL BE INSTALLED IN BEDROOMS AND IN AREAS GIVING ACCESS TO SLEEPING ROOMS ON OR NEAR THE CEILING PER C.B.C. 1209A.
- IN NEW CONSTRUCTION, SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECT SWITCH OTHER THAN THAT REQUIRED FOR OVER CURRENT PROTECTION.
- ALL GLASS THAT IS WITHIN 10' OF WALKING SURFACES, 12" FROM A DOOR, OR WITHIN A DOOR TO BE 1/4" AND FULLY TEMPERED FOR SAFETY.
- PROVIDE ATTIC ACCESS OF 22" x 30" MINIMUM WITH 30" OF HEAD ROOM ABOVE OPENING PER C.B.C. 3205A.
- ATTIC VENTILATION, EQUAL TO 1/150 OF SPACE VENTILATED, SHALL BE PROVIDED OR AS REQUIRED FOR FORCE AIR UNIT PER C.B.C. 3205C.
- INSIDE FINISH DIMENSIONS OF TOILET COMPARTMENT MUST BE 30" MINIMUM AND 24" CLEAR SPACE IN FRONT OF TOILET PER UPC 909.
- WALL COVERING TO BE CEMENT PLASTER, TILE OR APPROVED EQUAL 70" ABOVE DRAIN AT SHOWERS OR TUBS WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT. GLASS ENCLOSURE DOORS AND PANELS TO BE FULLY TEMPERED, 1/4" LAMINATED, OR OF AN APPROVED PLASTIC. SWING DOOR OUTWARD. (PER 510.5.4064)
- SHOWER COMPARTMENTS SHALL HAVE A MINIMUM INTERIOR OF 1024 SQUARE INCHES AND CAPABLE OF ENCOMPASSING A 30" CIRCLE PER UPC 909A.
- GLAZING AND INSTALLATION SHALL CONFORM TO THE STATE ENERGY INSTALLATION STANDARDS.
- MAXIMUM SILL HEIGHT IN SLEEPING ROOMS IS 44" ABOVE FINISHED FLOOR.
- A 12" x 12" MINIMUM ACCESS PANEL TO BATHTRUB TRAP IS REQUIRED, TYPICAL.
- PROVIDE APPROVED FLASHING AT ALL EXTERIOR WALL OPENINGS.
- LATH AND PLASTER TO COMPLY WITH CHAPTER 25 OF THE C.B.C.
- ALL NAILING TO CONFORM TO TABLE 23-B-1 OF THE C.B.C. UNLESS OTHERWISE NOTED ON THE PLANS OR DETAILS.

FRAMING NOTE

- FIRE STOPS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:
- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FLURRED SPACES, AT CEILING AND FLOOR LEVELS AND AT FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
 - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SPOTTES, DROP CEILINGS AND COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STILES ALONG AND IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
 - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
 - AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.

GENERAL NOTE

- ALL EXTERIOR DOORS AND WINDOW HEADS TO BE 1" FLASHING.
- ALL EXTERIOR DOOR THRESHOLDS SHALL RECEIVE WATER PROOFING PANS.
- FLASHING WHERE NOT DETAILED SHALL BE REF. BY THE LATEST S.M.A.C.N.A. DETAILS AND/OR DETAILS PROVIDED BY ROOFING CONTRACTOR.
- ALL ROOF EAVES TO RECEIVE EAVE G.I. DRIP FLASHING.
- ALL ROOFING SHALL BE INSTALLED PER METAL LATEST MANUFACTURERS SPECIFICATIONS AT A MINIMUM WITH ANY GREATER REQUIREMENTS AS NOTED.

GENERAL REQUIREMENTS

- THE FOLLOWING ARE REQUIRED SAFETY GLAZING IN ACCORDANCE WITH SECTION 2406.4
- FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING DOORS OTHER THAN WARDROBE DOORS.
- DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS AND IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
- FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- FLASHING
- ALL FLASHING, COUNTER-FLASHING AND COPING OF METAL SHALL BE NOT LESS THAN NO. 26 U.S. GAUGE CORROSION-RESISTANT METAL AND CONFORM TO ASTM A555.
- FLASH AND COUNTER-FLASH AT ALL ROOF TO WALL CONDITIONS. G.I. FLASH AND CALK WOOD BEAMS AND OUTLOOKERS PROJECTED THROUGH EXTERIOR WALLS OR ROOF SURFACES.
- FLASH ALL EXTERIOR DOOR AND WINDOW OPENINGS WITH APPROVED METHOD AND MATERIALS, WHICH CONFORMS TO STANDARDS OF LOCAL AND APPLICABLE CODES.
- UNDER FLOOR VENTILATION
- PROVIDE UNDER FLOOR VENTILATION EQUAL TO 1 SQ. FT. OF NET OPENING FOR EACH 150 SQ. FT. OF UNDER FLOOR SPACE. EQUALLY DISTRIBUTE VENTS ON AT LEAST TWO OPPOSITE SIDES; SEE EXTERIOR ELEVATION FOR VENT LOCATIONS.

CALIFORNIA ENERGY TITLE 24 REPORT RESULTS

- INSULATION MIN.
- WALLS SHALL BE R-13
- CEILINGS SHALL BE (VENTED) R-30 (UNVENTED) R-19
- RAISED FLOORS SHALL BE R-19
- VENTILATION MIN.
- DUAL GLAZED / WOOD OR VINYL FRAME / LOW E² W/RC U-FACTOR SHGC LOWER 0.40 0.35 OR
- HVAC MIN.
- HVAC USED IN CALCULATIONS IS A RHEIM AQUASERIES WATER OUTPUT 40,000 BTU/H, AFUE 0.80 OR EQUAL.
- WATER HEATER MIN.
- WATER HEATER USED IN CALCULATIONS IS A D. SMITH FOR-30 OR EQUAL 40,000 BTU.

CALIFORNIA ENERGY TITLE 24

- THE WEIGHTED AVERAGE CEILING INSULATION MUST BE R-30 OR GREATER.
- THE WEIGHTED AVERAGE WALL INSULATION IN FRAME WALLS MUST BE R-13 OR GREATER.
- R-19 OR GREATER INSULATION SHALL BE USED UNDER RAISED FLOORS.
- DOORS AND WINDOWS WHEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULLY WEATHER-STRIPPED.
- ALL JOINTS AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE CAULKED AND SEALED.
- ALL MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED.
- EXHAUST FANS SHALL HAVE BACKDRAFT DAMPER OR AUTOMATIC DAMPERS.
- FIREPLACES SHALL HAVE THE FOLLOWING:
 - TIGHT FITTING, CLOSABLE, METAL OR INCHES DOORS.
 - COMBUSTION AIR INTAKE, SIX SQUARE INCHES WITH DAMPER. INTAKE NOT REQUIRED FOR FIREPLACES NOT ON EXTERIOR WALL.
 - TIGHT FITTING FLUE DAMPER.
 - CONTINUOUS BURNING GAS PILOT IS PROHIBITED.
- VAPOR BARRIERS ARE REQUIRED IN CLIMATE ZONES 1, 14, AND 16 ONLY.
- THE GAS FURNACE SHALL BE MINIMUM 71% EFFICIENT.
- A NIGHT SETBACK THERMOSTAT SHALL BE INSTALLED FOR HEATING OR COOLING SYSTEMS, THAT CAN AUTOMATICALLY SET BACK THE THERMOSTAT SET POINT FOR AT LEAST 2 PERIODS IN 24 HOURS. ELECTRIC HEAT PUMPS ARE EXEMPT.
- HVAC EQUIPMENT AND WATER HEATING EQUIPMENT INSTALLED SHALL BE OF TYPE CERTIFIED BY THE C.E.C.
- HOT WATER HEATER SHALL BE WRAPPED WITH AN R-12 EXTERNAL BLANKET OR GREATER.
- HOT WATER HEATER INLET AND OUTLET PIPE SHALL BE INSULATED TO R-3 OR GREATER FOR THE FIRST 5 FEET INSTALLED IN UNCONDITIONED SPACE.
- SHOWERS AND FAUCETS INSTALLED SHALL BE OF A TYPE CERTIFIED BY THE C.E.C. (EFFICIENT FIXTURES)
- GENERAL LIGHTING IN KITCHENS AND BATHROOMS SHALL HAVE AN EFFICIENCY OF NOT LESS THAN 25 LUMENS PER WATT. FLUORESCENT TYPE LIGHTING WILL MEET THIS REQUIREMENT. ADDITIONAL DECORATIVE OR TASK LIGHTING MAY BE INCANDESCENT.
- GAS FIRED COOKING APPLIANCES, EXCEPT PROPANE SHALL HAVE INTERMITTENT IGNITION DEVICES.

RICHARD & RICHARD CONSTRUCTION COMPANY, INC. 224 VENTURA ST. STE. 200 SAN MARCOS, CA 92069 760-780-2200 FAX 760-780-2206

R&R

XXX BENNETT AVE

BENNETT LOT B SAN MARCOS, CA 92069

NO.	REVISION	DATE
1	SUBMITAL	7-5-18
2		
3		
4		
5		

DATE: 06-21-18 JOB #: W0-000

FLOOR PLAN SHEET NUMBER

A2.1

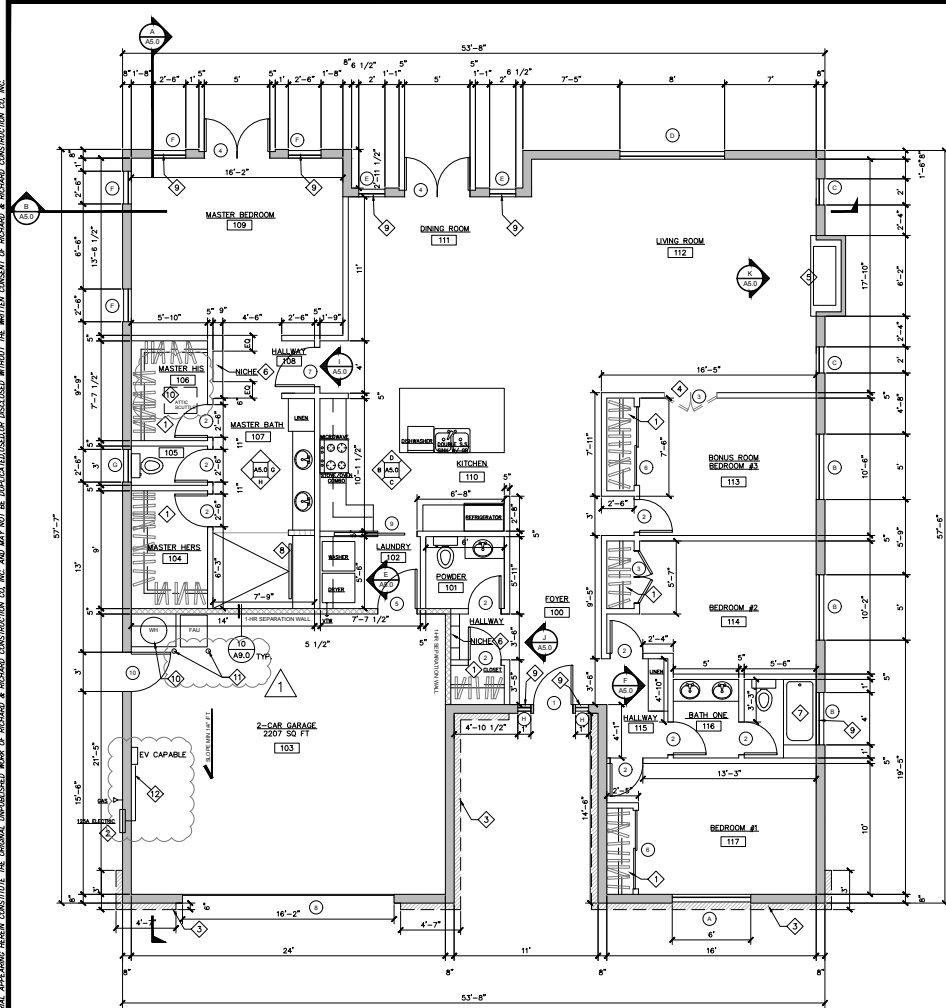
home rendering // single-story

12



floor plan // single-story

PROJW FILE DATE
ALL PERSON DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF RICHARD & RICHARD CONSTRUCTION CO. INC. AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF RICHARD & RICHARD CONSTRUCTION CO. INC.
Printed Tuesday June 18, 2019 @ 2:58pm by Architecture



1 PLAN TWO - FLOOR PLAN

Scale: 1/4" = 1'-0"

BUILDING REQUIREMENTS

- 1. MECHANICAL VENTILATION SHALL BE PROVIDED IF NATURAL VENTILATION IS NOT AVAILABLE TO BATHROOMS AND HABITABLE ROOMS PER C.B.C. 1205A.
- 2. SMOKE DETECTORS CONFORMING TO UNIFORM BUILDING CODE STANDARD NO. 43-6 SHALL BE INSTALLED IN BEDROOMS AND IN AREAS OWING ACCESS TO SLEEPING ROOMS ON OR NEAR THE CEILING PER C.B.C. 1210A.
- 3. IN NEW CONSTRUCTION, SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECT SWITCH OTHER THAN THAT REQUIRED FOR OVER CURRENT PROTECTION.
- 4. ALL GLASS THAT IS WITHIN 18" OF WALKING SURFACES, 12" FROM A DOOR, OR WITHIN A DOOR TO BE 1/4" AND FULLY TEMPERED FOR SAFETY.
- 5. PROVIDE ATTIC ACCESS OF 22" x 30" MINIMUM WITH 307 OF HEAD ROOM ABOVE OPENING PER C.B.C. 3205A.
- 6. ATTIC VENTILATION, EQUAL TO 1/150 OF SPACE VENTILATED, SHALL BE PROVIDED OR AS REQUIRED FOR FORCE AIR UNIT PER C.B.C. 3205C.
- 7. INSIDE FINISH DIMENSIONS OF TOILET COMPARTMENT MUST BE 30" MINIMUM AND 24" CLEAR SPACE IN FRONT OF TOILET PER UPC 909.
- 8. WALL COVERING TO BE CEMENT PLASTER, TILE OR UNFURRED EQUAL, 10" ABOVE DRAIN AT SHOWERS OR TUBS WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT. GLASS ENCLOSURE DOORS AND PANELS TO BE FULLY TEMPERED, 1/4" LAMINATED, OR AN APPROVED PLASTIC. SWING DOOR OUTWARD. (PER 510.54064)
- 9. SHOWER COMPARTMENTS SHALL HAVE A MINIMUM INTERIOR OF 1024 SQUARE INCHES AND CAPABLE OF ENCOMPASSING A 30" CIRCLE PER UPC 909A.
- 10. GLAZING AND INSTALLATION SHALL CONFORM TO THE STATE ENERGY INSTALLATION STANDARDS.
- 11. MAXIMUM SILL HEIGHT IN SLEEPING ROOMS IS 44" ABOVE FINISHED FLOOR.
- 12. A 12" x 12" MINIMUM ACCESS PANEL TO BATH TUB TRAP IS REQUIRED, TYPICAL.
- 13. PROVIDE APPROVED FLASHING AT ALL EXTERIOR WALL OPENINGS.
- 14. LATH AND PLASTER TO COMPLY WITH CHAPTER 25 OF THE C.B.C.
- 15. ALL NAULING TO CONFORM TO TABLE 23-B-1 OF THE C.B.C. UNLESS OTHERWISE NOTED ON THE PLANS OR DETAILS.

GENERAL REQUIREMENTS

- 1. THE FOLLOWING AREAS REQUIRE SAFETY GLAZING IN ACCORDANCE WITH SECTION 2406.4
- A) FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WINGWORM DOORS.
- B) DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATH TUBS AND SHOWERS AND IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
- C) FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH AND OF OTHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- FLASHING
- 1. ALL FLASHING, COUNTER-FLASHING AND COPING OF METAL SHALL BE NOT LESS THAN 26 U.S. GAUGE CORROSION-RESISTANT METAL AND CONFORM TO ASTM A525.
- 2. FLASH AND COUNTER-FLASH AT ALL ROOF TO WALL CONDITIONS. G.I. FLASH AND CALK WOOD BEAMS AND OUTLOOKERS PROJECTED THROUGH EXTERIOR WALLS OR ROOF SURFACES.
- 3. FLASH ALL EXTERIOR DOOR AND WINDOW OPENINGS WITH APPROVED METHOD AND MATERIALS WHICH CONFORMS TO STANDARDS OF LOCAL AND APPLICABLE CODES.
- UNDER FLOOR VENTILATION
- PROVIDE UNDER FLOOR VENTILATION EQUAL TO 1 50 FT. OF NET OPENING FOR EACH 150 SQ. FT. OF UNDER FLOOR SPACE. EQUALLY DISTRIBUTE VENTS ON AT LEAST TWO OPPOSITE SIDES SEE EXTERIOR ELEVATION FOR VENT LOCATIONS.

KEY NOTES

- 1 POLE & SHELF
- 2 ELECTRICAL PANEL 200 AMP
- 3 STACKED STONE FACADE, TBD
- 4 OPTIONAL DOORS
- 5 GAS FIREPLACE, TBD
- 6 NICHE - SEE DETAIL AS Q
- 7 BATH TUB AND SHOWER COMBO
- 8 TRENCH DRAIN
- 9 GLAZING TO BE TEMPERED SAFETY GLASS
- 10 WATER HEATER TO BE MOUNTED 18" MIN AFF

FRAMING NOTE

- FIRE STOPS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS
- A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT CEILING AND FLOOR LEVELS AND AT 10 FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
- B) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- C) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND INLINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
- D) IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
- E) AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.

GENERAL NOTE

- 1. ALL EXTERIOR DOORS AND WINDOW HEADS TO BE 2" FLASHED.
- 2. ALL EXTERIOR DOOR THRESHOLDS SHALL RECEIVE WATER PROOFING PANS.
- 3. FLASHING WHERE NOT DETAILED SHALL BE REF. BY THE LATEST S.M.A.C.A. DETAILS AND/OR DETAILS PROVIDED BY ROOFING CONTRACTOR.
- 4. ALL ROOF EAVES TO RECEIVE EAVE G.I. DRIP FLASHING.
- 5. ALL ROOFING SHALL BE INSTALLED PER METAL LATEST MANUFACTURERS SPECIFICATIONS AT A MINIMUM WITH ANY GREATER REQUIREMENTS AS NOTED.

CALIFORNIA ENERGY TITLE 24 REPORT RESULTS

- 1. INSULATION MIN.
- A) WALLS SHALL BE R-21
- B) CEILINGS SHALL BE (VENTED) R-38 (UNVENTED) R-19
- C) RAISED FLOORS SHALL BE R-19
- 2. FENESTRATION MIN.
- A) DUAL GLAZED / WOOD OR VINYL FRAME / LOW E² MFRIC U-FACTOR 0.30 SHGC
- LOWER MAX 0.32 MAX 0.25 OR
- 3. HVAC MIN.
- A) HVAC USED IN CALCULATIONS IS A RHEEM R30X090MRH RATED OUTPUT 40,000 BTUH, AFUE 0.80 OR EQUAL.
- 4. WATER HEATER MIN.
- A) WATER HEATER USED IN CALCULATIONS IS A D. SMITH FOR-30 OR EQUAL, 40,000 BTUH

CALIFORNIA ENERGY TITLE 24

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- 4. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULLY WEATHER-STRIPPED.
- 5. ALL JOISTS AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE CALKED AND SEALED.
- 6. ALL MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED.
- 7. EXHAUST FANS SHALL HAVE BACKDRAFT DAMPER OR AUTOMATIC DAMPERS.
- 8. FIREPLACES SHALL HAVE THE FOLLOWING:
a. TIGHT FITTING, CLOSABLE METAL OR GLASS DOORS.
b. COMBUSTION AIR INTAKE, SIX SQUARE INCHES, WITH DAMPER. INTAKE NOT REQUIRED FOR FIREPLACES NOT ON EXTERIOR WALL.
c. TIGHT FITTING FLE DAMPER.
d. CONTINUOUS BURNING GAS PILOT IS PROHIBITED.
- 9. VAPOR BARRIERS ARE REQUIRED IN CLIMATE ZONES 1, 1A, AND 1B ONLY.
- 10. THE GAS FURNACE SHALL BE MINIMUM 71% EFFICIENT.
- 11. A NIGHT SETBACK THERMOSTAT SHALL BE INSTALLED FOR HEATING OR COOLING SYSTEMS THAT CAN AUTOMATICALLY SET BACK THE THERMOSTAT SET POINT FOR AT LEAST 5 PERIODS IN 24 HOURS. ELECTRIC HEAT PUMPS ARE EXEMPT.
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- 16. GENERAL LIGHTING IN KITCHENS AND BATHROOMS SHALL HAVE AN EFFICIENCY OF NOT LESS THAN 25 LUMENS PER WATT. FLUORESCENT TYPE LIGHTING WILL MEET THIS REQUIREMENT. ADDITIONAL DECORATIVE OR TASK LIGHTING MAY BE INCANDESCENT.
- 17. GAS FIRED COOKING APPLIANCES, EXCEPT PROPANE SHALL HAVE INTERMITTENT IGNITION DEVICES.
- 18. BUILDER AND INSULATION INSTALLER ARE TO PROVIDE A CERTIFICATE OF INSULATION AND POST IN THE BUILDING IN A CONSPICUOUS LOCATION.
- 19. SEE PLANS FOR PARTY WALL CONDITIONS.
- 20. GLAZING AND INSULATION SHALL CONFORM TO THE STATE ENERGY STANDARD.
- 21. NO ELECTRICAL RESISTANCE HEATING SHALL BE USED.
- 22. POST INSULATION COMPLIANCE CARD IN A CONSPICUOUS LOCATION IN DWELLING PRIOR TO FINAL INSPECTION.
- 23. THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIALS SHALL CERTIFY ALL INSULATION MATERIALS.
- 24. ALL DUCTS SHALL BE CONSTRUCTED, INSTALLED, AND INSULATED PER THE LATEST EDITION OF THE U.M.C.

WALL SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
	Interior 2x4 Wood Stud Non-Bearing Partition Wall w/ 1/2" Gyp. Board both Sides	9 (A9.0)
	Interior 2x4 Wood Stud Non-Bearing Pony Wall w/ 1/2" Gyp. Board both Sides	5A (A9.0)
	1-hour Rated Construction Wood Stud Partition Wall w/ 5/8" Type X Gyp Board Both Sides	10 (A9.0)
	Decorative Brick Facade, TBD	12 (A9.1)
	Window System	

- 11 4" DOLLARDS, MIN 42" AFF
- 12 EV READY CHARGING PER 4.106.4.1

RICHARD & RICHARD
CONSTRUCTION COMPANY, INC.
2534 VENTURE ST. STE 200
SAN MARCOS, CA 92069
760-734-8888 FAX 760-734-8889

R&R

XXX BENNETT AVE

BENNETT LOT B

SAN MARCOS, CA 92069

NO.	REVISION	DATE
1	1	7-5-18
2	2	
3	3	
4	4	
5	5	
6	6	
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10	10	
11	11	
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28	28	
29	29	
30	30	

FLOOR PLAN
SHEET NUMBER
A-2.0



SAN MARCOS
DISCOVER LIFE'S POSSIBILITIES

Development Services

January 30, 2018

Moorehoward Investments, LLC
2517 S. Santa Fe Avenue
Vista, CA 92083

RE: Bond Letter, IP17-00001
TSM 475

Dear Owner/ Applicant,

The Land Development Division has reviewed the submitted plans and Engineer's estimate of cost for the above referenced project. Based on the submitted items, the City has determined that the following fees and security for the amount shown is required prior to the issuance of the improvement permit and/ or approval of the final map.

Fee	Amount
Plan Review	\$ 0
Inspection Fee	\$490.93
Total	\$490.93

The total fees for review and inspection are \$2,990.93. The \$2,500 collected with the initial submittal were applied towards the total fee amount.

Type of Security	Amount
Performance Bond for Public Improvements	\$44,960
Labor and Materials Bond for Public Improvements	\$22,480
Warranty Bond*	\$11,240

*Bond may be posted at the completion of work

The security shall be posted using the City approved form(s). One set of the original signed form(s) must be notarized and submitted to the City prior to the issuance of the permit. Financial institutions with AM Best rating lower than an "A-" will not be accepted. Any financial institution with an "A-" rating will require the additional submittal of financial documents for the financial institution, such as: Certificate of Authority from the State of California Department of Insurance and a certificate from the County Clerk's Office, compliant with CCP 995.640(a). Please feel free to contact me with any questions or concerns.

Sincerely,

LEWIS CLAPP | Senior Civil Engineer
City of San Marcos | 1 Civic Center Drive, San Marcos, CA 92069
T: (760) 744-1050 x3214 | lclapp@san-marcos.net

www.san-marcos.net

CITY OF SAN MARCOS, CALIFORNIA

1 Civic Center Drive | San Marcos, CA 92069 | (760) 744-1050

SAN MARCOS
DISCOVER LIFE'S POSSIBILITIES

Development Services

July 17, 2018

Moorehoward Investments, LLC
2517 S. Santa Fe Avenue
Vista, CA 92083

RE: Bond Letter, GP17-00001
TSM 475

Dear Owner/ Applicant,

The Land Development Division has reviewed the submitted plans and Engineer's estimate of cost for the above referenced project. Based on the submitted items, the City has determined that the following fees and security for the amount shown is required prior to the issuance of the grading permit.

Fee	Amount
Plan Review	\$ 3,197.77*
Inspection Fee	\$ 5,184.67
Total	\$ 8,382.44

*The total plan review fee is \$5,697.77. The \$2,500 payment made with the initial submittal was applied towards the total plan review fee.

Type of Security	Amount
Grading Bond*	\$398,085
Cash Security	See Note Below

*Prior to construction, a cash security in the amount of \$27,735 is required. The grading bond may be reduced to \$370,350 at the request of the applicant once the cash is deposited.

The security shall be posted using the City approved form(s). One set of the original signed form(s) must be notarized and submitted to the City prior to the issuance of the permit. Financial institutions with AM Best rating lower than an "A-" will not be accepted. Any financial institution with an "A-" rating will require the additional submittal of financial documents for the financial institution, such as: Certificate of Authority from the State of California Department of Insurance and a certificate from the County Clerk's Office, compliant with CCP 995.640(a). Please feel free to contact me with any questions or concerns.

Sincerely,

LEWIS CLAPP, PE | Senior Civil Engineer
City of San Marcos | 1 Civic Center Drive, San Marcos, CA 92069
T: (760) 744-1050 x3214 | lclapp@san-marcos.net

www.san-marcos.net

CITY OF SAN MARCOS, CALIFORNIA

1 Civic Center Drive | San Marcos, CA 92069 | (760) 744-1050



201 Vallecitos de Oro • San Marcos, California • 92069-1453 Telephone (760) 744-0460
November 20, 2018

RE: Fees for Montiel 6-Lot Subdivision
VWD Project # 2018100442 WO # 201875

The following VWD Water & Wastewater Capital Facility Fees are per Ordinance No. 175 and 176 with Exhibit A (effective 1/1/18). Capital Facility Fees are due and payable per Resolution No. 1441 adopted on February 15, 2014. All other fees, deposits and bonds are required prior to District approval of the project. Fees are to be paid at the rate in effect at the time of payment.

Water Capital Facility Fees

3/4" Water Meter - 500 gpd base capacity each

3	3/4" VWD water meter capacity fee (500 gpd base capacity)	\$7,706.00	\$	23,118.00
0	gpd Additional capacity @ \$15.41/gpd	\$15.41	\$	-
3	3/4" SDCWA water meter capacity fee	\$5,240.00	\$	15,720.00
0	Backflow Inspection fee	\$50.00	\$	-
3	Meter Transceiver Unit (MXU) fee	\$164.00	\$	492.00
			\$	39,330.00

Total VWD Water Capital Facility Fees Due \$ 39,330.00

Wastewater Capital Facility Fees

Single Family Residence

3	Lots	3.0	EDUs @	\$29,697.00
				\$29,697.00

Grand Total Water & Wastewater Capacity Fees \$ 69,027.00

Inspection Deposit

Qty	Description	Amount	Unit	Total
	Sewer Main System			
1	Minimum Deposit	\$1,400.00	EA	\$ 1,400.00
	Warranty Sewer Camera Review (CCTV)			
1	Minimum Fee	\$500.00	EA	\$ 500.00
29	Plus \$1.50 per lineal foot of pipe (CCTV)	\$1.50	LF	\$ 43.50
4	Water Service	\$1,500.00	EA	\$ 6,000.00
4	Sewer Lateral	\$1,500.00	EA	\$ 6,000.00
1	Sewer Manhole/Cleanout	\$1,350.00	EA	\$ 1,350.00
1	Misc. Facility Inspection	as determined	\$	3,000.00
	Total Inspection Deposit		\$	18,293.50

Page 2

Engineering Fees & Deposits

Qty	Description	Amount	Unit	Total
10	Plan Check Deposit			
	Minimum Deposit	\$500.00	EA	\$ 5,000.00
	Project Finalization and Mapping			
1	Minimum Fee	\$500.00	EA	\$ 500.00
3	Plus \$50 per Sheet	\$50.00	SHEET	\$ 150.00
	Total Engineering & Document Deposit		\$	5,650.00

GRAND TOTAL OF FEES AND DEPOSITS \$ 92,970.50

Bonding Requirements

Labor & Materials Bond	\$ 34,090.00
Faithful Performance Bond	\$ 34,090.00

Plan Check and Inspection deposits are collected based on estimated costs for these services. If actual costs exceed the deposited amount, the customer will be billed for the remainder. If the deposited amount exceeds the actual costs, the remainder will be refunded to the customer.

The referenced Engineering & Inspection fees are based on Vallecitos Water District Ordinance No. 187, adopted on October 23, 2013.

The referenced Capital Facility fees do not include the meters or the installation. Additionally, the fee for the San Diego County Water Authority (SDCWA) is per the current fee schedule and is subject to change. Fees paid are site specific and are non-refundable and non-transferable.

Per Ordinance No. 175, following commencement of water service, the accounts will be monitored for usage. If the use exceeds the paid capacity on an annual basis, the payment of additional capital facility fees or a surcharge on water consumption may be required.

Per Ordinance No. 176, Wastewater Capital Facility Fees: following commencement of service, other than service for residential use, the account will be monitored for water use. If the use exceeds the purchased capacity based on the most recent twelve-month average, the payment of additional capacity fees may be required. Unless determined otherwise, all water entering the property through the water meter or from an on-site water source is assumed to reach the wastewater system.

The District has determined that adequate treatment capacity exists at this time, for this project, as proposed.

The ability to provide water and sewer service in the future depends upon ultimate build-out of the project and could change depending upon the timing of the build-out, as well as annexations and build-outs of other development projects, continued reliable water supplies from the San Diego County Water Authority, the District's treatment capacity at the Encina Wastewater Treatment Facility, and other factors affecting growth in the District which may change over time.

Sincerely,
VALLECITOS WATER DISTRICT

Ingrid Stichler
Engineering Technician II

cc: file

City of San Marcos Fees Paid

08/31/20

DATE	CHECK #	Company Who Paid	DESCRIPTION	Amount	NOTES
12/03/07	19563	DATACOM	CITY OF SAN MARCOS FOR MONTIEL	\$6,835	
01/07/08	19637	DATACOM	CITY OF SAN MARCOS FOR MONTIEL	\$3,476	
07/01/15	16180	MOOREHOWARD INVESTMENTS	CITY OF SAN MARCOS FOR MONTIEL	\$5,180	
07/08/15	39658	R&R Construction	CITY OF SAN MARCOS FOR MONTIEL	\$5,180	
12/22/16	47854	R&R Construction	CITY OF SAN MARCOS FOR MONTIEL	\$2,500	
12/22/16	47855	R&R Construction	CITY OF SAN MARCOS FOR MONTIEL	\$2,500	
01/27/17	48214	R&R Construction	CITY OF SAN MARCOS FOR MONTIEL	\$1,040	
01/27/17	48215	R&R Construction	CITY OF SAN MARCOS FOR MONTIEL	\$1,006	
02/10/17	Refund	CITY OF SAN MARCOS	MOOREHOWARD INVESTMENTS	-\$4,806	Refund
02/21/17	Refund	CITY OF SAN MARCOS	TO R&R Construction	-\$5,180	Refund
04/21/17		R&R Construction	CITY OF SAN MARCOS FOR MONTIEL	\$200	
			TOTAL	\$17,931	

costs & fees

17

TOTALS	\$150,000.00	\$0.00
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Building Costs		Montiel EST. Budget SF=7,223 EST. COST	SPENT TO DATE:
CODE	ITEM		
12000	Appliances	\$7,500.00	
10800	Bath accessories Mirrors ect.	\$1,000.00	
6410	Cabinets/Materials	\$26,000.00	
9680	Carpet Floors	\$7,500.00	
9610	Tile Floors	\$16,000.00	
159	Clean-up	\$8,000.00	
6650	Counter Tops	\$16,000.00	
8100	Doors (exterior)	\$4,000.00	
8210	Doors (Interior)	\$8,000.00	
9250	Drywall	\$42,000.00	
134	Dump Fees - Trash	\$6,000.00	
16000	Electrical labor	\$24,000.00	
16000	Electrical fixtures & materials	\$24,000.00	
4500	Exterior Trim - Stone etc.	\$8,000.00	
6200	Finish carpentry - Material	\$8,000.00	
6200	Finish carpentry - Labor	\$8,000.00	
10300	Fireplace	\$6,000.00	
3300	Foundation/slab	\$65,000.00	
8360	Garage door	\$4,500.00	
	Hardware & Install	\$4,000.00	
15700	HVAC	\$24,000.00	
7200	Insulation	\$6,000.00	
9200	Lath and Plaster	\$40,000.00	
16725	Low voltage Phone, Data, Sat	\$3,500.00	
9900	Painting	\$14,000.00	
15400	Plumbing Labor	\$35,000.00	
15400	Plumbing Fixtures & materials	\$35,000.00	
7320	Roofing	\$30,000.00	
6100	Rough lumber	\$76,000.00	
6100	Rough carpentry	\$76,000.00	
8145	Shower Doors	\$6,000.00	
6220	Stairs & railings (mill ?)	\$10,000.00	
9300	Tile Showers	\$8,000.00	
9300	Tile-Material	\$8,000.00	
12345	Tubs/Enclosures	\$4,000.00	
8620	Window Labor	\$3,000.00	
8620	Window Materials	\$16,000.00	
7920	Sealants,Caulks-shwr pans	\$1,000.00	
7631	Down Spouts	\$5,000.00	
15500	Fire Sprinklers	\$15,000.00	
TOTALS		\$709,000.00	\$0.00

These are our in house estimated numbers

\$1,516,000.00 In house cost Estimate
 \$ 500,000.00 Purchase Price Land & Plans
 \$2,016,000.00 Est. Total Cost Remaining

All ready spent

MONTIEL CONSTRUCTION OF 3 HOMES

ADMINISTRATIVE COSTS		Montiel EST. Budget SF=7,223 EST. COST	2020 SPENT TO DATE:
CODE	ITEM		
109	Architect plans /Interior Des.	\$2,000.00	\$11,106.00
111	Architect Structural Eng.	\$0.00	\$3,467.00
	Appraisal fees/Environ.	\$2,000.00	
	Bonds	\$8,000.00	\$8,000.00
	Construction loan fee	\$35,000.00	
210005	Contingency (Non-Budgeted)	\$10,000.00	
110	Engineering Costs	\$5,000.00	\$94,000.00
1330	Eng. Survey/Asbuilts	\$5,000.00	\$12,000.00
181	Eng. Soils - Field	\$4,000.00	\$10,100.00
	Fund Control & Inspections	\$3,500.00	
100	G&A Expense	\$1,500.00	\$178.00
162	Insurance	\$4,000.00	
	Interest reserve	\$50,000.00	
114	Landscape Architect	\$0.00	\$6,671.00
180	Permits/Fees/Assessments	\$120,000.00	\$17,931.00
78278	Processing	\$0.00	\$43,170.00
	Refinance cost to free land	\$0.00	\$5,400.00
00105	Super & Gen Cond.	\$12,000.00	
	Title, Recording and Doc Fees	\$3,000.00	
	Water Fees	\$80,000.00	\$9,500.00
TOTALS		\$345,000.00	\$221,523.00

SITE COST		Montiel EST. Budget SF=7,223 EST. COST	SPENT TO DATE:
CODE	ITEM		
2413	Asphalt paving	\$5,000.00	
2392	Block walls/hardscape	\$12,000.00	
2410	Drainage	\$6,000.00	
2446	Fencing	\$8,000.00	
2260	Finish grade	\$8,000.00	
2210	Grading & Hauling	\$165,000.00	
2111	Land Clearing - Demo	\$0.00	\$5,000.00
2480	Landscape-Planting & Light	\$16,000.00	
2484	Rocks, Sand, Dirt	\$4,000.00	
2700	Utility trenching & Pipe	\$14,000.00	
RW#	Walks & driveways	\$34,000.00	
175	Erosion Control	\$5,000.00	
RM#	Storm water structures - bio	\$35,000.00	
TOTALS		\$312,000.00	\$5,000.00

Street Improvements		Montiel EST. Budget SF=7,223 EST. COST	SPENT TO DATE:
CODE	ITEM		
2600	Asphalt Paving & Patch St.	\$16,000.00	
2528	Concrete Street	\$8,000.00	
2528	Curb/gutter & Side Walk	\$8,000.00	
2200	Grading	\$10,000.00	
2700	Storm Pipe, Box & Tie In	\$35,000.00	
2644	St. Imp.- Lights, hyd etc.	\$5,000.00	
2804	Ung. Elect New	\$40,000.00	
2722	Sewer Tie Ins	\$12,000.00	
2700	Water Tie Ins	\$12,000.00	
	Demo Wall	\$4,000.00	Back from city



CLICK TO VIEW DOCUMENT LINKS

FINAL MAP

GRADING PLANS

GEOTECHNICAL PLANS

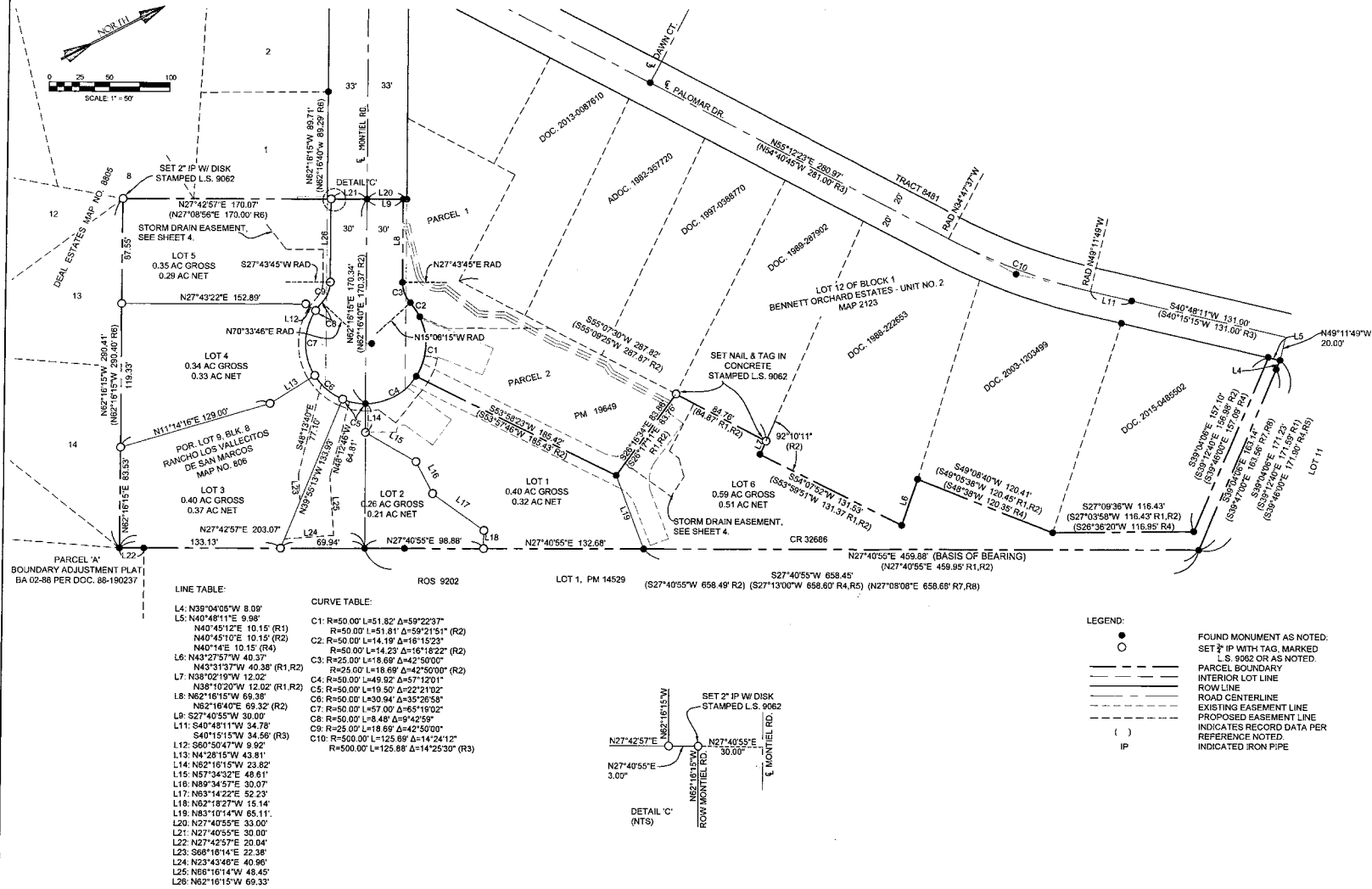
PROJECT MAP

SUBDIVISION IMPROVEMENT AGREEMENT

MAP NO. **16337**

SHEET 3 OF 4 SHEETS

CITY OF SAN MARCOS TSM 475

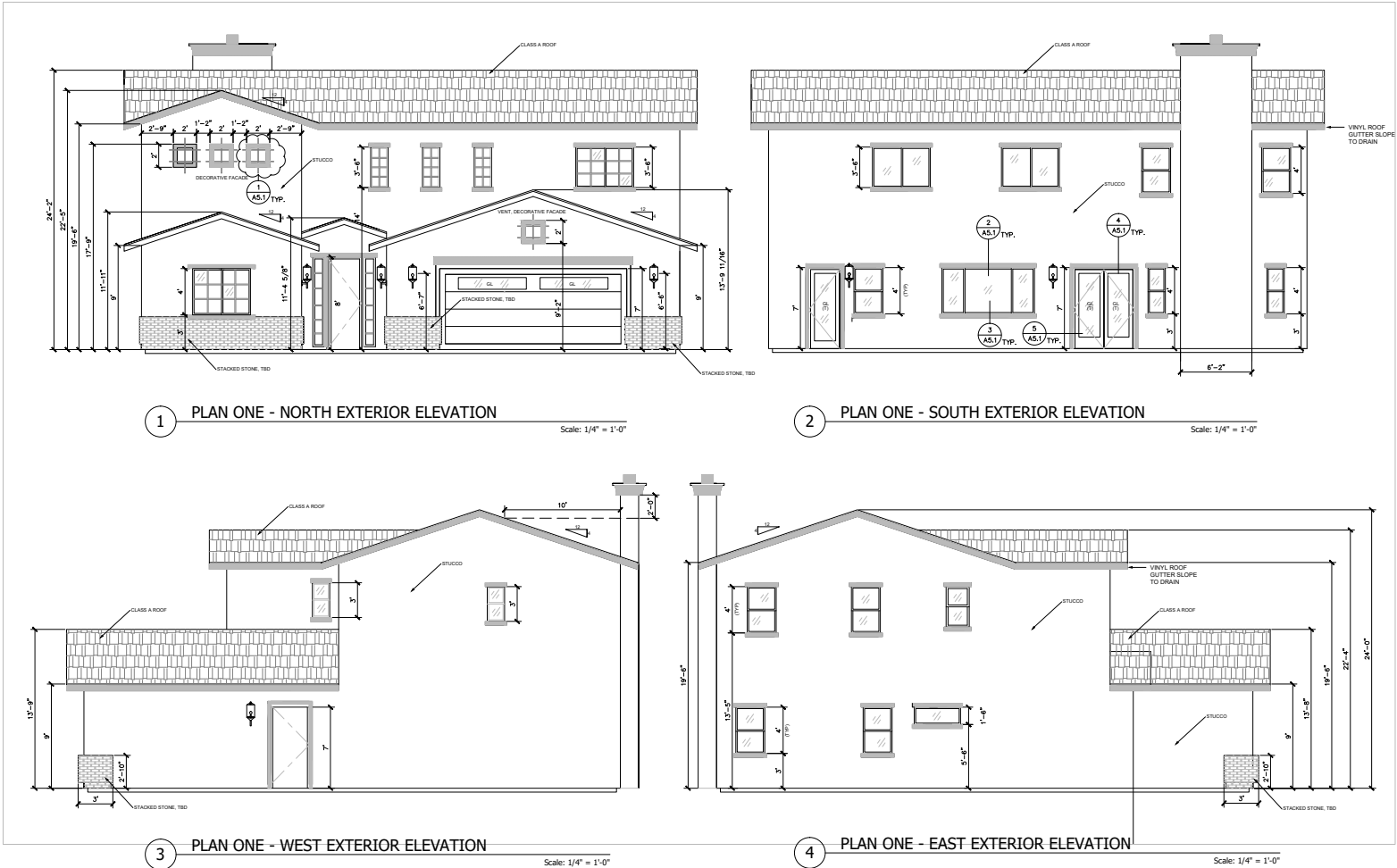


Construction Testing & Engineering, Inc.

Inspection | Testing | Environmental & Construction Engineering | Civil Engineering | Surveying
1411 Montiel Road, Suite 115, Escondido, CA 92026 Phone: (760) 746-4955 Fax: (760) 746-9808

WPC 228-111-53-00, 228-082-88-00, 228-082-67-00, 0217-00011, 0217-00011
NAD 83 CAL COORD INSEK 350-1731 & 354-1731

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COMMON & RESIDENTIAL DESIGN BUILD
1000 MONTIEL BLVD STE 100
SAN MARCOS, CA 92078
TEL: 760.341.1111
WWW.RANDR.COM



SAN MARCOS PLAN ONE
PLAN ONE - TWO STORY HOME
MONTIEL, BENNETT, BENNETT/TOYON GLEN
SAN MARCOS, CA 92078

NO.	REVISION	DATE
1	REVISION	
2	REVISION	
3	REVISION	
4	REVISION	

DATE: 09-01-2016
JOB #: W0-000

EXTERIOR
ELEVATIONS

SHEET NUMBER

A-3.0

PLAN TWO - SOUTH ELEVATION

PLAN TWO - NORTH ELEVATION

PLAN TWO - EAST ELEVATION

PLAN TWO - WEST ELEVATION

Scale: 1/4" = 1'-0"

Scale: 1/4" = 1'-0"

Scale: 1/4" = 1'-0"

Scale: 1/4" = 1'-0"

RICHARD & RICHARD
CONSTRUCTION COMPANY, INC.
2947 WILSON AVE., STE 100
SAN MARCOS, CA 92078
TEL: 760-228-2280 FAX: 760-228-2281

R&R

SAN MARCOS PLAN TWO
PLAN TWO - SINGLE STORY
MONTIEL, BENNETT/TOYON GLEN
SAN MARCOS, CA 92078

DATE	BY	CHKD	APPD
03-11-2016	MC	MC	MC

DATE: 03-11-2016
APP: MC

EXTERIOR ELEVATIONS
SHEET NUMBER:
A-3.0

C:\Users\janderson\Documents\Projects\San Marcos\Drawings\A-3.0 Plan Two Single Story Exterior Elevations and Roof Plan.dwg 3/11/2016 01:03:07 PM GMS

cma resale home summary

CMA Summary Report

RESIDENTIAL Summary Statistics

High	Low	Average	Median
LP:\$1,299,000	\$990,000	\$1,144,250	\$1,144,000
SP:\$1,500,000	\$1,209,000	\$1,319,750	\$1,285,000

RESIDENTIAL - Sold

Number of Properties: 4

Num	MLS #	Status	PropSubT	Address	MLSAreaMjr	TotalBdrms	TotalBaths	CloseDate	LotSzSqft	LivingArea	DOM	LP	LP/LivingArea	SP	SP/LivingArea
1	220000441SD	S	SFR	924 Merlin Ct	SAN MARCOS (92069)	4	3	2/9/2022	10,367.00	2285	7	\$990,000	\$433.26	\$1,209,000	\$529.10
2	NDP2110024	S	SFR	715 Ruskin Place	SAN MARCOS (92069)	4	3	9/9/2021	20,051.00	2770	5	\$1,089,000	\$393.14	\$1,215,000	\$438.63
3	NDP2112571	S	SFR	718 Ruskin Place	SAN MARCOS (92069)	4	3	12/20/2021	19,954.00	2832	3	\$1,199,000	\$423.38	\$1,355,000	\$478.46
4	NDP2206282	S	SFR	721 Ruskin Place	SAN MARCOS (92069)	4	3	7/22/2022	20,155.00	2770	6	\$1,299,000	\$468.95	\$1,500,000	\$541.52
Avg						4	3		17631.75	2664	5	\$1,144,250	\$429.68	\$1,319,750	\$496.93
Min						4	3		10367.00	2285	3	\$990,000	\$393.14	\$1,209,000	\$438.63
Max						4	3		20155.00	2832	7	\$1,299,000	\$468.95	\$1,500,000	\$541.52
Med						4	3		20002.50	2770	5	\$1,144,000	\$428.32	\$1,285,000	\$503.78



san marcos unified school district

The San Marcos Unified School District is an innovative and collaborative community providing an unparalleled educational experience. Through an engaging and supportive environment, all our students are challenged, inspired, and poised to excel.

- We believe that every student deserves to learn every day.
- Positive relationships and a strong sense of community connect students to learning.
- Teachers who challenge and care for students make a significant impact on students' lives.
- Excellence is attained when we accept only the best from every individual in our learning community.

Source: <https://www.smusd.org/>

1 Knob Hill Elementary School

1825 Knob Hill Road
San Marcos, CA 92069

905 API

2 Woodland Park Middle School

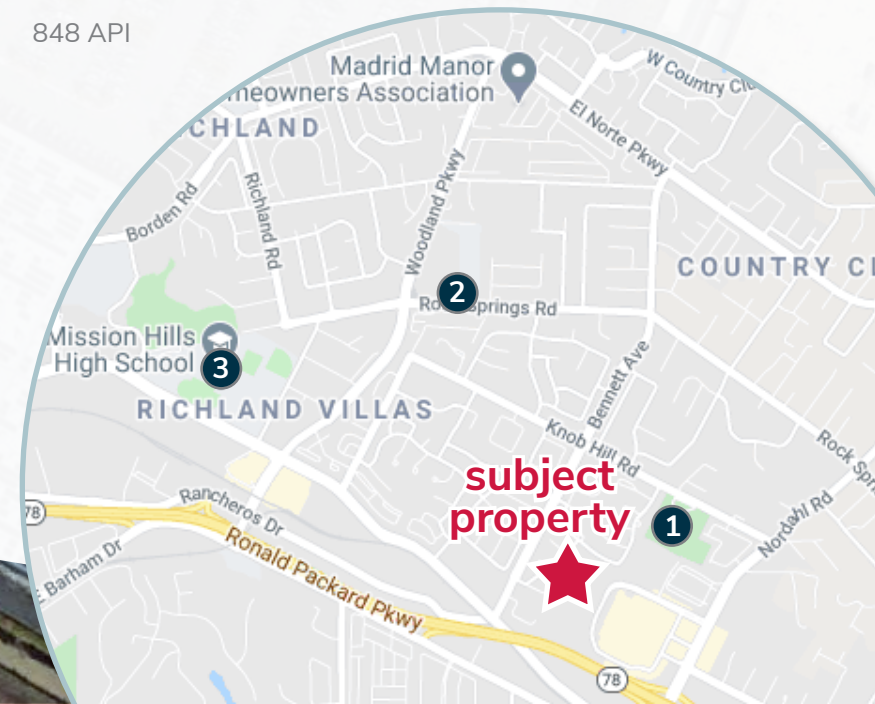
1270 Rock Springs Road
San Marcos, CA 92069

888 API

3 Mission Hills High School

1 Mission Hills Court
San Marcos, CA 92069

848 API



2022 demographics

1 mile



population
12,687



estimated households
4,538



average household income
\$94,560



median household income
\$74,829



total employees
6,151

3 miles



population
111,395



estimated households
36,418



average household income
\$92,157



median household income
\$77,188



total employees
48,018

5 miles



population
242,918



estimated households
77,650



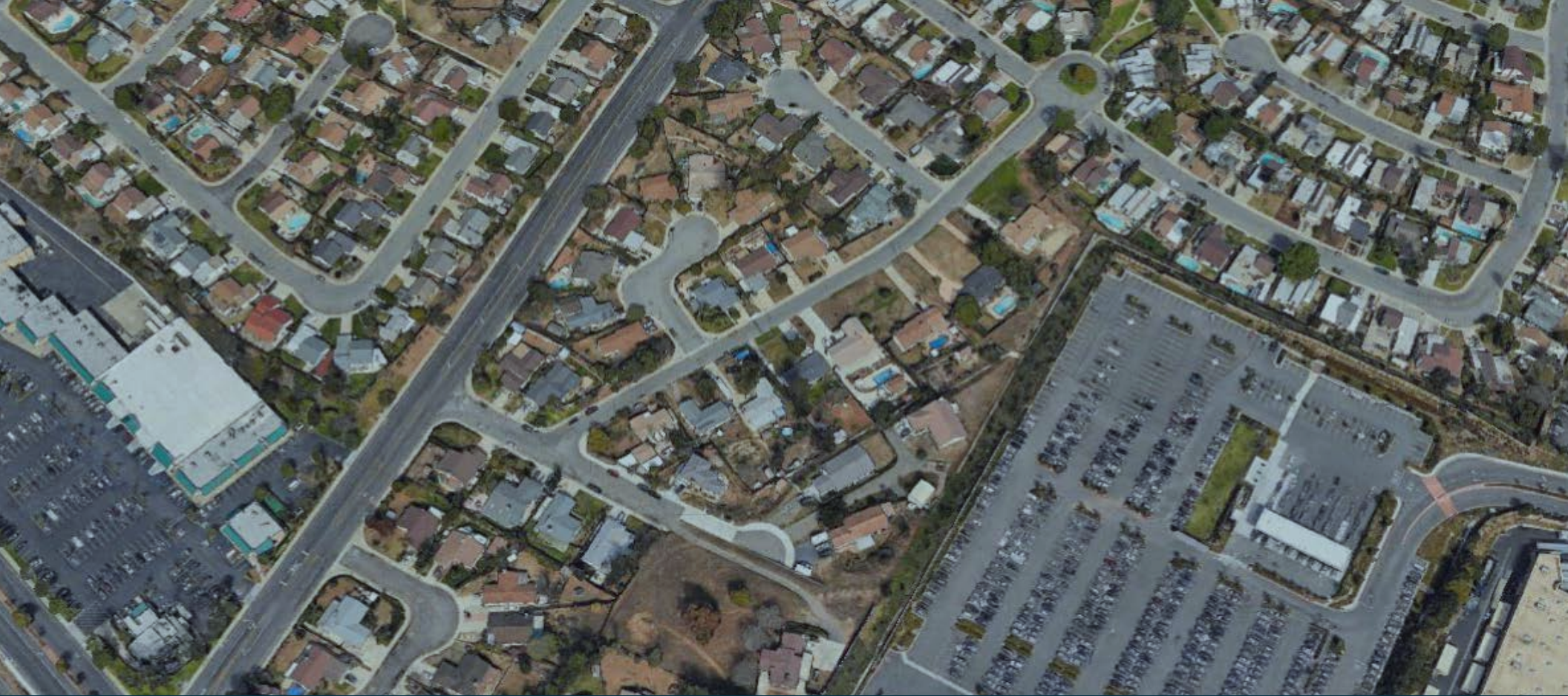
average household income
\$97,905



median household income
\$82,543



total employees
88,892



for more information, please contact

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COMMERCIAL REAL ESTATE SERVICES
LEE LAND TEAM